



MCLEOD STACKED TOWNS — NIAGARA, ON

ARCHITECTURAL

DWG. NO.	DRAWING TITLE	DATE	SCALE
A0.00	COVER SHEET		N/A
A1.00	MASTER PLAN		1 : 150
A1 - NEW STACK TOWNHOUSES - Bik. A			
A-A1.01	SITE PLAN		1 : 150
A-A1.02	BASEMENT		3/16" = 1'-0"
A-A1.03	GROUND		3/16" = 1'-0"
A-A1.04	SECOND		3/16" = 1'-0"
A-A1.05	THIRD		3/16" = 1'-0"
A-A1.06	ROOF		3/16" = 1'-0"
A-A1.07	SOUTH ELEVATION		3/16" = 1'-0"
A-A1.08	NORTH ELEVATION		3/16" = 1'-0"
A-A1.09	SIDE ELEVATIONS		3/16" = 1'-0"
A-A1.10	SECTIONS		3/16" = 1'-0"
A1 - NEW STACK TOWNHOUSES - Bik. B			
B-A1.01	SITE PLAN		1 : 150
B-A1.02	BASEMENT		3/16" = 1'-0"
B-A1.03	GROUND		3/16" = 1'-0"
B-A1.04	SECOND		3/16" = 1'-0"
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C-A1.01	SITE PLAN		1 : 150
C-A1.02	BASEMENT		3/16" = 1'-0"
C-A1.03	GROUND		3/16" = 1'-0"
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ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 03/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
STACKED TOWNHOMES**



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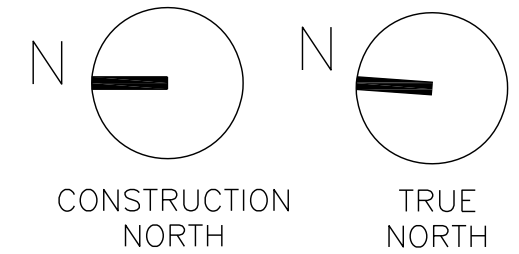
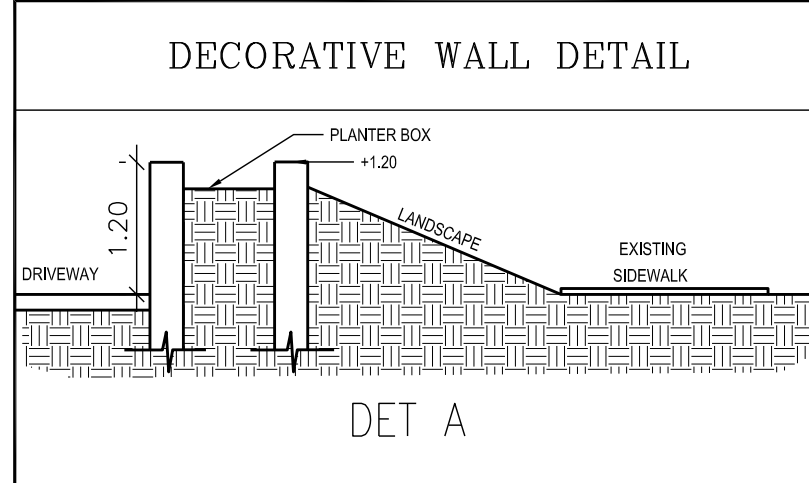
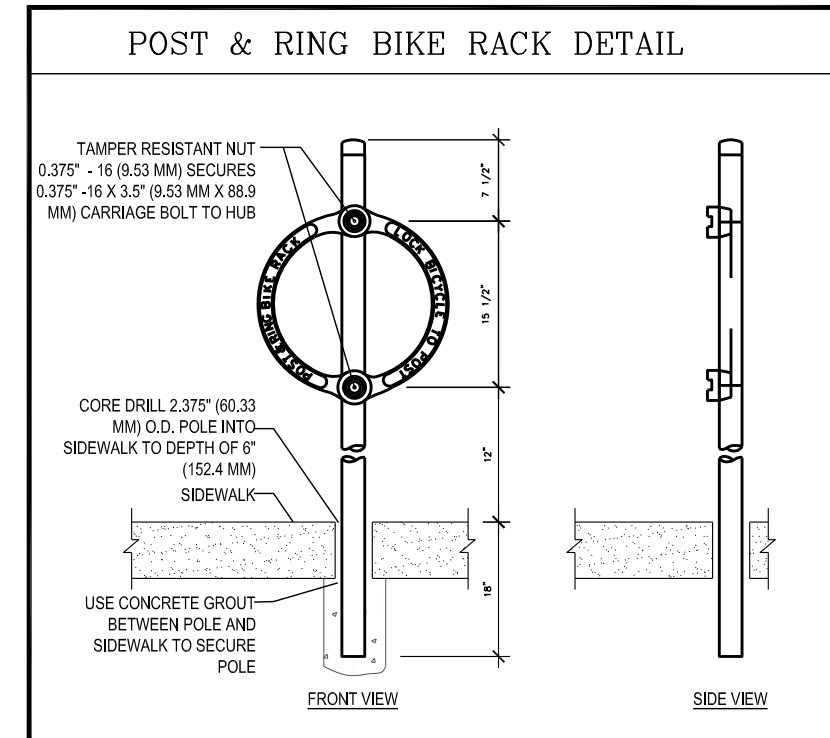
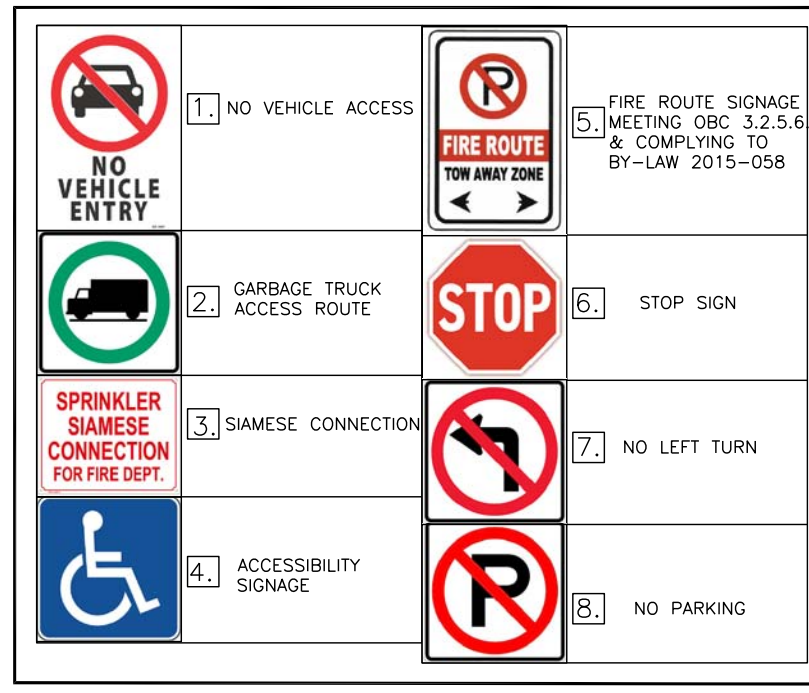
COVER

Scale:	Proj. No:
	2021-01
Drawn by:	Checked by:
DJ	TVL
	Date 1st Plot:
	NOV. 03/2022
Sheet Title:	
Drawing No.:	AO.00

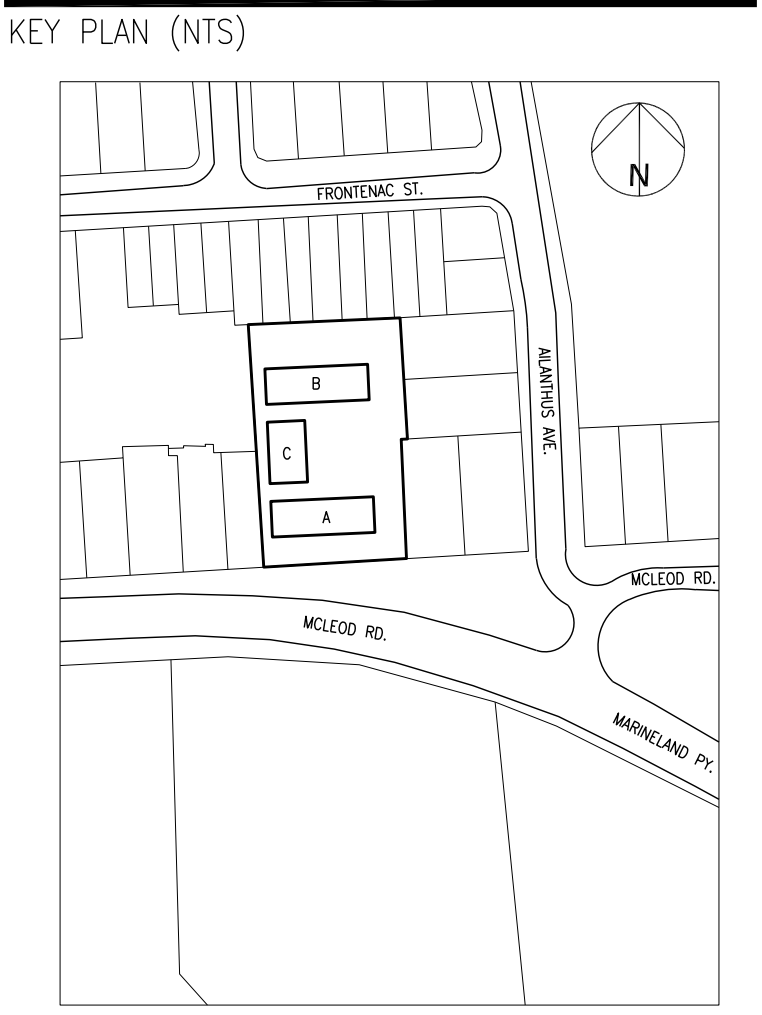
ITEM	ONTARIO BUILDING CODE DATA MATRIX - PART 9 (0 Reg.191/14)	2012 OBC ISSUED FEB. 21, 2017
01	PROJECT DESCRIPTION: MCLEOD MANOR STACKED TOWNHOMES NAGARA, ONTARIO PROJECT NO.: 2021-01	NEW ADDITION ALTERATION CHANGE OF USE
02	MAJOR OCCUPANCY CLASSIFICATION	GROUP C RESIDENTIAL OCCUPANCY
03	SUPERIMPOSED MAJOR OCCUPANCY(S)	N/A
04	BUILDING AREA (FOOTPRINT ON THE SITE)	BUILDING 'A' 425.63 m ² BUILDING 'B' 425.63 m ² BUILDING 'C' 274.22 m ²
05	GROSS FLOOR AREA (FOOTPRINT ON THE SITE)	BUILDING 'A' 1469.74 m ² BUILDING 'B' 1477.28 m ² BUILDING 'C' 1086.29 m ²
06	MEZZANINE(S) AREA m ²	0m ² NOT APPLICABLE
07	BUILDING HEIGHT (# STOREYS)	ABOVE GRADE 3 BELOW GRADE 1 (BASEMENT)
08	NUMBER OF STREETS/ACCESS ROUTES	BUILDING 'A' 2 STREETS BUILDING 'B' 1 STREETS BUILDING 'C' 1 STREETS
09	SPRINKLER SYSTEM PROPOSED	N/A
10	FIRE ALARM REQUIRED	YES NO
11	WATER SERVICE SUPPLY IS ADEQUATE	YES NO
12	PERMITTED CONSTRUCTION	COMBUSTIBLE NON COMBUSTIBLE
13	POST DISASTER BUILDING	YES NO
14	TOTAL OCCUPANCY LOAD: 166 PERSONS (AS PER 2 BEDROOM OCCUPANT LOAD)	3.1.17.

14	m ² /PERSON DESIGN OF OCCUPANCY LOAD: (2 PER BEDROOM) (PERMANENT SIGN REQUIRED)	3.1.17.
BLOC 'A'	BASEMENT 3 BEDS @ 2 PER/BED = 6 PERSONS 1st FL. 8 BEDS @ 2 PER/BED = 16 PERSONS 2nd FL. SEE 3rd FLOOR 3rd FL. 18 BEDS @ 2 PER/BED = 36 PERSONS	
BLOC 'B'	4 BEDS @ 2 PER/BED = 8 PERSONS 8 BEDS @ 2 PER/BED = 16 PERSONS SEE 3rd FLOOR 18 BEDS @ 2 PER/BED = 36 PERSONS	
BLOC 'C'	BASEMENT 6 BEDS @ 2 PER/BED = 12 PERSONS 1st FL. 6 BEDS @ 2 PER/BED = 12 PERSONS 2nd FL. SEE 3rd FLOOR 3rd FL. 12 BEDS @ 2 PER/BED = 24 PERSONS	
15	BARRIER-FREE DESIGN ROUGH IN ONLY	YES (NO ELEVATOR ONLY FOR SITE ACCESSIBLE) NO
16	HAZARDOUS SUBSTANCES	YES NO 9.10.1.3.(4)
17	REQUIRED FIRE RESISTANCE RATING (F.R.R.)	FLOOR ABOVE BASEMENT & GROUND 1 HRS. SB-3 TABLE 1, F15d 9.10.8. FLOOR ABOVE 2ND FLOOR 0 HRS. SB-3 TABLE 1, F15d 9.10.9. ROOF 0 HRS. NOT REQUIRED VERTICAL WALL ASSEMBLIES YES NO F.R.R. LISTED U.L.C. DESIGN# OR OBC SB-3 9.10.9. SUITE & SUITE/EXIT STAIR 1 HRS. SB-3 TABLE 1, W15g SUITE & ELEVATOR NOT APPLICABLE
18	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (FIRE COMPARTMENTS)	9.10.14-15.
19	PLUMBING: #WATER CLOSETS FOR PUBLIC USE (COMMON ELEMENT)*	NOT APPLICABLE 9.31. 3.7.4.
20	1. PROFESSIONAL ENGINEER AND ARCHITECT REQUIRED. 2. LOCATION OF FIRE HYDRANT, FIRE ACCESS ROUTES BY OTHERS, FIRE HYDRANT TO BE LOCATED WITHIN 50 M. OF PRINCIPAL ENTRANCE. 3. REQUIRED FIRE PROTECTION RATING OF CLOSURE TO BE A MINIMUM 20 MINUTES IN WALLS REQUIRED TO HAVE BE A FIRE SEPARATION AND FIRE RESISTANCE RATING. 4. REFER TO FL/WALL SCHEDULE FOR SB3 OBC OR ULC LISTINGS WHERE RATINGS ARE REQUIRED. 5. REFER TO ELEVATIONS FOR REQUIREMENTS OF UNPROTECTED OPENING.	YES YES YES YES YES

ZONING BY-LAW NO. 79-200 CURRENT ZONE R4 PROPOSED ZONING R5C		
SITE STATISTICS	REQ'D R5C	PROP'D
UNITS	43 UNITS	43 UNITS
LOT AREA	4300.00M ²	4233.98M ² **
LOT AREA/DWELLING UNIT	100M ² /UNIT	98.46M ² /UNIT **
LOT DEPTH	-	82.91M
LOT FRONTAGE	30.00M	50.28M
FRONT YARD SETBACK	7.50M	10.28M
LEFT SIDE YARD SETBACK	6.00M	5.00M **
RIGHT SIDE YARD SETBACK	6.00M	10.25M
YARD ENCROACHMENT (BALCONY)	0.45M	1.60M **
REAR YARD SETBACK	10.00M	15.28M
VEHICLE ENTRANCE WIDTH	-	7.70M
BUILDING HEIGHT	19.00M	12.95M (BLK A) 12.95M (BLK B) 13.00M (BLK C)
PARKING	60 (1.4/UNIT)	53 ** (1.25/UNIT)
BICYCLE PARKING	32 (0.5/UNIT)	3 (0.7/UNIT)
NUMBER OF BUILDINGS	1	3 **
NUMBER OF STOREYS	-	3 1/2
TOTAL GROSS FLOOR AREA (A+B+C)	-	4033.31M ²
BLD. COVERAGE (FOOTPRINT/LOT)	35%	1131.58M ² (26.75%)
LANDSCAPE AREA (HARD+SOFT)	40%	1610.58 M ² (38.54%)
ASPHALT AREA	25%	1284.65 M ² (30.34%)
OUTDOOR AMENITY (CONC. PATIO & STAIRS)	-	207.17 M ² (4.89%)



ZONING AMENDMENT



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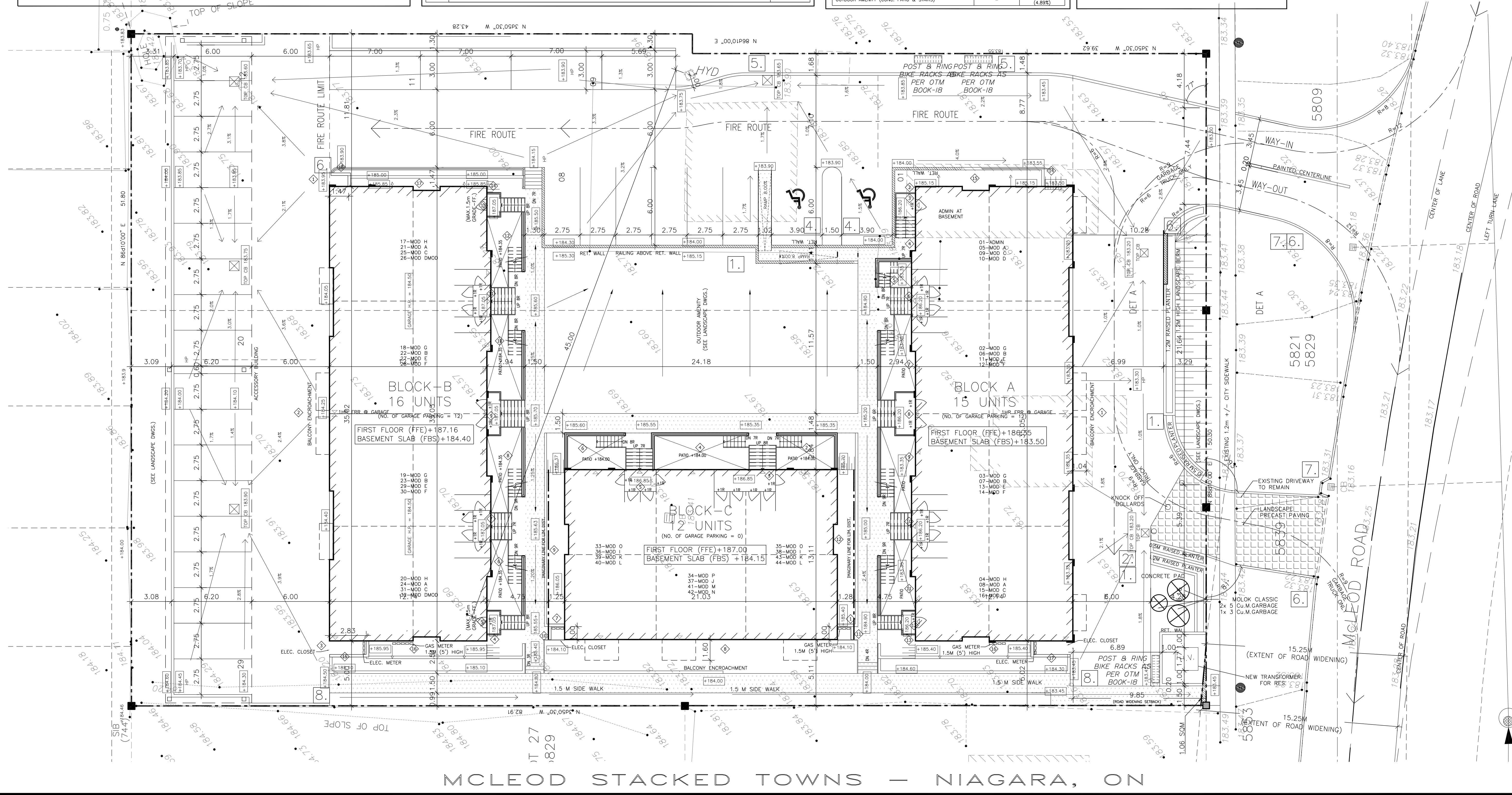
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MASTER PLAN

Scale: 1:150	Proj. No: 2021-01
Drawn by: DJ	Checked by: TVL
Sheet Title:	Date 1st Plot: NOV. 03/2022
Drawing No.: A1.00	



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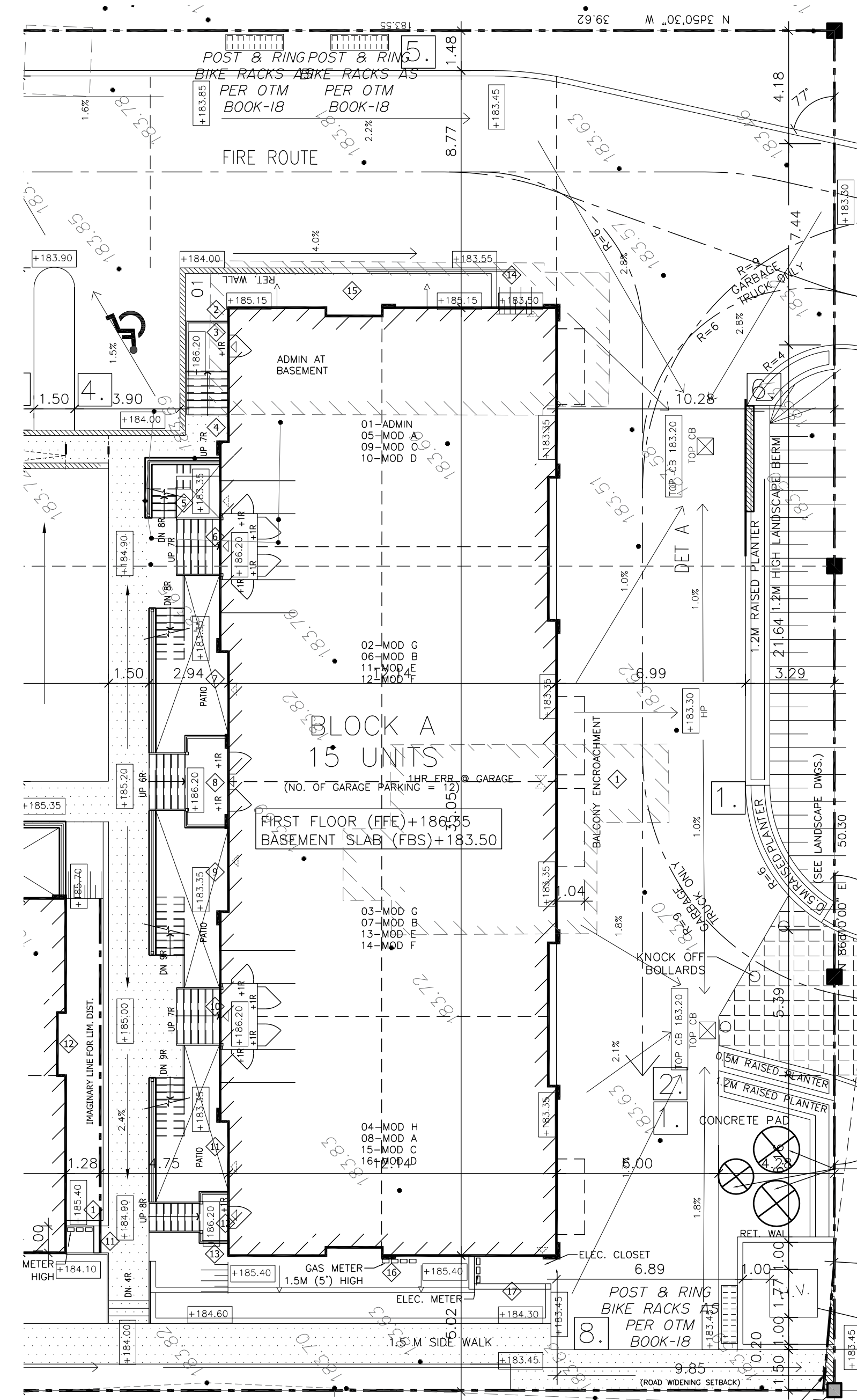
SITE PLAN BLK. A

Scale: 1:150
Proj. No: 2021-01
Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV. 03/2022

Sheet Title:
Drawing No.: BIK.A-A1.01

BLOCK A

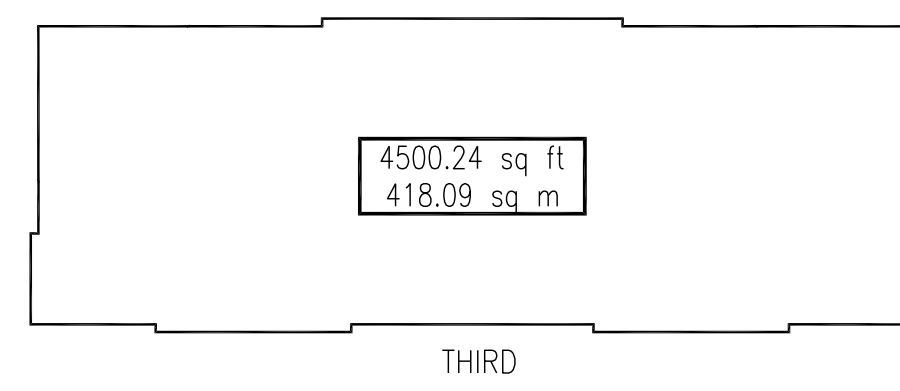
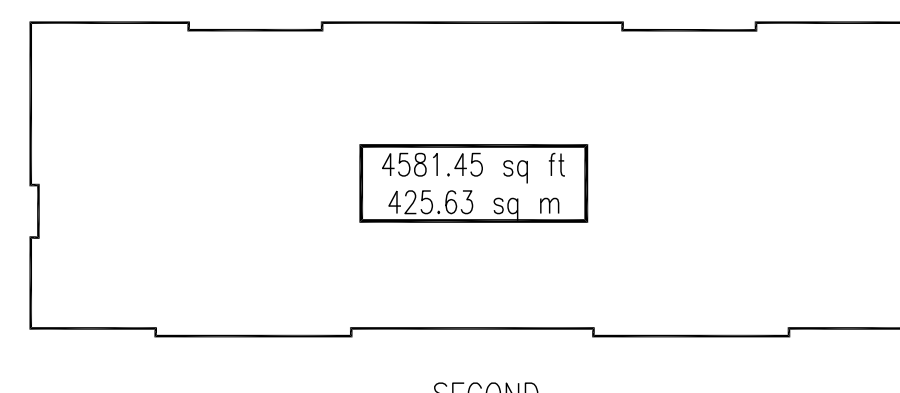
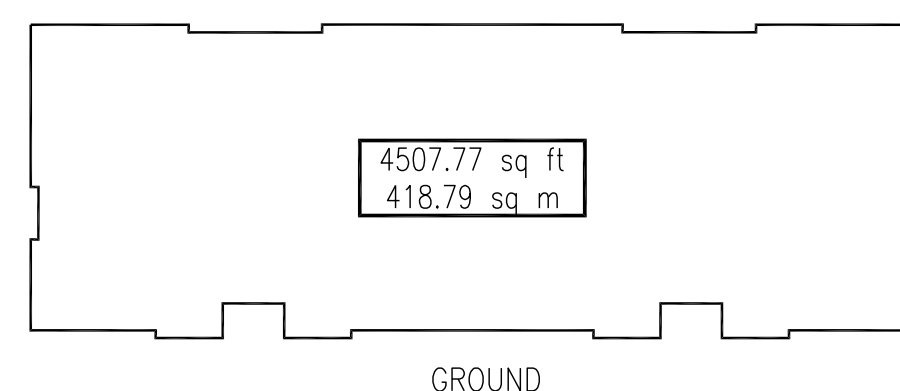
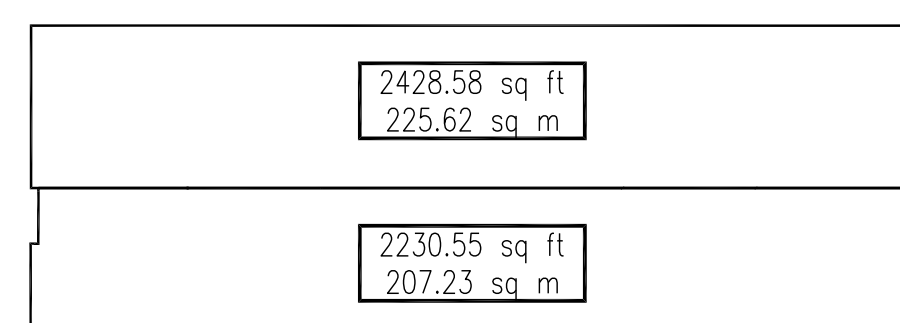
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BLK A								
DRAWING NO.	POINT 1	POINT 2	GRADE 1	GRADE 2	AVG GRD	LENGTH	WGHT AVG	
1	BLK.A- A1.07 - 7	Elec. Closet Start	Gridline A	183.35	183.35	183.35	36.42	6677.61
2	BLK.A- A1.08 - 8	Gridline A	Porch A-B Start	185.15	185.15	185.15	0.46	85.17
3	BLK.A- A1.08 - 8	Porch A-B Start	Porch A-B End	186.20	186.20	186.20	1.91	355.64
4	BLK.A- A1.08 - 8	Ground A-B Start	Ground A-B End	184.90	184.90	184.90	3.22	595.38
5	BLK.A- A1.08 - 8	Patio A-B Start	Patio A-B End	183.35	183.35	183.35	2.18	399.70
6	BLK.A- A1.08 - 8	Porch B Start	Porch B End	186.20	186.20	186.20	2.13	396.61
7	BLK.A- A1.08 - 8	Patio B-CL Start	Patio B-CL End	183.35	183.35	183.35	5.92	1085.43
8	BLK.A- A1.08 - 8	Porch CL Start	Porch CL End	186.20	186.20	186.20	3.41	634.94
9	BLK.A- A1.08 - 8	Patio CL-C Start	Patio CL-C End	183.35	183.35	183.35	5.92	1085.43
10	BLK.A- A1.08 - 8	Porch C Start	Porch C End	186.20	186.20	186.20	2.13	396.61
11	BLK.A- A1.08 - 8	Patio C-D Start	Patio C-D End	183.35	183.35	183.35	5.40	990.09
12	BLK.A- A1.08 - 7	Porch C-D Start	Porch C-D End	186.20	186.20	186.20	1.91	355.64
13	BLK.A- A1.08 - 8	Porch C-D End	E. Closet End	185.40	185.40	185.40	1.68	311.47
14	BLK.A- A1.09 - 9	Gridline 1x	Planter Start	183.50	183.50	183.50	1.75	321.13
15	BLK.A- A1.09 - 9	Planter Start	Edge of Building	185.15	185.15	185.15	9.48	1755.22
16	BLK.A- A1.09 - 10	Edge of Building	E. Closet Start	185.40	185.40	185.40	9.68	1794.67
17	BLK.A- A1.09 - 10	E. Closet Start	E. Closet End	183.35	183.35	184.30	2.46	453.38

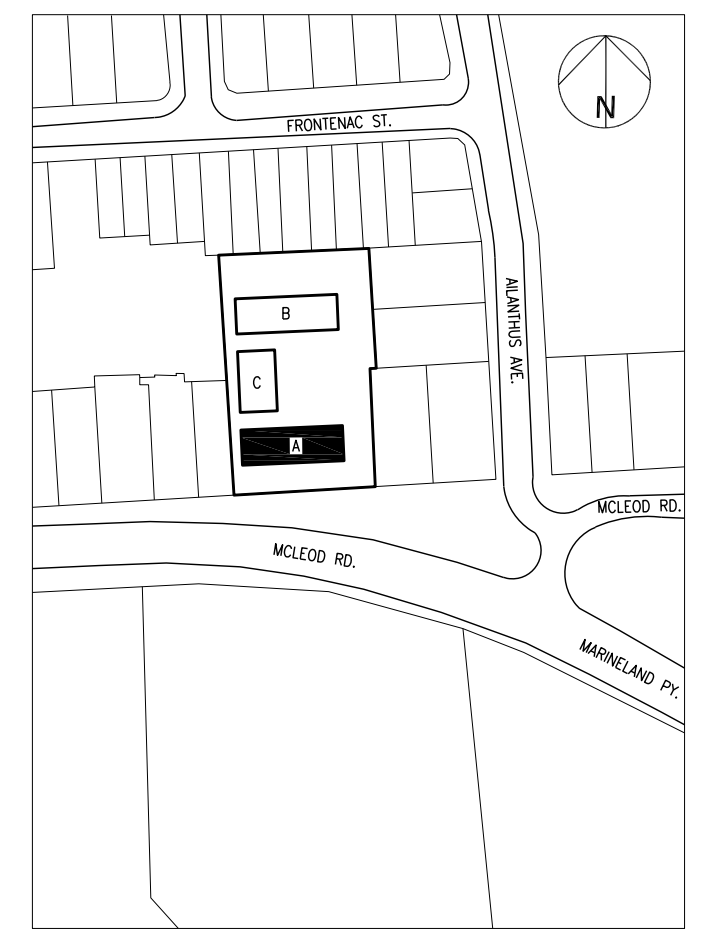
96.06 17694.12
184.20

FFE 186.35
FL ASSEMBLY 0.35
CEILING 186.00
AV. GRADE-CEILING 1.80
3-STOREY BUILDING AS PER O.B.C. [A] 1.4.1.2. BUILDING HEIGHT
PART 9 AS PER O.B.C. 9.1.1.1. SCOPE



ZONING AMENDMENT

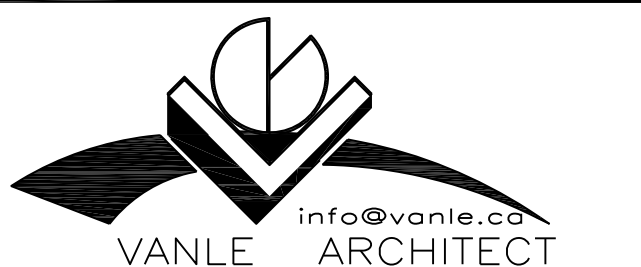
KEY PLAN (NTS)



No	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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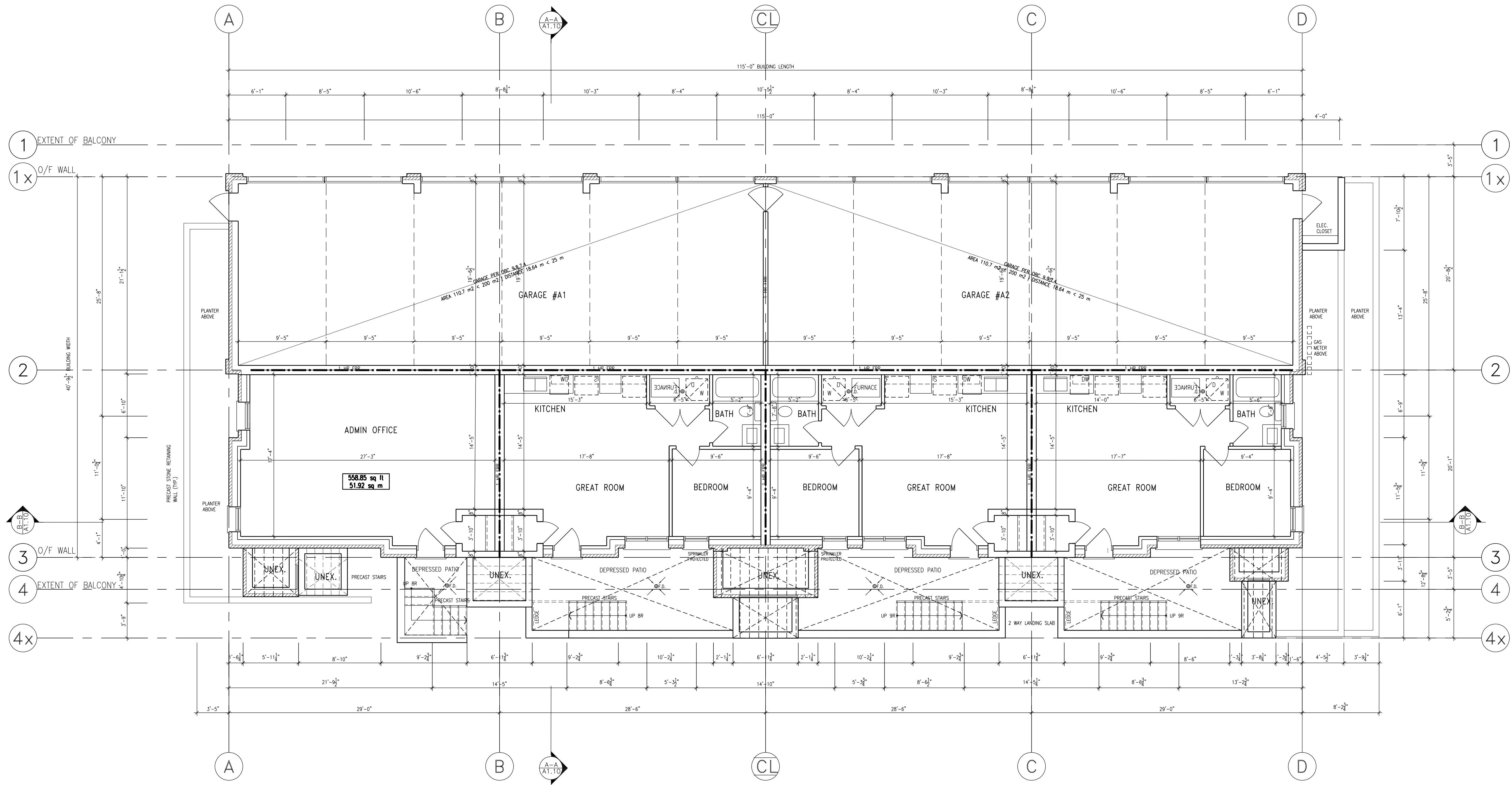
**MCLEOD MANOR
STACKED TOWNHOMES**



80 CORPORATE DR, Suite. 206, Toronto, Ontario M1H 3G5
T: 416 467-4667 E: info@vanle.ca Web: www.vanle.ca

BASEMENT

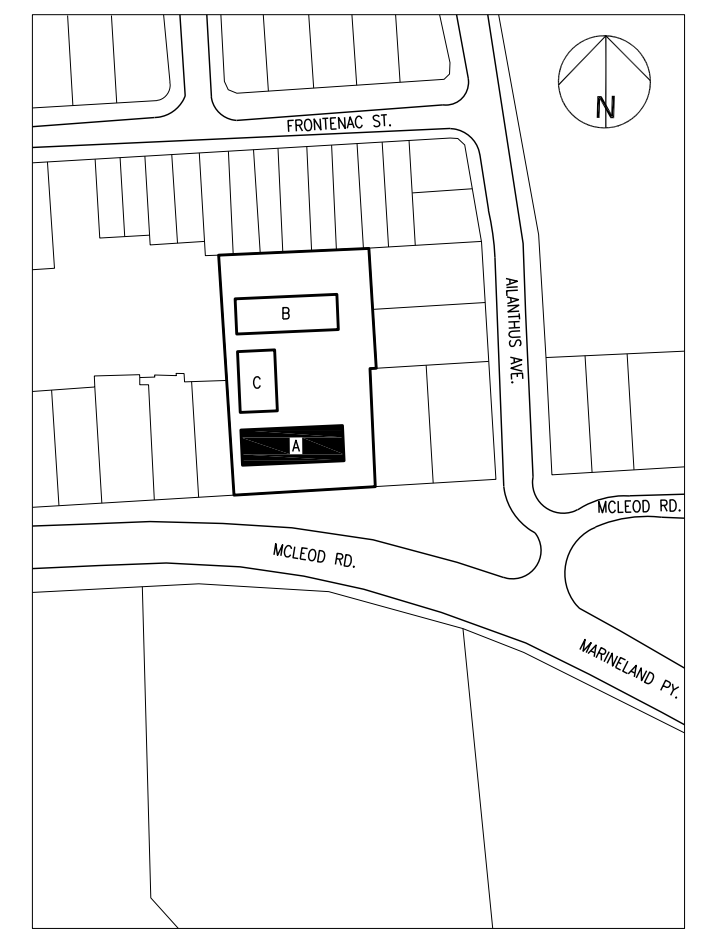
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Drawn by:	DJ	Checked by:	TVL
Sheet Title:	Date 1st Plot: NOV. 03/2022		
Drawing No.:	Bik.A-A1.02		



2 BASEMENT
4 MODULE BLOCK A

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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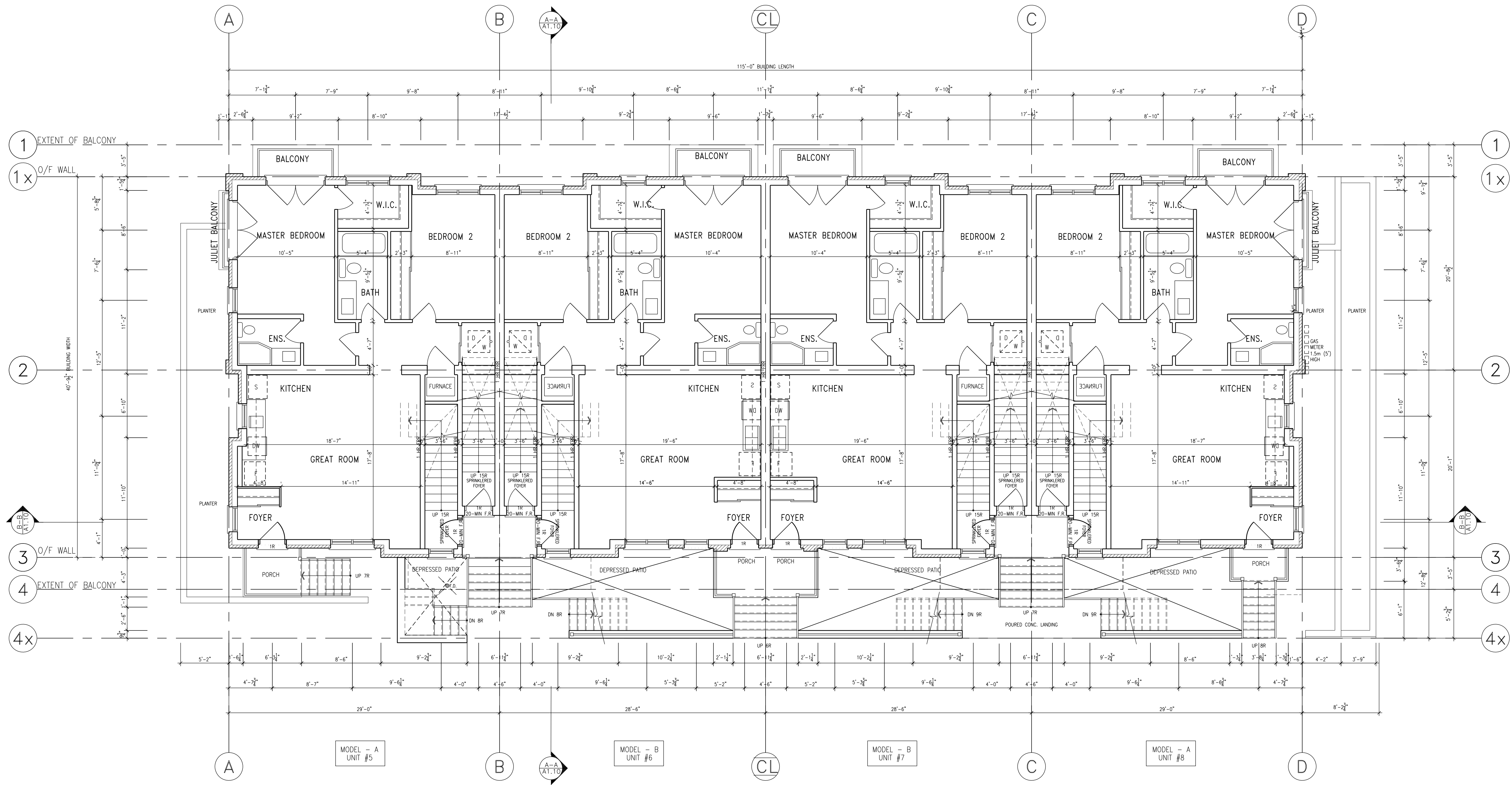
**MCLEOD MANOR
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T: 416 467-4667 E: info@vanle.ca Web: www.vanle.ca

GROUND FLR.

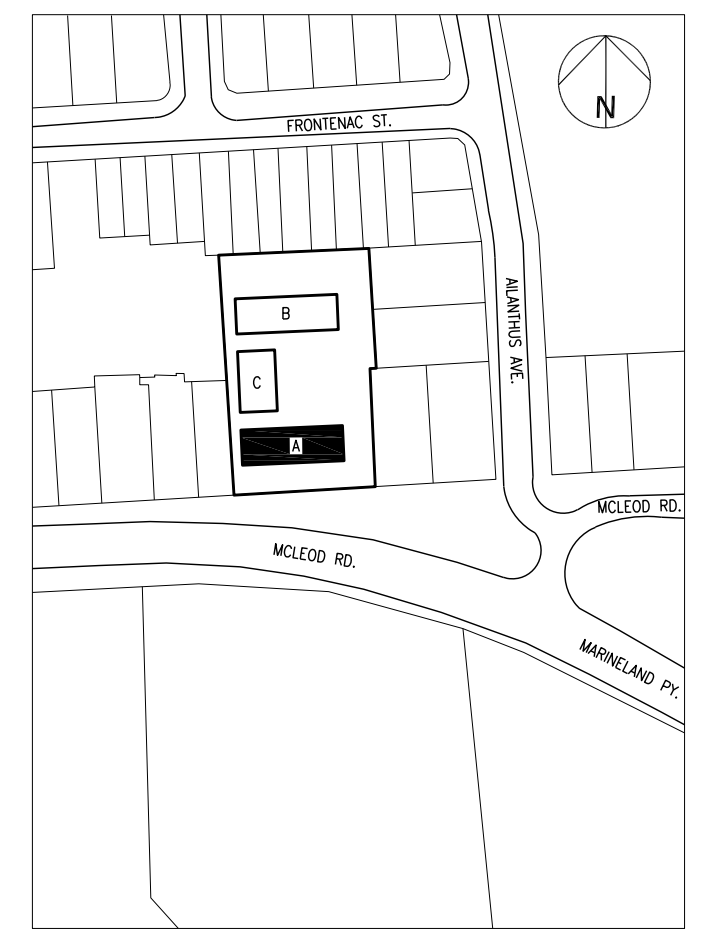
Scale: 3/16" = 1'-0"
 Drawn by: DJ
 Checked by: TVL
 Date 1st Plot: NOV. 03/2022
 Sheet Title:
 Drawing No.: B1k.A-A1.03



3 GROUND FLOOR
4 MODULE BLOCK A

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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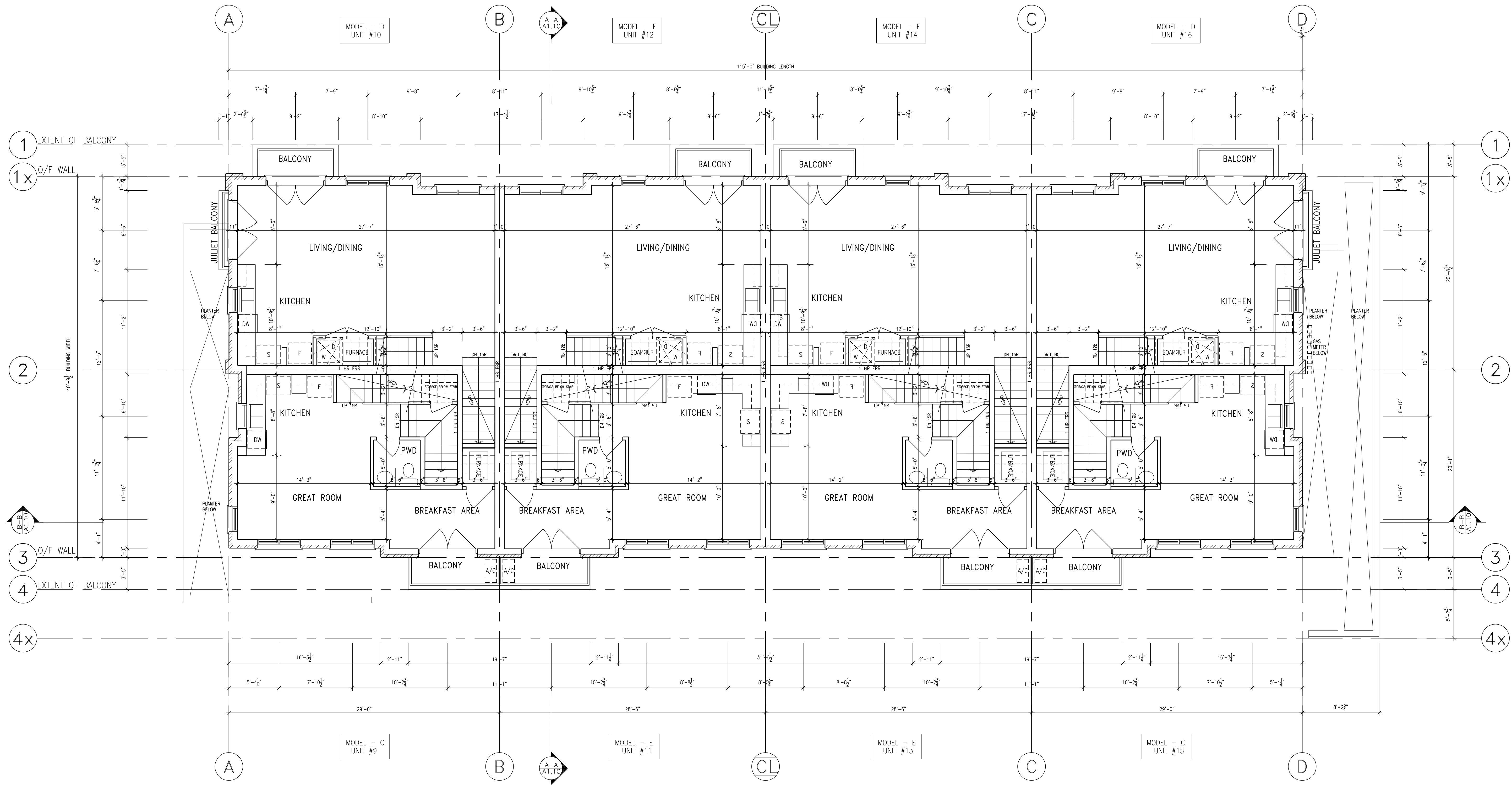
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SECOND FLR.

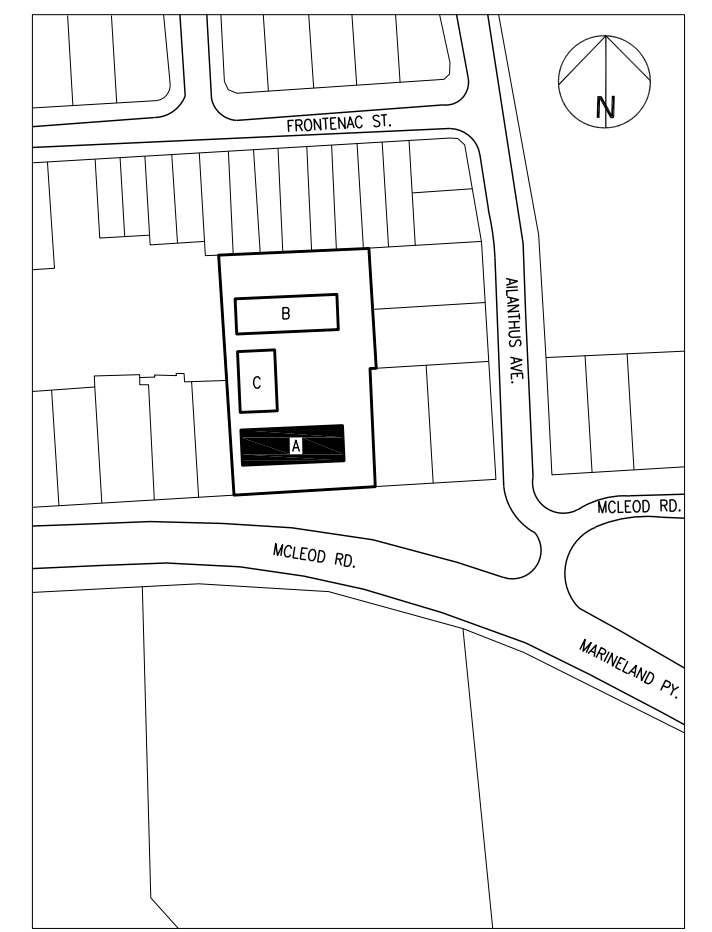
Scale: 3/16" = 1'-0"
 Drawn by: DJ
 Checked by: TVL
 Date 1st Plot: NOV. 03/2022
 Sheet Title:
 Drawing No.: BIK.A-A1.04



**4 SECOND FLOOR
4 MODULE BLOCK A**

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
STACKED TOWNHOMES**

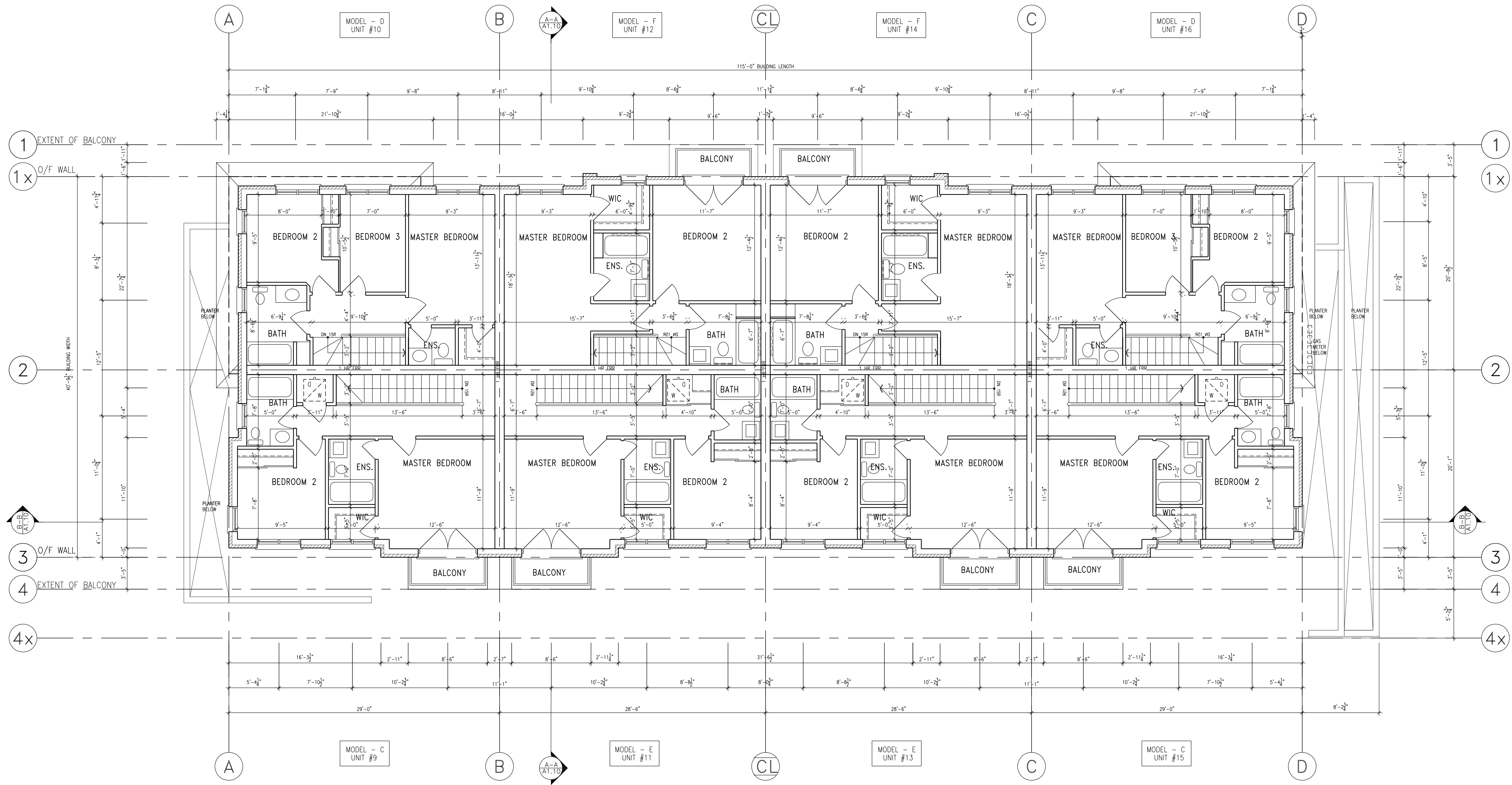


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THIRD FLR.

Scale: 3/16" = 1'-0"
 Drawn by: DJ
 Checked by: TVL
 Date 1st Plot: NOV. 03/2022

Drawing No.: **B1k.A-A1.05**



5 **THIRD FLOOR**
4 MODULE BLOCK A

ZONING AMENDMENT

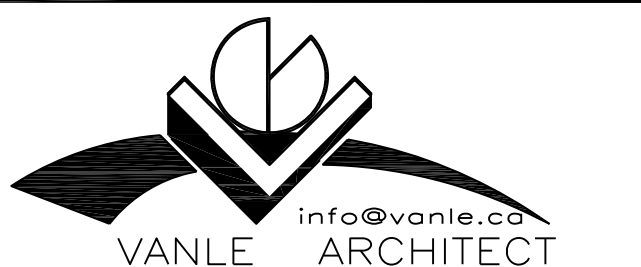
KEY PLAN (NTS)



No	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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ELEVATION

Scale: 3/16" = 1'-0"
Proj. No: 2021-01
Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV. 03/2022

Sheet Title:
Drawing No.: **B1k.A-A1.07**

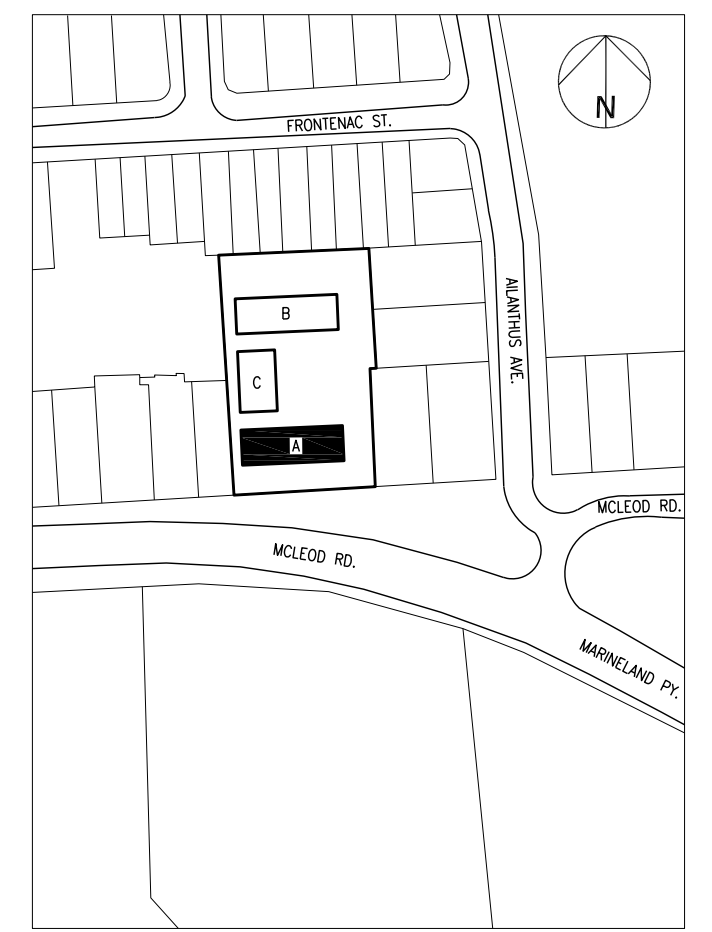


1 C-D ELEV. A1.07 MODULE UNIT		2 CL-C ELEV. A1.07 MODULE UNIT		3 B-CL ELEV. A1.07 MODULE UNIT		4 A-B ELEV. A1.07 MODULE UNIT	
FIRE COMPARTMENT	MODEL A UNIT 8:	MODEL D UNIT 16:	FIRE COMPARTMENT	MODEL B UNIT 7:	MODEL F UNIT 14:	FIRE COMPARTMENT	MODEL A UNIT 5:
1 E.B.F. AREA:	24.92m ²	49.84m ²	1 E.B.F. AREA:	24.49m ²	49.98m ²	1 E.B.F. AREA:	24.92m ²
OBC 9.10.14.4 LIM. DIST.:	9.85m	9.85m	OBC 9.10.14.4 LIM. DIST.:	10.28m	10.28m	OBC 9.10.14.4 LIM. DIST.:	10.28m
UNPR. OP'S ALLOWED:	91.77%	52.82%	UNPR. OP'S ALLOWED:	100%	69.92%	UNPR. OP'S ALLOWED:	100%
(OBC 9.10.14.4.)			(OBC 9.10.14.4.)			(OBC 9.10.14.4.)	
UNPR.OP'S PROVIDED:	38.58%	34.95%	UNPR.OP'S PROVIDED:	34.71%	34.71%	UNPR.OP'S PROVIDED:	38.58%
E.B.F. CONSTR. FRR:	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN
PERMITTED CONSTRUCTION:	COMB. OR NON-COMB.	COMB. OR NON-COMB.	PERMITTED CONSTRUCTION:	COMB. OR NON-COMB.	COMB. OR NON-COMB.	PERMITTED CONSTRUCTION:	COMB. OR NON-COMB.
PERMITTED CLADDING:	COMB. OR NON-COMB.	COMB. OR NON-COMB.	PERMITTED CLADDING:	COMB. OR NON-COMB.	COMB. OR NON-COMB.	PERMITTED CLADDING:	COMB. OR NON-COMB.
(OBC 9.10.14.5.)			(OBC 9.10.14.5.)			(OBC 9.10.14.5.)	
							MODEL D UNIT 10:
							1 E.B.F. AREA:
							24.92m ²
							OBC 9.10.14.4 LIM. DIST.:
							10.28m
							UNPR. OP'S ALLOWED:
							100%
							(OBC 9.10.14.4.)
							UNPR.OP'S PROVIDED:
							34.95%
							E.B.F. CONSTR. FRR:
							45MIN
							PERMITTED CONSTRUCTION:
							COMB. OR NON-COMB.
							PERMITTED CLADDING:
							COMB. OR NON-COMB.
							(OBC 9.10.14.5.)

7 SOUTH ELEVATION
4 MODULE BLOCK A

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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STACKED TOWNHOMES**



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ELEVATION

Scale:	Proj. No:
3/16" = 1'-0"	2021-01
Drawn by:	Checked by:
DJ	TVL
Sheet Title:	Date 1st Plot:
	NOV. 03/2022
Drawing No.:	
B1k.A-A1.08	



1 A-B ELEV. A1.08 MODULE UNIT			2 B-CL ELEV. A1.08 MODULE UNIT			3 CL-C ELEV. A1.08 MODULE UNIT			4 C-D ELEV. A1.08 MODULE UNIT						
FIRE COMPARTMENT	ADMIN UNIT 1:	MODEL A UNIT 5:	MODEL C UNIT 9:	FIRE COMPARTMENT	MODEL G UNIT 2:	MODEL B UNIT 6:	MODEL E UNIT 11:	FIRE COMPARTMENT	MODEL G UNIT 3:	MODEL B UNIT 6:	MODEL E UNIT 11:	FIRE COMPARTMENT	MODEL H UNIT 4:	MODEL A UNIT 8:	MODEL C UNIT 15:
1 E.B.F. AREA:	7.61m2	17.83m2	55.12m2	1 E.B.F. AREA:	16.87m2	17.62m2	54.23m2	1 E.B.F. AREA:	16.87m2	17.62m2	54.23m2	1 E.B.F. AREA:	16.87m2	17.83m2	55.12m2
OBC 9.10.14.4 LIM. DIST.:	16.22m	16.22m	16.22m	OBC 9.10.14.4 LIM. DIST.:	16.22m	16.22m	16.22m	OBC 9.10.14.4 LIM. DIST.:	4.75m	4.75m	4.75m	OBC 9.10.14.4 LIM. DIST.:	4.75m	4.75m	4.75m
UNPR. OP'S ALLOWED:	100%	100%	100%	UNPR. OP'S ALLOWED:	100%	100%	100%	UNPR. OP'S ALLOWED:	76.10%	74.80%	37.62%	UNPR. OP'S ALLOWED:	76.10%	74.42%	37.35%
(OBC 9.10.14.4.)				(OBC 9.10.14.4.)				(OBC 9.10.14.4.)				(OBC 9.10.14.4.)			
UNPR.OP'S PROVIDED:	27.45%	26.31%	36.39%	UNPR.OP'S PROVIDED:	36.61%	35.07%	36.98%	UNPR.OP'S PROVIDED:	36.61%	35.07%	36.98%	UNPR.OP'S PROVIDED:	27.80%	26.31%	36.39%
E.B.F. CONSTR. FRR:	45MIN	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN	45MIN
PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.
PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	COMB./NON-COMB.
(OBC 9.10.14.5.)				(OBC 9.10.14.5.)				(OBC 9.10.14.5.)				(OBC 9.10.14.5.)			
FIRE COMPARTMENT MODEL D UNIT 10:				FIRE COMPARTMENT MODEL F UNIT 12:				FIRE COMPARTMENT MODEL F UNIT 14:				FIRE COMPARTMENT MODEL D UNIT 16:			
1 E.B.F. AREA:	3.44m2			1 E.B.F. AREA:	3.44m2			1 E.B.F. AREA:	3.44m2			1 E.B.F. AREA:	3.44m2		
OBC 9.10.14.4 LIM. DIST.:	4.75m			OBC 9.10.14.4 LIM. DIST.:	4.75m			OBC 9.10.14.4 LIM. DIST.:	16.22m			OBC 9.10.14.4 LIM. DIST.:	16.22m		
UNPR. OP'S ALLOWED:	97.5%			UNPR. OP'S ALLOWED:	97.5%			UNPR. OP'S ALLOWED:	100%			UNPR. OP'S ALLOWED:	100%		
(OBC 9.10.14.4.)				(OBC 9.10.14.4.)				(OBC 9.10.14.4.)				(OBC 9.10.14.4.)			
UNPR.OP'S PROVIDED:	60.81%			UNPR.OP'S PROVIDED:	60.81%			UNPR.OP'S PROVIDED:	60.81%			UNPR.OP'S PROVIDED:	60.81%		
E.B.F. CONSTR. FRR:	45MIN			E.B.F. CONSTR. FRR:	45MIN			E.B.F. CONSTR. FRR:	45MIN			E.B.F. CONSTR. FRR:	45MIN		
PERMITTED CONSTRUCTION:	COMB./NON-COMB.			PERMITTED CONSTRUCTION:	COMB./NON-COMB.			PERMITTED CONSTRUCTION:	COMB./NON-COMB.			PERMITTED CONSTRUCTION:	COMB./NON-COMB.		
PERMITTED CLADDING:	COMB./NON-COMB.			PERMITTED CLADDING:	COMB./NON-COMB.			PERMITTED CLADDING:	COMB./NON-COMB.			PERMITTED CLADDING:	COMB./NON-COMB.		
(OBC 9.10.14.5.)				(OBC 9.10.14.5.)				(OBC 9.10.14.5.)				(OBC 9.10.14.5.)			

8 NORTH ELEVATION
4 MODULE BLOCK A

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/JRF

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**MCLEOD MANOR
STACKED TOWNHOMES**



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ELEVATION

Scale: 3/16"=1'-0"
Proj. No: 2021-01
Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV. 03/2022

Sheet Title:

Drawing No.: **B1k.A-A1.09**



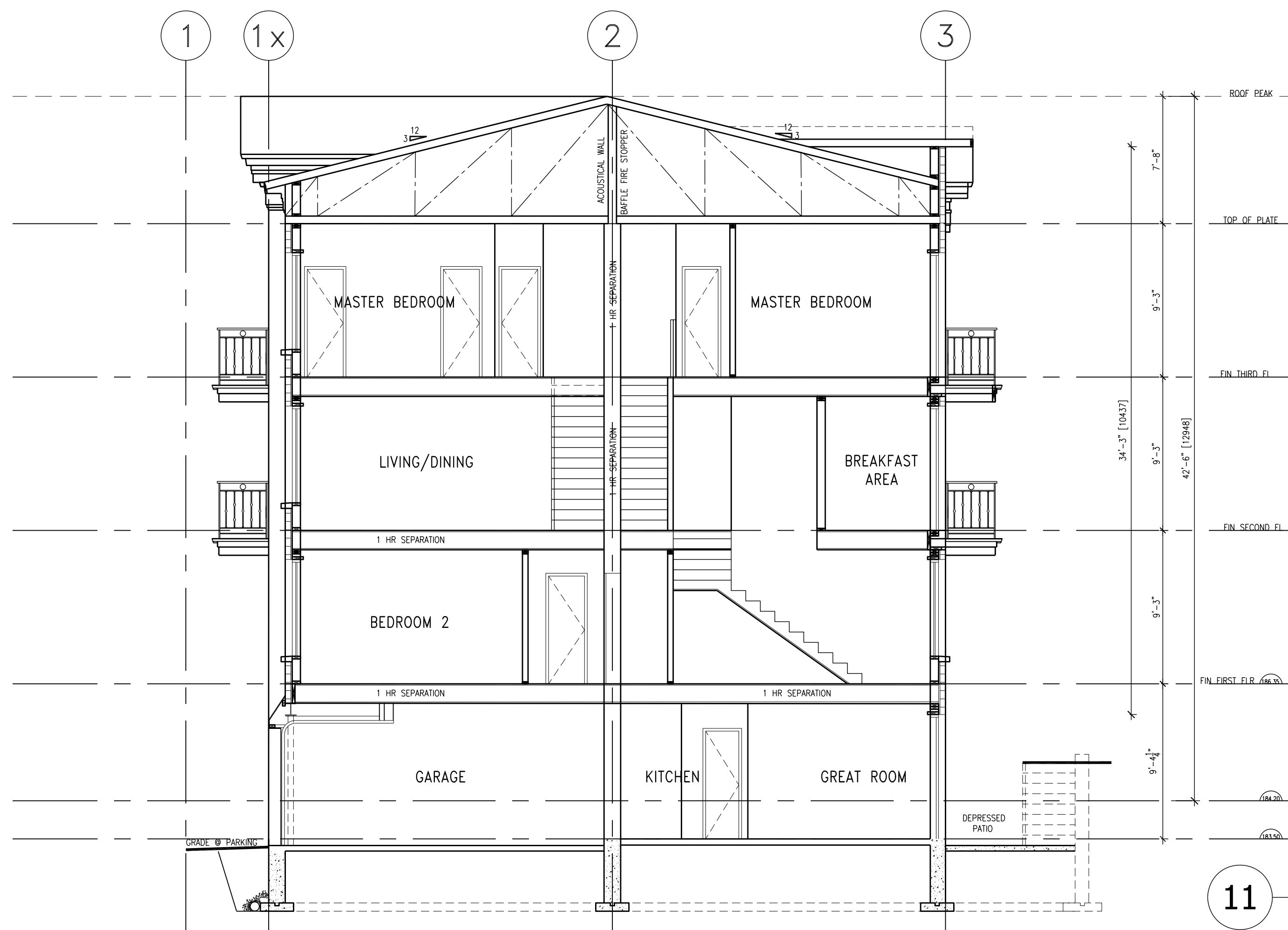
1	1x-2 ELEV. A1.09-8 MODULE UNIT	2	2-3 ELEV. A1.09-8 MODULE UNIT	3	1x-3 ELEV. A1.09-8 MODULE UNIT
FIRE COMPARTMENT	MODEL D UNIT 10:	FIRE COMPARTMENT	ADMIN UNIT 1; MODEL C UNIT 9:	FIRE COMPARTMENT	MODEL A UNIT 5:
1 E.B.F. AREA:	35.59m ²	1 E.B.F. AREA:	8.55m ² 34.52m ²	1 E.B.F. AREA:	35.05m ²
OBC 9.10.14.4 LIM. DIST.:	10.25m	OBC 9.10.14.4 LIM. DIST.:	10.25m 10.25m	OBC 9.10.14.4 LIM. DIST.:	10.25m
UNPR. OP'S ALLOWED:	100%	UNPR. OP'S ALLOWED:	100%	UNPR. OP'S ALLOWED:	100%
(OBC 9.10.14.4.)	21.22%	(OBC 9.10.14.4.)	27.05%	(OBC 9.10.14.4.)	21.54%
UNPR.OP'S PROVIDED:	45MIN	UNPR.OP'S PROVIDED:	45MIN 45MIN	E.B.F. CONSTR. FRR:	45MIN
E.B.F. CONSTR. FRR:	COMB./NON-COMB.	E.B.F. CONSTR. FRR:	COMB./NON-COMB. COMB./NON-COMB.	PERMITTED CONSTR.:	COMB./NON-COMB.
PERMITTED CONSTR.:	COMB./NON-COMB.	PERMITTED CONSTR.:	COMB./NON-COMB. COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.
PERMITTED CLADDING:	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB. COMB./NON-COMB.	(OBC 9.10.14.5.)	
(OBC 9.10.14.5.)		(OBC 9.10.14.5.)			

9 EAST ELEVATION
4 MODULE BLOCK A

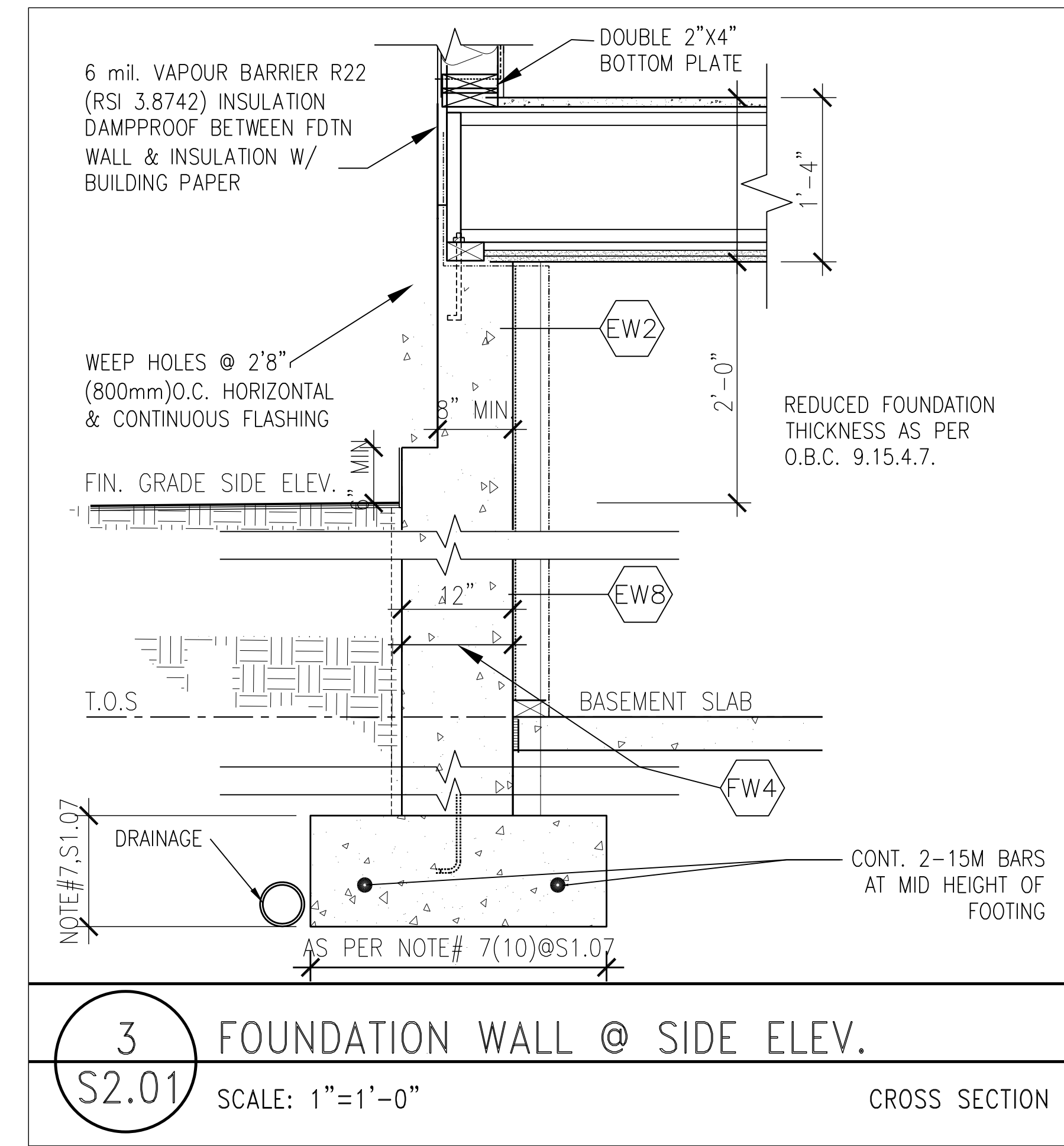


1	2-3 ELEV. A1.09-8 MODULE UNIT	2	1x-2 ELEV. A1.09-8 MODULE UNIT	3	1x-3 ELEV. A1.09-8 MODULE UNIT
FIRE COMPARTMENT	MODEL H UNIT 4; MODEL C UNIT 15:	FIRE COMPARTMENT	MODEL D UNIT 16:	FIRE COMPARTMENT	MODEL A UNIT 8:
1 E.B.F. AREA:	5.71m ² 34.52m ²	1 E.B.F. AREA:	35.59m ²	1 E.B.F. AREA:	35.05m ²
OBC 9.10.14.4 LIM. DIST.:	5.02m 5.02m	OBC 9.10.14.4 LIM. DIST.:	5.02m	OBC 9.10.14.4 LIM. DIST.:	5.02m
UNPR. OP'S ALLOWED:	98.04% 58.06%	UNPR. OP'S ALLOWED:	56.65%	UNPR. OP'S ALLOWED:	57.36%
(OBC 9.10.14.4.)	40.53%	(OBC 9.10.14.4.)	21.22%	(OBC 9.10.14.4.)	21.54%
UNPR.OP'S PROVIDED:	45MIN 45MIN	UNPR.OP'S PROVIDED:	45MIN	E.B.F. CONSTR. FRR:	45MIN
E.B.F. CONSTR. FRR:	COMB./NON-COMB. COMB./NON-COMB.	E.B.F. CONSTR. FRR:	COMB./NON-COMB.	PERMITTED CONSTR.:	COMB./NON-COMB.
PERMITTED CONSTR.:	COMB./NON-COMB. COMB./NON-COMB.	PERMITTED CONSTR.:	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.
PERMITTED CLADDING:	COMB./NON-COMB. COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	(OBC 9.10.14.5.)	
(OBC 9.10.14.5.)		(OBC 9.10.14.5.)			

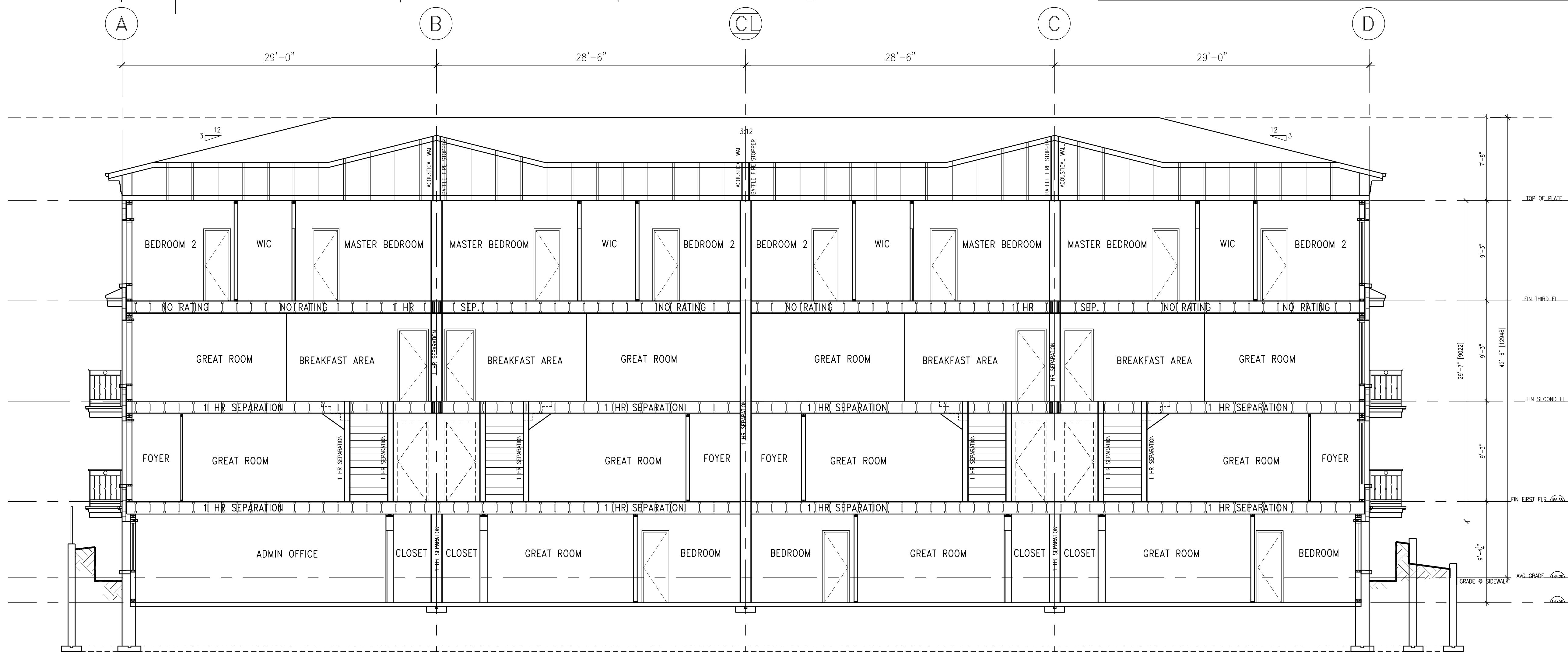
10 WEST ELEVATION
4 MODULE BLOCK A



11 CROSS SECTION A-A
4 MODULE BLOCK A



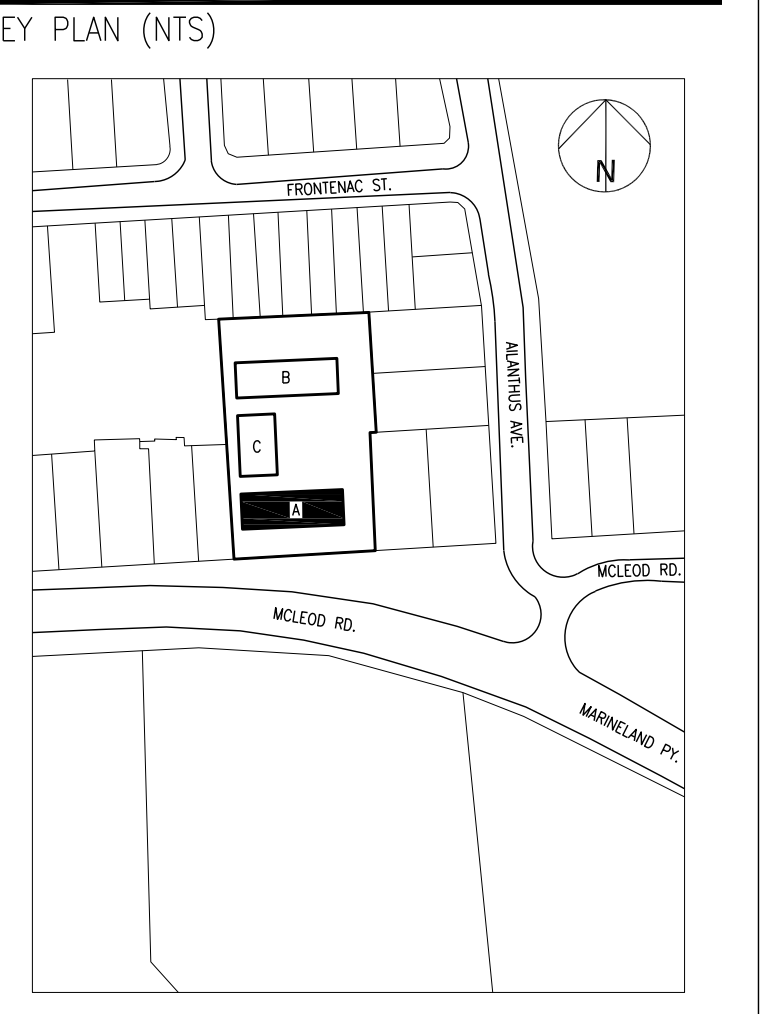
3 FOUNDATION WALL @ SIDE ELEV.
S2.01 SCALE: 1"=1'-0" CROSS SECTION



12 LONG SECTION B-B
4 MODULE BLOCK A

MCLEOD STACKED TOWNS — NIAGARA, ON

ZONING AMENDMENT



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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STACKED TOWNHOMES**



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SECTION

Scale:	Proj. No:
3/16"=1'-0"	2021-01
Drawn by:	Checked by:
DJ	TVL
Sheet Title:	Date 1st Plot:
	NOV. 03/2022
Drawing No.:	
B1k.A-A1.10	

ZONING AMENDMENT

KEY PLAN (NTS)



No	Revision comments	DATE	BY
01	FOR ZONING AMENDMENT APPLICATION	NOV. 03/2022	DJ
02	RESUBMISSION	DEC. 14/2022	DJ
03	RESUBMISSION	JUN. 06/2023	DJ/RF

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SITE PLAN BLK. B

Scale: 1:150
Proj. No: 2021-01
Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV. 03/2022

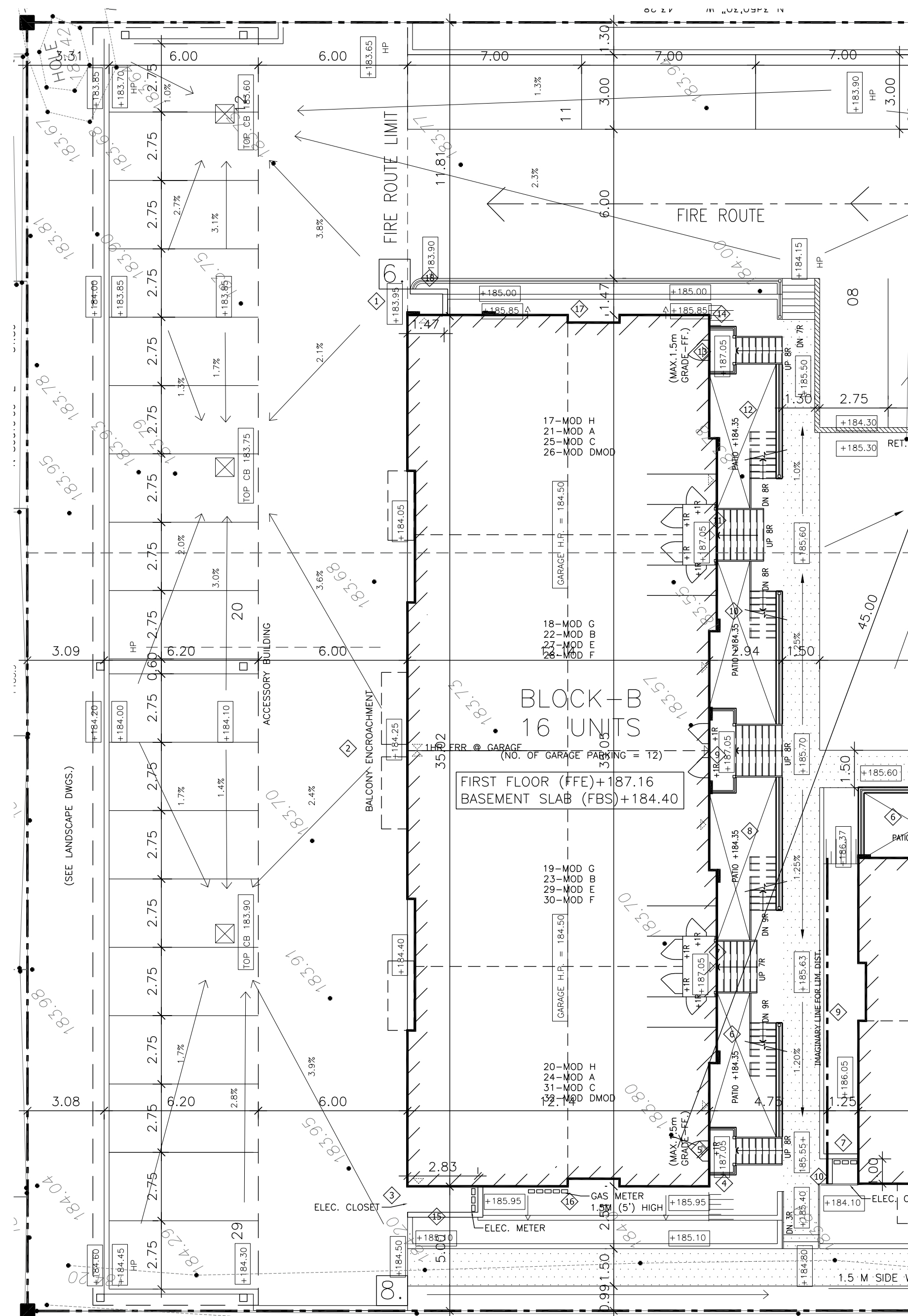
Sheet Title:

Drawing No.: **BLK.B-A1.01**

BLOCK B

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN

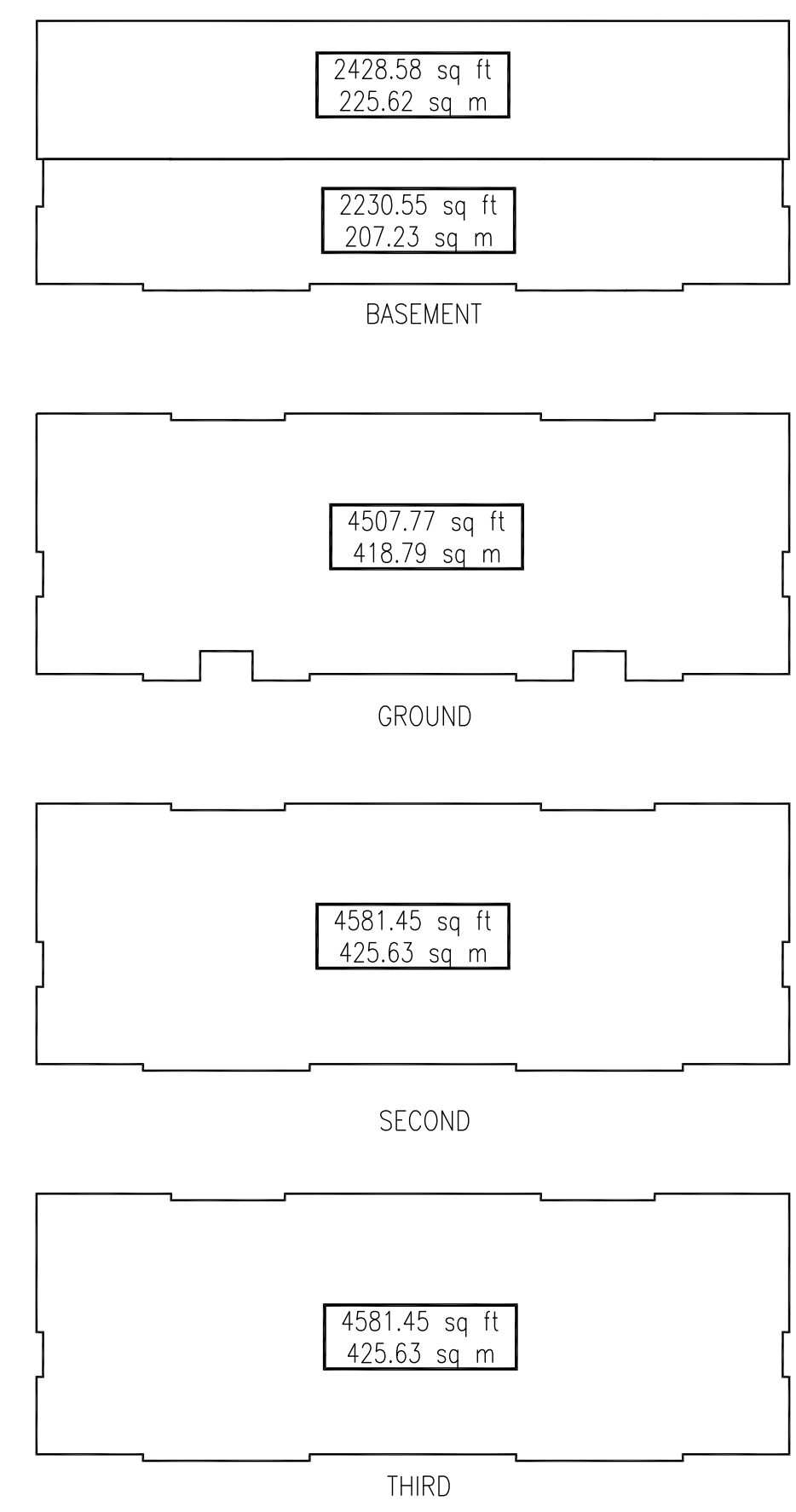
ITEM	ONTARIO BUILDING CODE DATA MATRIX - PART 9 (O Reg.191/14)	2012 OBC ISSUED: FEBRUARY 21, 2017
01	PROJECT DESCRIPTION: MCLEOD MANOR STACKED TOWNHOMES NIAGARA, ONTARIO PROJECT No.: 2021-01	NEW PART 9 [A] 1.1.2.
02	MAJOR OCCUPANCY CLASSIFICATION	GROUP C RESIDENTIAL OCCUPANCY 9.10.2.
03	SUPERIMPOSED MAJOR OCCUPANCY(S)	N/A 9.10.2.3.
04	BUILDING AREA (FOOTPRINT ON THE SITE)	425.63 m2 [A] 1.4.1.2.
05	GROSS FLOOR AREA (FOOTPRINT ON THE SITE)	1477.28 m2 [A] 1.4.1.2.
06	MEZZANINE(S) AREA m2	0m2 NOT APPLICABLE [A] 1.4.1.2. 9.10.4.
07	BUILDING HEIGHT	ABOVE GRADE 3 BELOW GRADE 1 9.10.20.
08	NUMBER OF STREETS/ACCESS ROUTES	ONE STREET
09	SPRINKLER SYSTEM PROPOSED	ENTIRE BUILDING SELECTED COMPARTMENTS SELECTED FLOOR AREAS BASEMENT ONLY REQUIRED FOR COOKING EQUIPMENT NOT REQUIRED 9.10.8.2-4.
10	FIRE ALARM REQUIRED	YES NO 9.10.18.2.
11	WATER SERVICE SUPPLY IS ADEQUATE	YES NO -
12	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION	COMBUSTIBLE NON COMBUSTIBLE COMBUSTIBLE NON COMBUSTIBLE BOTH SEE ITEM 18 9.10.6.
13	POST DISASTER BUILDING	YES NO [A] 1.1.2.2.(2)
14	TOTAL OCCUPANCY LOAD: 60 PERSONS (AS PER 2 BEDROOM OCCUPANT LOAD) BASED ON MAXIMUM m2/PERSON DESIGN OF OCCUPANCY LOAD: (2 PER BEDROOM) (PERMANENT SIGN REQUIRED) BASEMENT 4 BEDS @ 2 PER/BED = 8 PERSONS 1st FLOOR 8 BEDS @ 2 PER/BED = 16 PERSONS 2nd FLOOR SEE 3rd FLOOR 3rd FLOOR 18 BEDS @ 2 PER/BED = 36 PERSONS (ADDITIONAL FLOOR AREAS CONTINUED BELOW) UNIT IS A FIRE COMPARTMENT	3.1.17.
15	BARRIER-FREE DESIGN ROUGH IN ONLY	YES (NO ELEVATOR ONLY FOR SITE ACCESSIBLE) NO 9.5.2.1.(2)
16	HAZARDOUS SUBSTANCES	YES NO 9.10.1.3.(4)
17	REQUIRED FIRE RESISTANCE RATING (F.R.R.)	HORIZONTAL ASSEMBLIES YES NO F.R.R. LISTED U.L.C. DESIGN# OR OBC SB-3 FLOOR ABOVE BASEMENT & GROUND 1 HRS. SB-3 TABLE 1, F15g FLOOR ABOVE 2ND FLOOR 0 HRS. SB-3 TABLE 1, F15g ROOF 0 HRS. NOT REQUIRED VERTICAL WALL ASSEMBLIES BETWEEN SUITES YES NO F.R.R. LISTED U.L.C. DESIGN# OR OBC SB-3 SUITE & SUITE/ EXIT STAIR 1 HRS. SB-3 TABLE 1, W15a SUITE & ELEVATOR 0 HR NOT APPLICABLE 9.10.8. 9.10.9. 9.10.9.
18	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (FIRE COMPARTMENTS)	9.10.14-15.
	SEE ELEVATION A1.07 FOR FIRE COMPARTMENT	
	SEE ELEVATION A1.08 FOR FIRE COMPARTMENT	
	SEE ELEVATION A1.09 FOR FIRE COMPARTMENT	
19	PLUMBING: #WATER CLOSETS FOR PUBLIC USE (COMMON ELEMENT)*	NOT APPLICABLE 9.31. 3.7.4.
20	NOTES	
	1. PROFESSIONAL ENGINEER AND ARCHITECT REQUIRED.	YES
	2. LOCATION OF FIRE HYDRANT, FIRE ACCESS ROUTES BY OTHERS, FIRE HYDRANT TO BE LOCATED WITHIN 90 M OF PRINCIPAL ENTRANCE.	YES
	3. REQUIRED FIRE PROTECTION RATING OF CLOSURE TO BE A MINIMUM 20 MINUTES IN WALLS REQUIRED TO HAVE BE A FIRE SEPARATION AND FIRE RESISTANCE RATING	YES
	4. REFER TO FL/WALL SCHEDULE FOR SB3 OBC OR ULC LISTINGS WHERE RATINGS ARE REQUIRED.	YES
	5. REFER TO ELEVATIONS FOR REQUIREMENTS OF UNPROTECTED OPENING.	YES



BLK B							
DRAWING NO.	POINT 1	POINT 2	GRADE 1	GRADE 2	AVG GRD	LENGTH	WGHT AVG
1	BLK.B-A1.07-7	Exit Start	183.95	183.95	183.95	1.22	224.42
2	BLK.B-A1.07-7	Gridline D	183.95	184.50	184.23	35.05	6457.09
3	BLK.B-A1.07-7	E. Closet Start	184.50	184.50	184.50	1.22	225.09
4	BLK.B-A1.08-8	E. Closet Start	185.95	185.95	185.95	1.68	312.40
5	BLK.B-A1.08-8	Porch A-B Start	187.05	187.05	187.05	1.91	357.27
6	BLK.B-A1.08-8	Porch A-B End	184.35	184.35	184.35	5.40	995.49
7	BLK.B-A1.08-8	Porch B Start	187.05	187.05	187.05	2.13	398.42
8	BLK.B-A1.08-8	Patio B-CL Start	184.35	184.35	184.35	5.92	1091.35
9	BLK.B-A1.08-8	Porch CL Start	187.05	187.05	187.05	3.41	637.84
10	BLK.B-A1.08-8	Patio CL-C Start	184.35	184.35	184.35	5.92	1091.35
11	BLK.B-A1.08-8	Porch C Start	187.05	187.05	187.05	2.13	398.42
12	BLK.B-A1.08-8	Patio C-D Start	184.35	184.35	184.35	5.40	995.49
13	BLK.B-A1.08-8	Porch C-D Start	187.05	187.05	187.05	1.91	357.27
14	BLK.B-A1.08-8	Porch C-D End	185.85	185.85	185.85	1.68	312.23
15	BLK.B-A1.09-9	E. Closet Start	185.10	185.10	185.10	2.46	455.35
16	BLK.B-A1.09-9	E. Closet End	185.95	185.95	185.95	9.68	1800.00
17	BLK.B-A1.09-10	Edge of Building	185.85	185.85	185.85	10.67	1983.02
18	BLK.B-A1.09-10	Exit Start	185.00	185.00	185.00	1.47	271.95

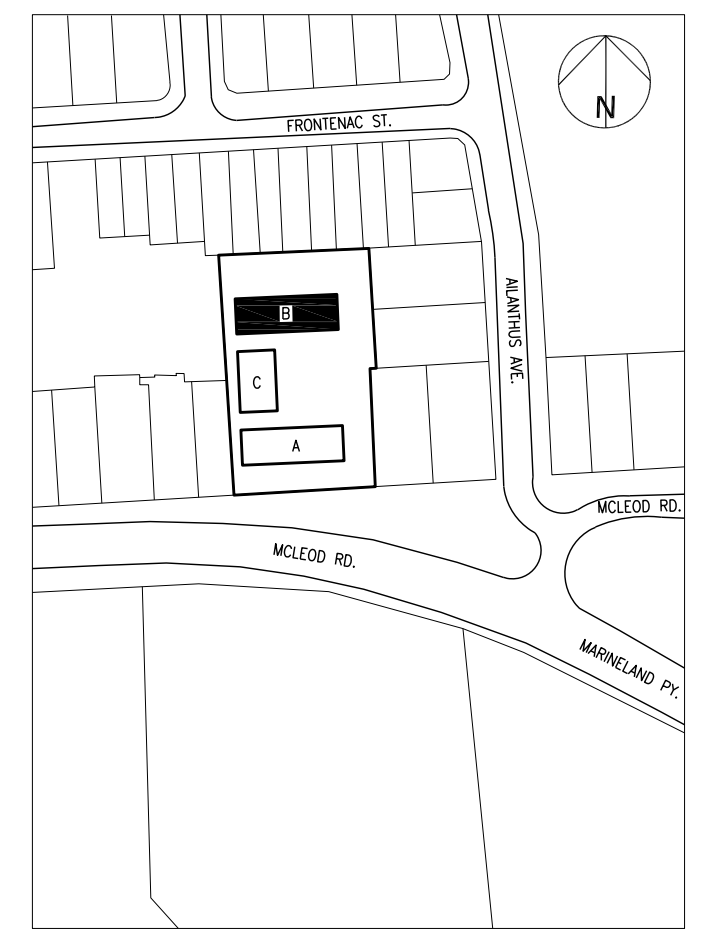
99.26 18364.42
185.01

FFE 187.16
FL ASSEMBLY 0.35
CEILING 186.81
AV. GRADE-CEILING 1.80
3-STOREY BUILDING AS PER O.B.C. [A] 1.4.1.2. BUILDING HEIGHT
PART 9 AS PER O.B.C. 9.1.1.1. SCOPE



ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
STACKED TOWNHOMES**

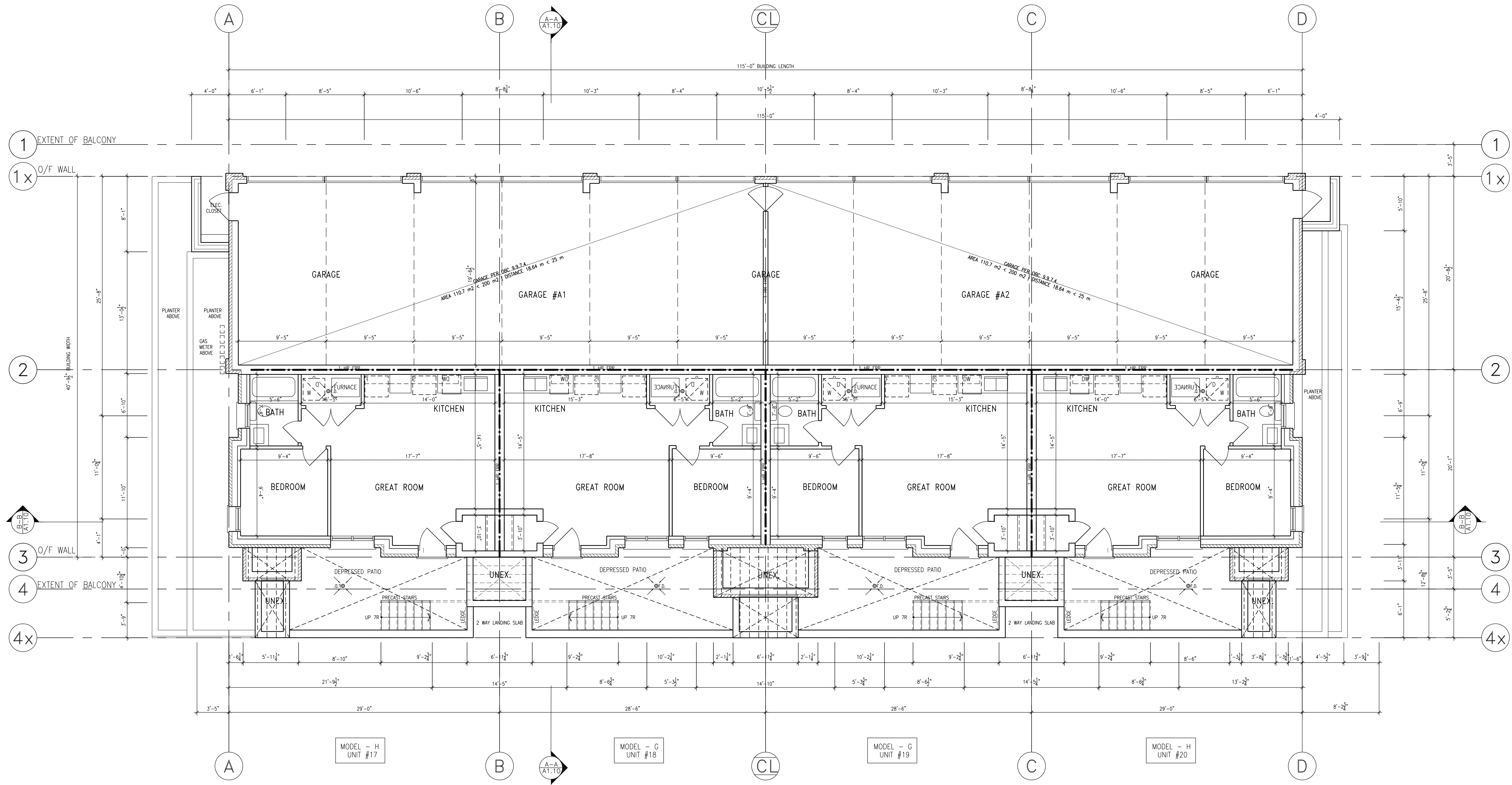


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BASEMENT

Scale: 3/16" = 1'-0"
 Drawn by: DJ
 Checked by: TVL
 Date 1st Plot: NOV 03'22

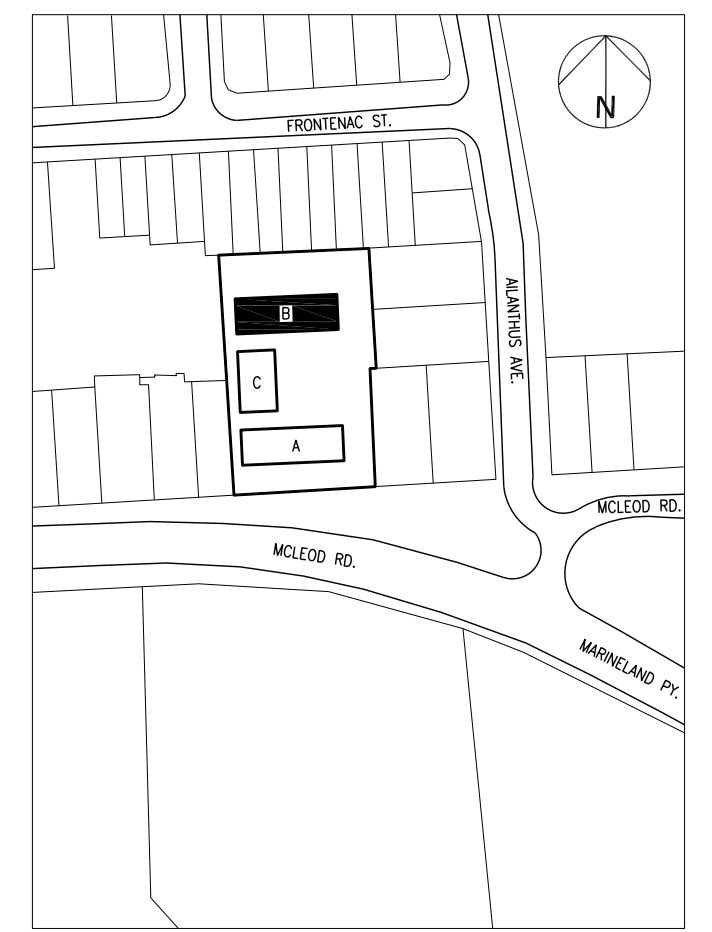
Sheet Title:
 Drawing No.: **B1k.B-A1.02**



2 BASEMENT
4 MODULE BLOCK B

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
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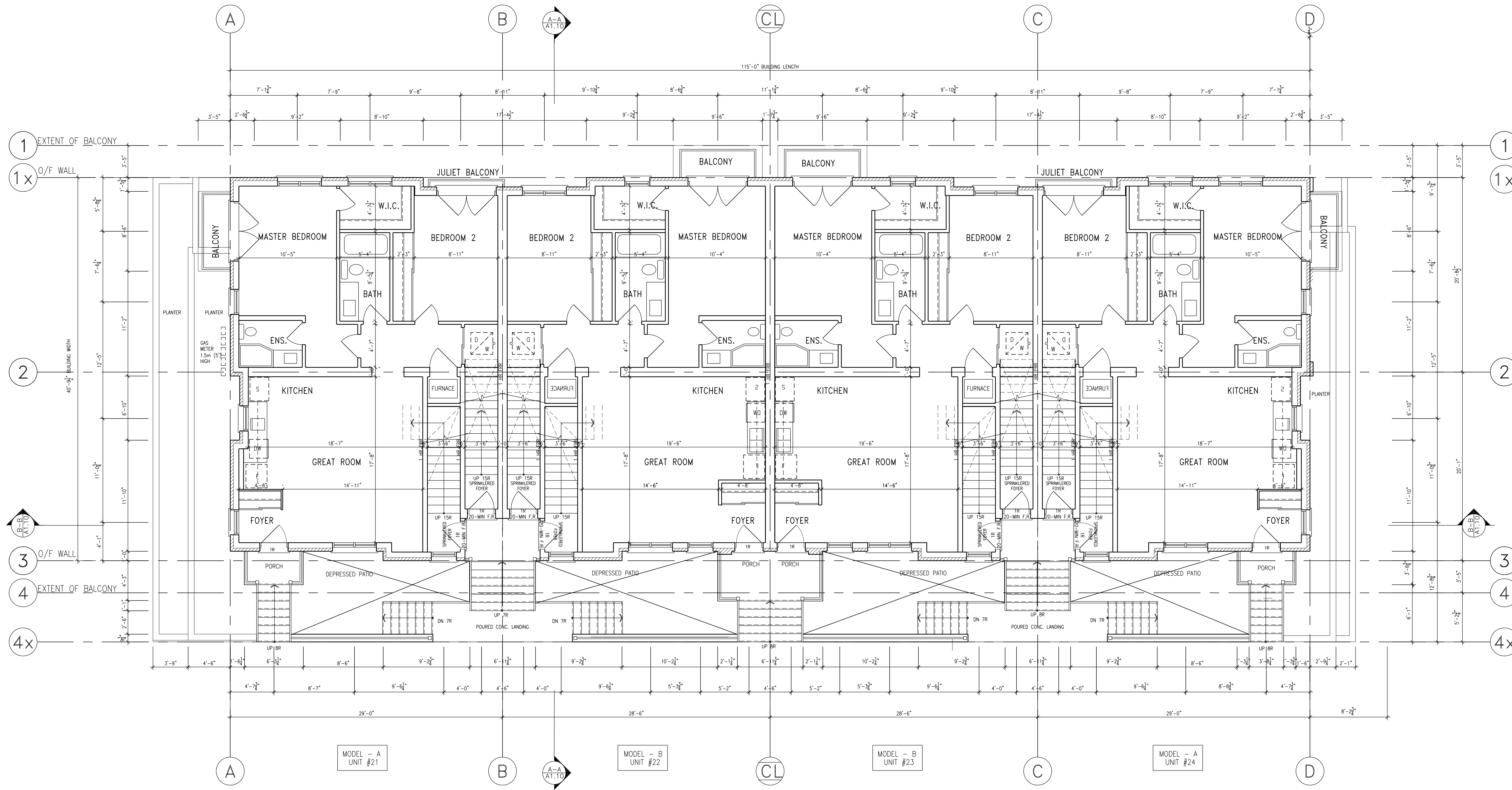
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GROUND FLR.

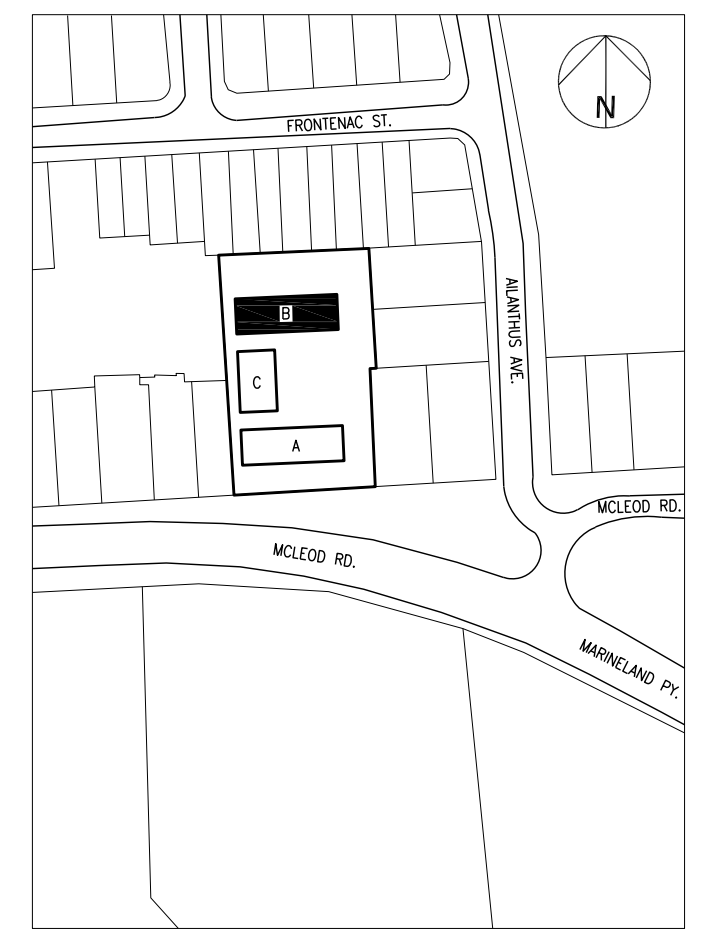
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 Proj. No: 2021-01
 Drawn by: DJ
 Checked by: TVL
 Date 1st Plot: NOV 03'22
 Sheet Title:
 Drawing No.: **B1k.B-A1.03**



3 GROUND FLOOR
4 MODULE BLOCK B

ZONING AMENDMENT

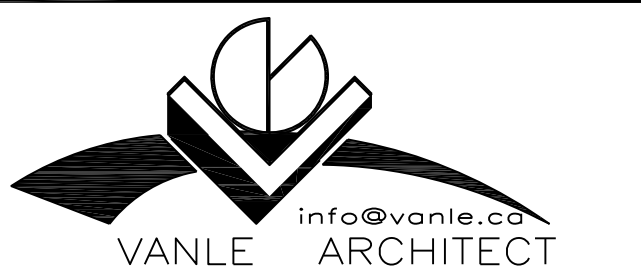
KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

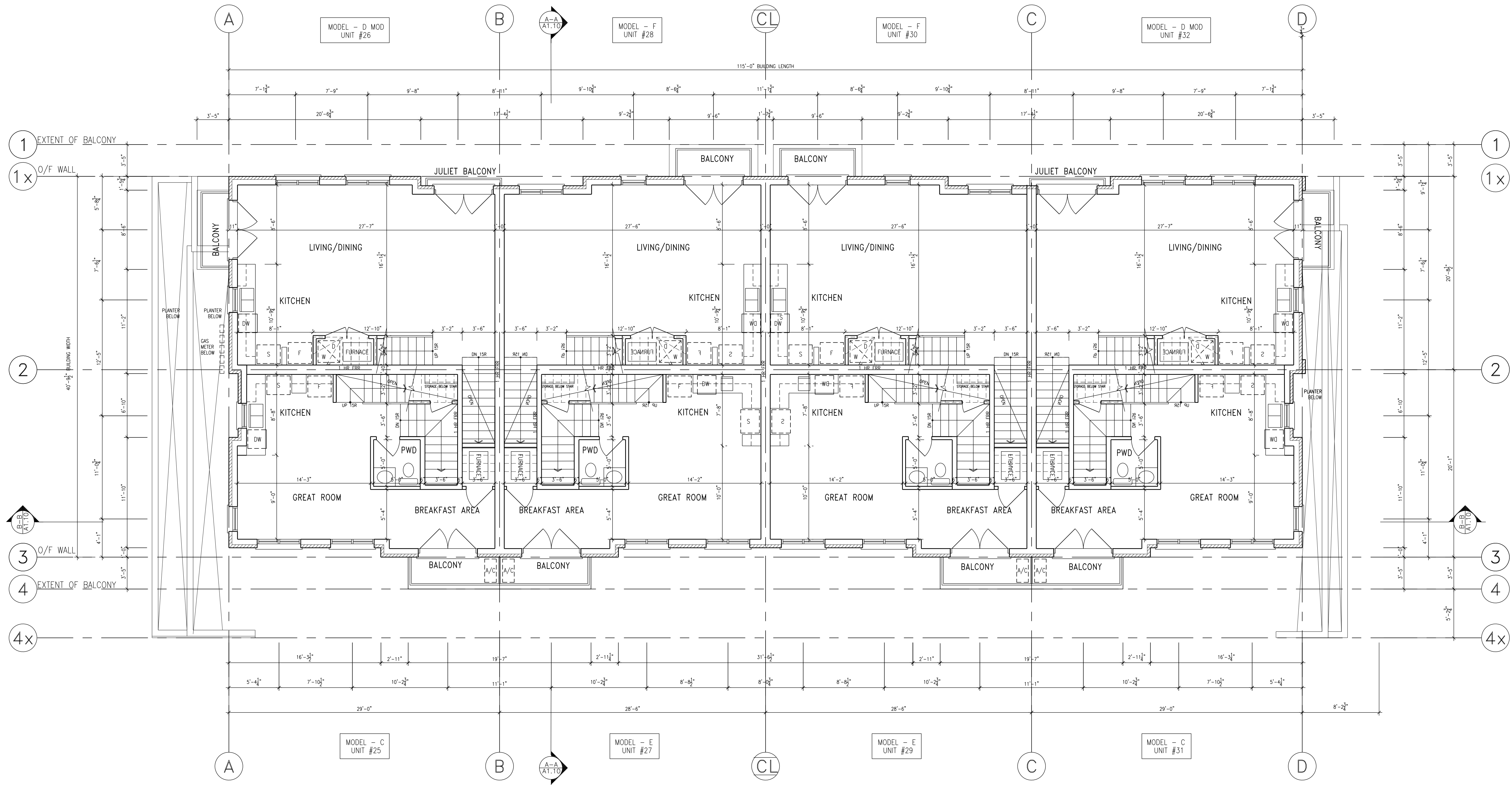
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**MCLEOD MANOR
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SECOND FLR.

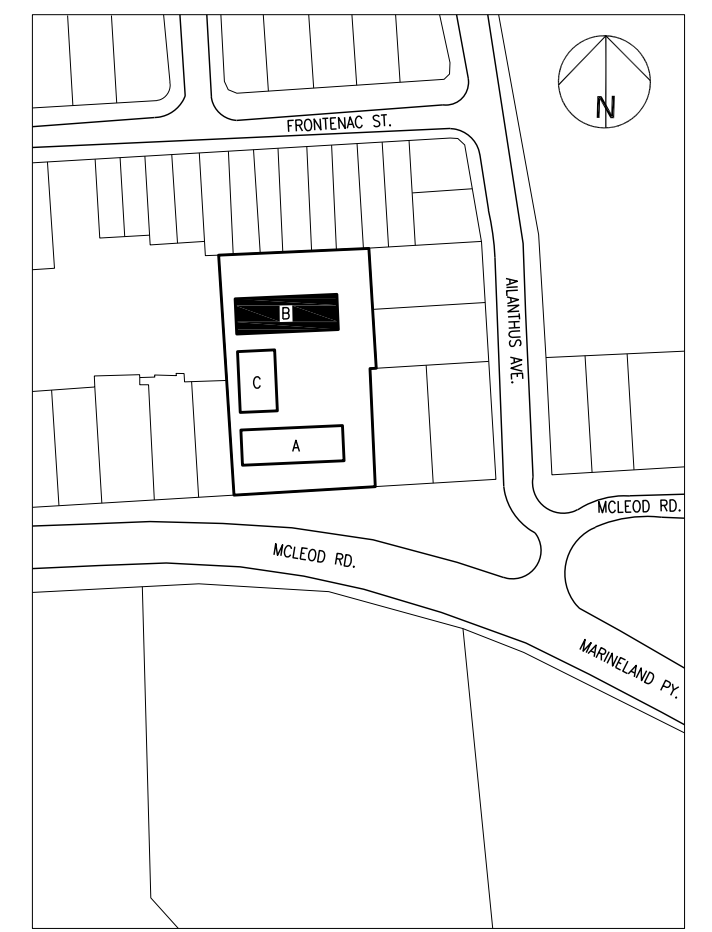
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 Drawn by: DJ
 Checked by: TVL
 Date 1st Plot: NOV 03'22
 Sheet Title:
 Drawing No.: **B1k.B-A1.04**



**4 SECOND FLOOR
4 MODULE BLOCK B**

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
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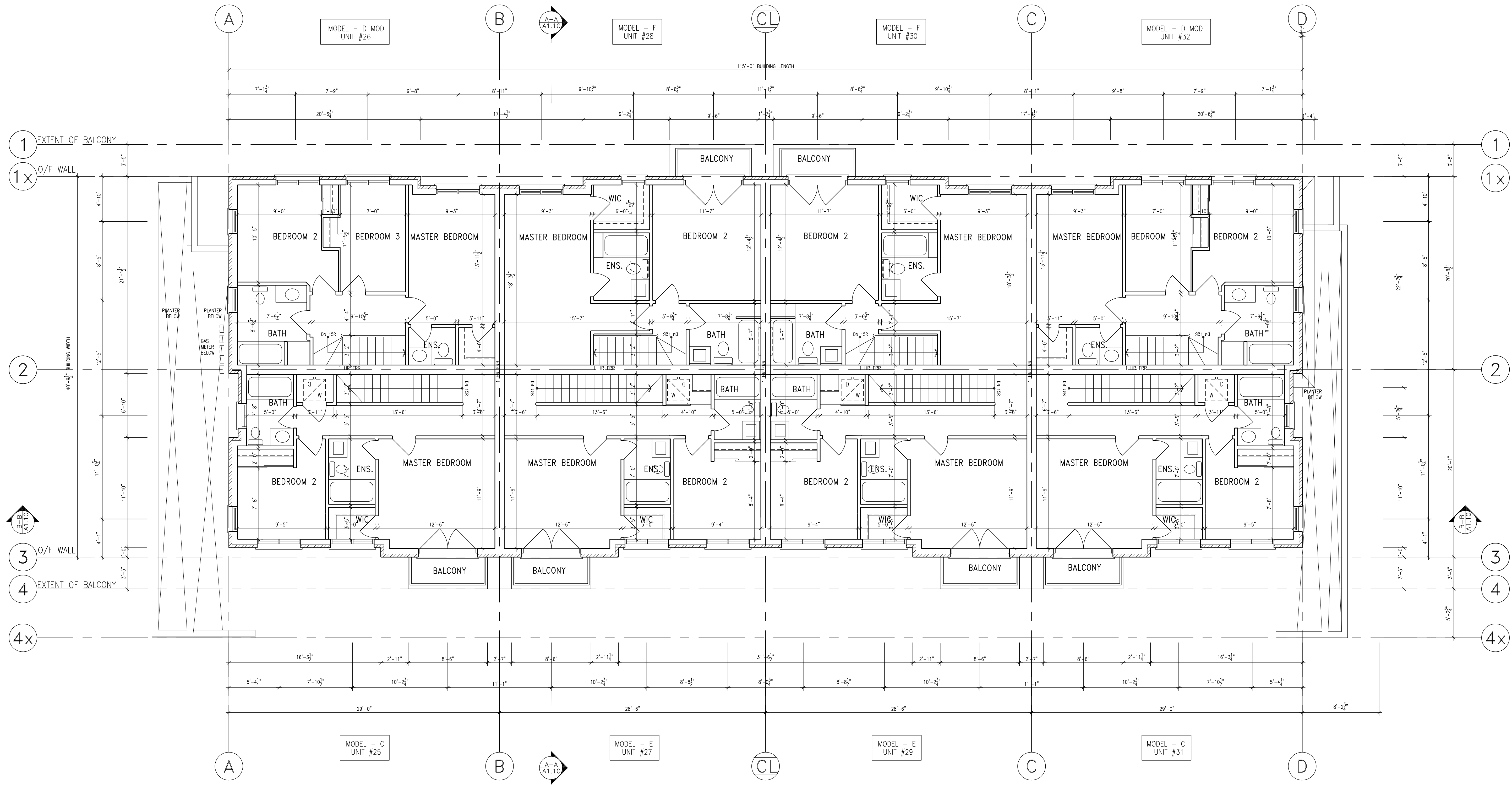


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THIRD FLR.

Scale:	3/16" = 1'-0"	Proj. No:	2021-01
Drawn by:	DJ	Checked by:	TVL
Sheet Title:	Date 1st Plot NOV 03'22		
Drawing No.:	Bik.B-A1.05		

MCLEOD STACKED TOWNS — NIAGARA, ON



5 THIRD FLOOR
4 MODULE BLOCK B

ZONING AMENDMENT

KEY PLAN (NTS)



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1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
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3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
STACKED TOWNHOMES**

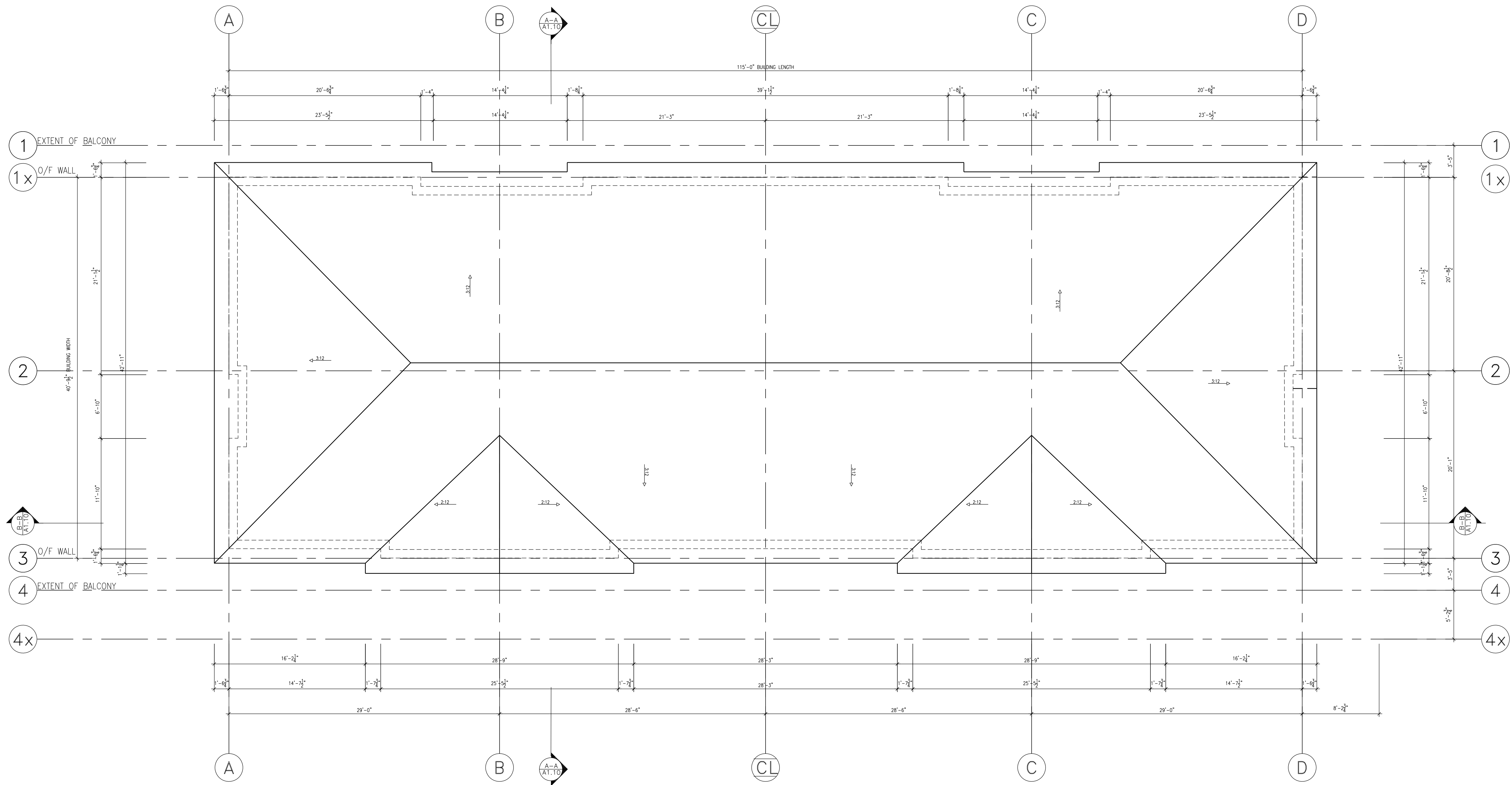


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ROOF PLAN

Scale: 3/16" = 1'-0"
Proj. No: 2021-01
Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV 03'22

Sheet Title:
Drawing No.: **B1k.B-A1.06**



6 ROOF PLAN
4 MODULE BLOCK B

ZONING AMENDMENT

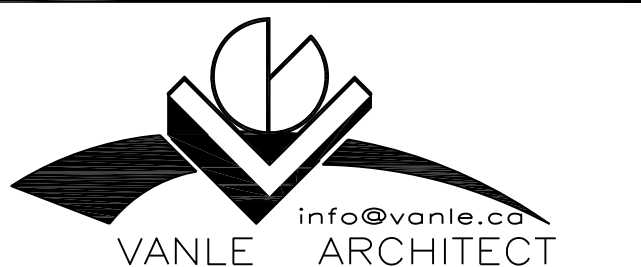
KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
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ELEVATION

Scale: 3/16"=1'-0"
Proj. No: 2021-01
Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV 03'22

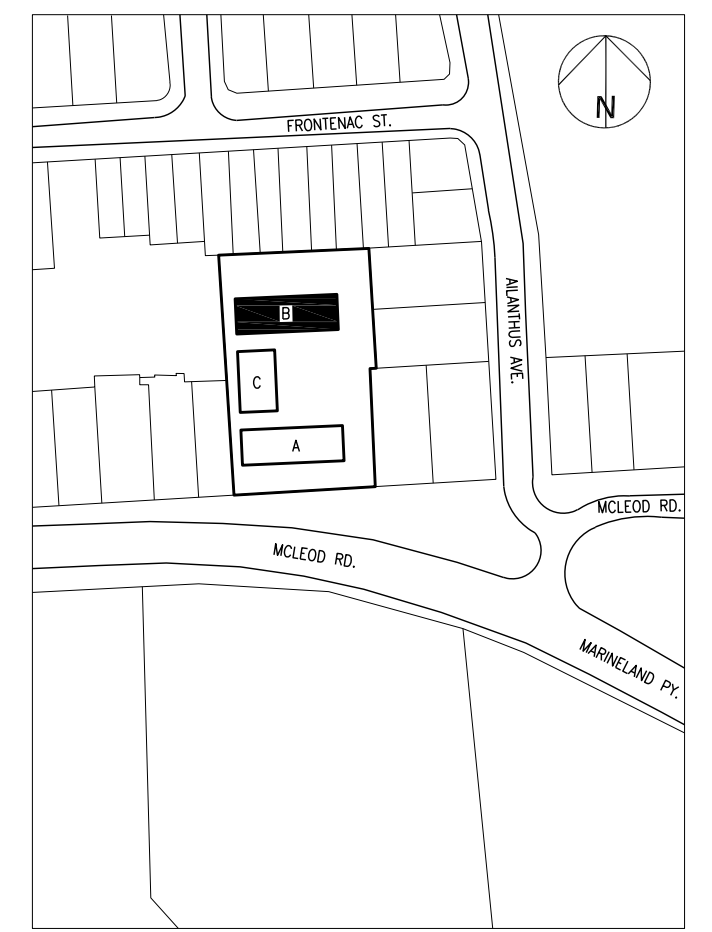
Sheet Title:
Drawing No.: **B1k.B-A1.07**



7 NORTH ELEVATION
4 MODULE BLOCK B

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
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3	RESUBMISSION	JUN. 06/2023	DJ/RF

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ELEVATION

Scale:	Proj. No:
3/16" = 1'-0"	2021-01
Drawn by:	Checked by:
DJ	TVL
Sheet Title:	Date 1st Plot:
	NOV 03'22
Drawing No.:	
Bik.B-A1.08	

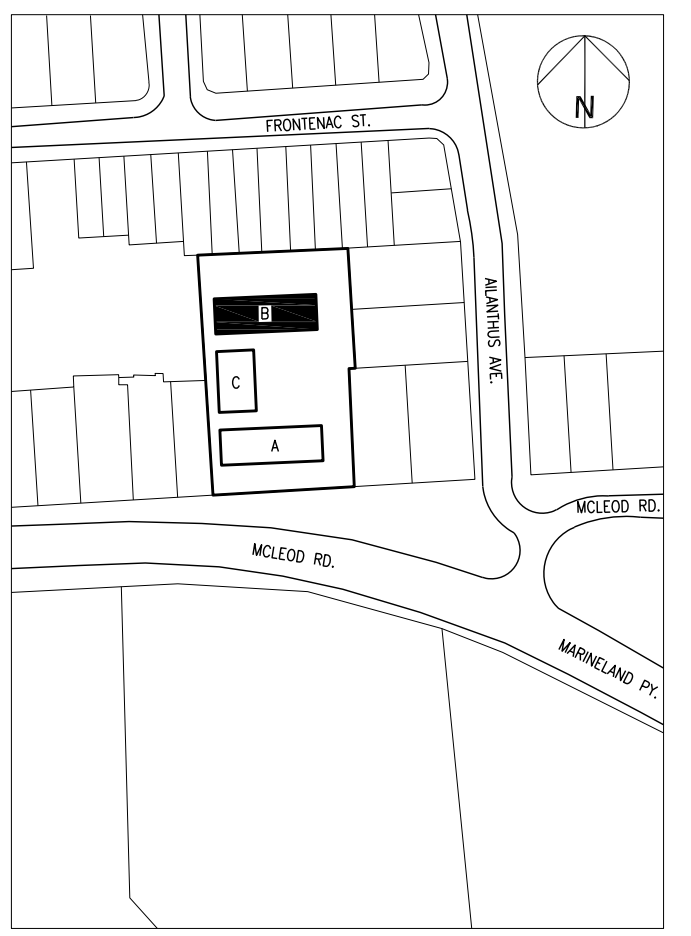


1 A-B ELEV. A1.08 MODULE UNIT			2 B-CL ELEV. A1.08 MODULE UNIT			3 CL-C ELEV. A1.08 MODULE UNIT			4 C-D ELEV. A1.08 MODULE UNIT		
FIRE COMPARTMENT MODEL H UNIT 17; MODEL A UNIT 21; MODEL C UNIT 25;			FIRE COMPARTMENT MODEL G UNIT 18; MODEL B UNIT 22; MODEL E UNIT 27;			FIRE COMPARTMENT MODEL G UNIT 19; MODEL B UNIT 23; MODEL E UNIT 29;			FIRE COMPARTMENT MODEL H UNIT 20; MODEL A UNIT 24; MODEL C UNIT 31;		
1 E.B.F. AREA:	16.87m2	17.83m2	1 E.B.F. AREA:	16.87m2	17.62m2	1 E.B.F. AREA:	16.87m2	17.40m2	1 E.B.F. AREA:	16.87m2	17.83m2
OBC 9.10.14.4 LIM. DIST.:	4.75m	4.75m	OBC 9.10.14.4 LIM. DIST.:	4.75m	4.75m	OBC 9.10.14.4 LIM. DIST.:	16.22m	16.22m	OBC 9.10.14.4 LIM. DIST.:	16.22m	16.22m
UNPR. OP'S ALLOWED:	76.10%	74.42%	UNPR. OP'S ALLOWED:	76.10%	74.80%	UNPR. OP'S ALLOWED:	100%	100%	UNPR. OP'S ALLOWED:	100%	100%
(OBC 9.10.14.4.)			(OBC 9.10.14.4.)			(OBC 9.10.14.4.)			(OBC 9.10.14.4.)		
UNPR.OP'S PROVIDED:	27.80%	26.31%	UNPR.OP'S PROVIDED:	36.61%	35.07%	UNPR.OP'S PROVIDED:	36.61%	35.50%	UNPR.OP'S PROVIDED:	27.80%	26.31%
E.B.F. CONSTR. FRR:	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN	E.B.F. CONSTR. FRR:	45MIN	45MIN
PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB.	COMB./NON-COMB.
PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB.	COMB./NON-COMB.
(OBC 9.10.14.5.)			(OBC 9.10.14.5.)			(OBC 9.10.14.5.)			(OBC 9.10.14.5.)		
FIRE COMPARTMENT MODEL D UNIT 26			FIRE COMPARTMENT MODEL F UNIT 28			FIRE COMPARTMENT MODEL F UNIT 28			FIRE COMPARTMENT MODEL D UNIT 32		
1 E.B.F. AREA:	3.44m2		1 E.B.F. AREA:	3.44m2		1 E.B.F. AREA:	3.44m2		1 E.B.F. AREA:	3.44m2	
OBC 9.10.14.4 LIM. DIST.:	4.75m		OBC 9.10.14.4 LIM. DIST.:	4.75m		OBC 9.10.14.4 LIM. DIST.:	16.22m		OBC 9.10.14.4 LIM. DIST.:	16.22m	
UNPR. OP'S ALLOWED:	97.5%		UNPR. OP'S ALLOWED:	97.5%		UNPR. OP'S ALLOWED:	100%		UNPR. OP'S ALLOWED:	100%	
(OBC 9.10.14.4.)			(OBC 9.10.14.4.)			(OBC 9.10.14.4.)			(OBC 9.10.14.4.)		
UNPR.OP'S PROVIDED:	60.81%		UNPR.OP'S PROVIDED:	60.81%		UNPR.OP'S PROVIDED:	60.81%		UNPR.OP'S PROVIDED:	60.81%	
E.B.F. CONSTR. FRR:	45MIN		E.B.F. CONSTR. FRR:	45MIN		E.B.F. CONSTR. FRR:	45MIN		E.B.F. CONSTR. FRR:	45MIN	
PERMITTED CONSTRUCTION:	COMB./NON-COMB.		PERMITTED CONSTRUCTION:	COMB./NON-COMB.		PERMITTED CONSTRUCTION:	COMB./NON-COMB.		PERMITTED CONSTRUCTION:	COMB./NON-COMB.	
PERMITTED CLADDING:	COMB./NON-COMB.		PERMITTED CLADDING:	COMB./NON-COMB.		PERMITTED CLADDING:	COMB./NON-COMB.		PERMITTED CLADDING:	COMB./NON-COMB.	
(OBC 9.10.14.5.)			(OBC 9.10.14.5.)			(OBC 9.10.14.5.)			(OBC 9.10.14.5.)		

8 SOUTH ELEVATION
4 MODULE BLOCK A&B

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
STACKED TOWNHOMES**



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ELEVATION

Scale:	Proj. No:
3/16" = 1'-0"	2021-01
Drawn by:	Checked by:
DJ	TVL
Sheet Title:	Date 1st Plot:
	NOV 03'22
Drawing No.:	
B1k.B-A1.09	



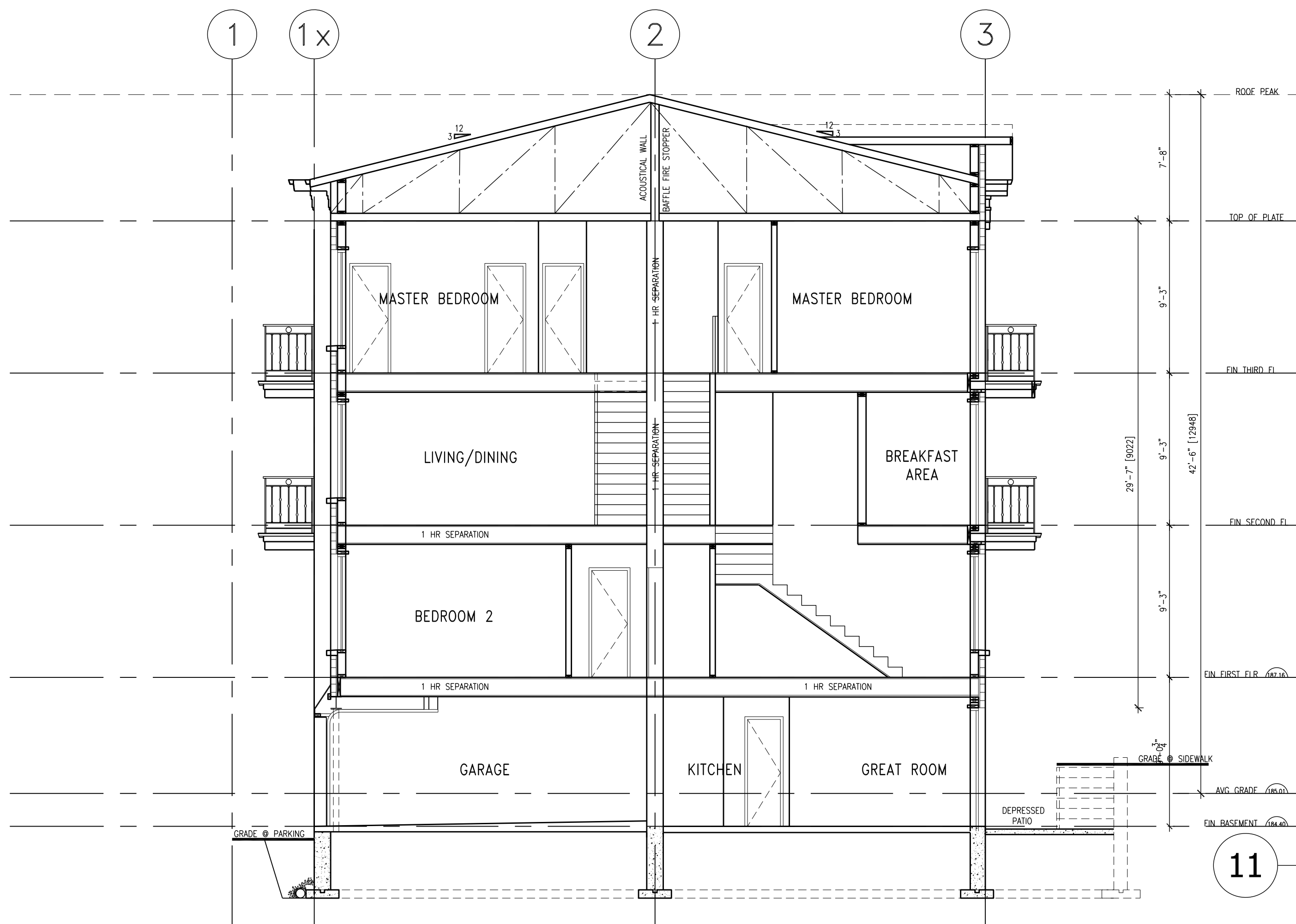
Module Unit	Fire Compartment Details
1x-2 ELEV. A1.09-8 MODULE UNIT	FIRE COMPARTMENT MODEL D UNIT 26: 1 E.B.F. AREA: 35.59m ² OBC 9.10.14.4 LIM. DIST.: 5.00m UNPR. OP'S ALLOWED: 56.23% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 21.22% E.B.F. CONSTR. FRR: 45MIN PERMITTED CONSTRUCTION: COMB./NON-COMB. PERMITTED CLADDING: COMB./NON-COMB. (OBC 9.10.14.5.)
2-3 ELEV. A1.09-8 MODULE UNIT	FIRE COMPARTMENT MODEL H UNIT 17; MODEL C UNIT 25: 1 E.B.F. AREA: 9.00m ² 34.52m ² OBC 9.10.14.4 LIM. DIST.: 5.00m 5.00m UNPR. OP'S ALLOWED: 98.00% 57.63% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 25.68% 13.40% E.B.F. CONSTR. FRR: 45MIN 45MIN PERMITTED CONSTR.: COMB./NON-COMB. COMB./NON-COMB. PERMITTED CLADDING: COMB./NON-COMB. COMB./NON-COMB. (OBC 9.10.14.5.)
1x-3 ELEV. A1.09-8 MODULE UNIT	FIRE COMPARTMENT MODEL A UNIT 21: 1 E.B.F. AREA: 35.05m ² OBC 9.10.14.4 LIM. DIST.: 5.00m UNPR. OP'S ALLOWED: 100% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 21.54% E.B.F. CONSTR. FRR: 45MIN PERMITTED CONSTRUCTION: COMB./NON-COMB. PERMITTED CLADDING: COMB./NON-COMB. (OBC 9.10.14.5.)

9 WEST ELEVATION
4 MODULE BLOCK B

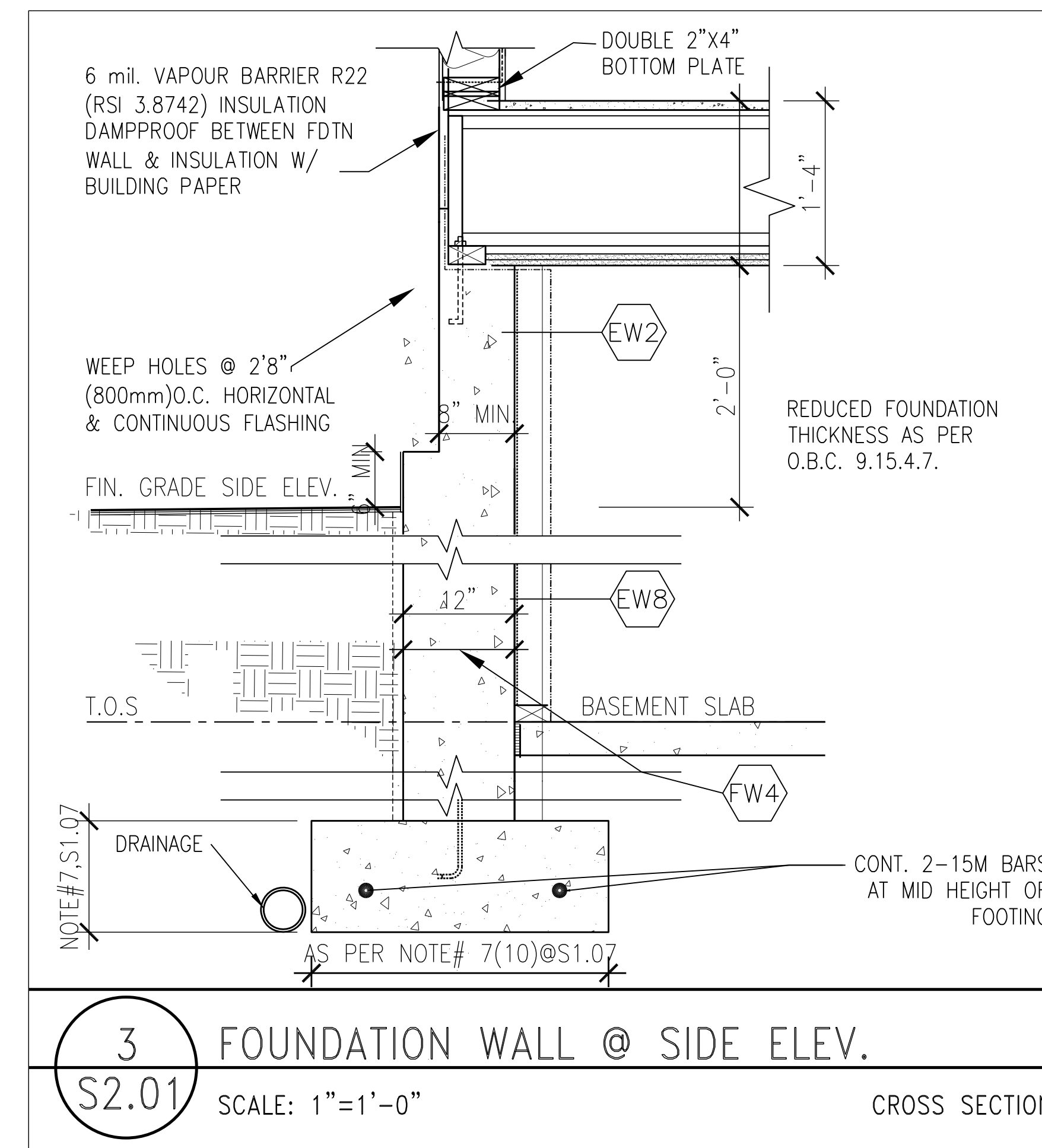


Module Unit	Fire Compartment Details
2-3 ELEV. A1.09-8 MODULE UNIT	FIRE COMPARTMENT MODEL H UNIT 20; MODEL C UNIT 31: 1 E.B.F. AREA: 9.63m ² 34.52m ² OBC 9.10.14.4 LIM. DIST.: 11.81m 11.81m UNPR. OP'S ALLOWED: 100% 100% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 24.00% 13.40% E.B.F. CONSTR. FRR: 45MIN 45MIN PERMITTED CONSTR.: COMB./NON-COMB. COMB./NON-COMB. PERMITTED CLADDING: COMB./NON-COMB. COMB./NON-COMB. (OBC 9.10.14.5.)
1x-2 ELEV. A1.09-8 MODULE UNIT	FIRE COMPARTMENT MODEL D UNIT 32: 1 E.B.F. AREA: 35.59m ² OBC 9.10.14.4 LIM. DIST.: 11.81m UNPR. OP'S ALLOWED: 100% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 21.22% E.B.F. CONSTR. FRR: 45MIN PERMITTED CONSTRUCTION: COMB./NON-COMB. PERMITTED CLADDING: COMB./NON-COMB. (OBC 9.10.14.5.)
1x-3 ELEV. A1.09-8 MODULE UNIT	FIRE COMPARTMENT MODEL A UNIT 24: 1 E.B.F. AREA: 35.05m ² OBC 9.10.14.4 LIM. DIST.: 11.81m UNPR. OP'S ALLOWED: 100% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 21.54% E.B.F. CONSTR. FRR: 45MIN PERMITTED CONSTRUCTION: COMB./NON-COMB. PERMITTED CLADDING: COMB./NON-COMB. (OBC 9.10.14.5.)

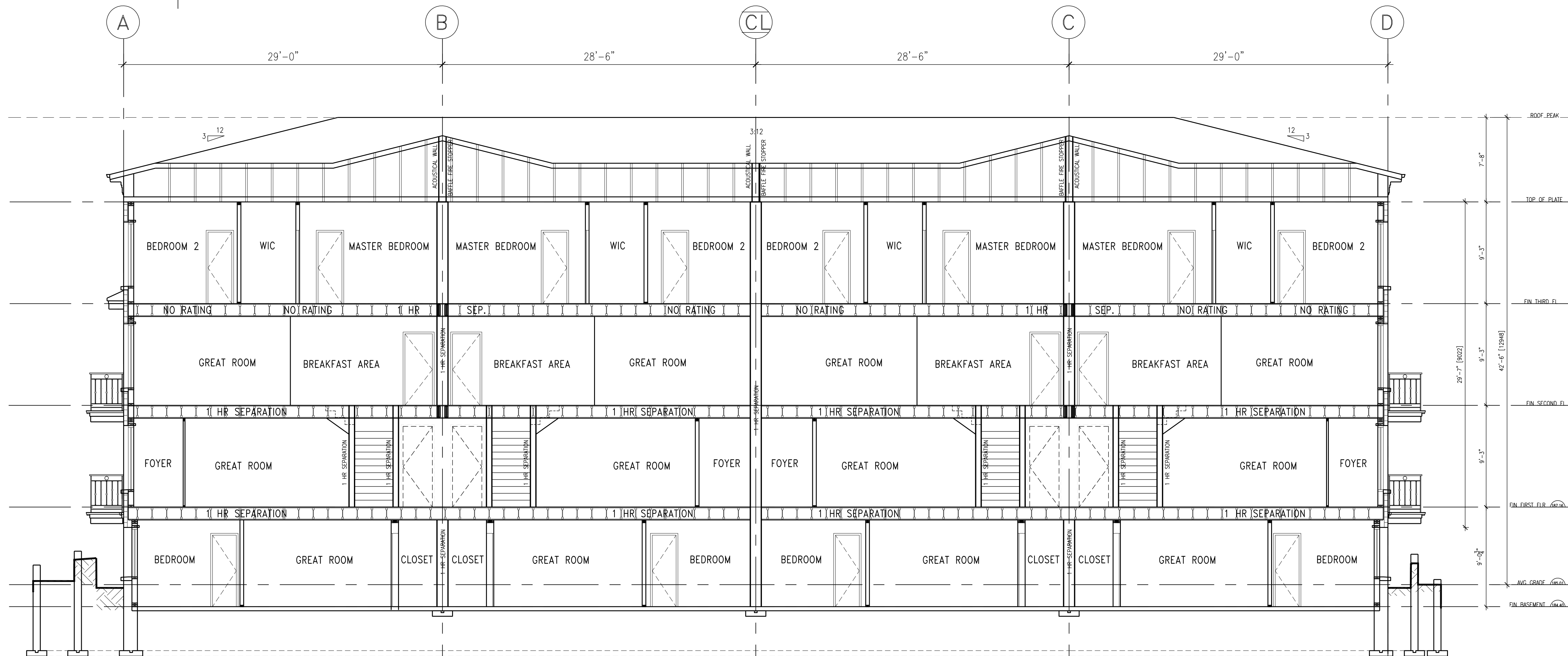
10 EAST ELEVATION
4 MODULE BLOCK B



11 CROSS SECTION A-A
4 MODULE BLOCK B



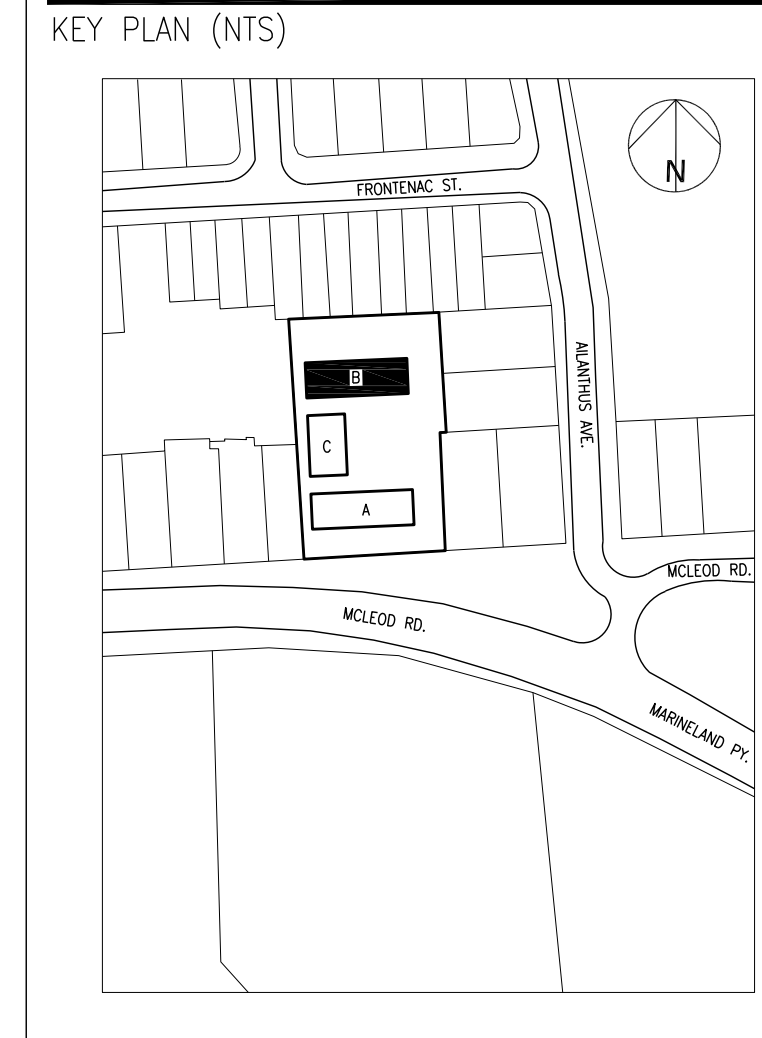
3 FOUNDATION WALL @ SIDE ELEV.
S2.01 SCALE: 1"=1'-0" CROSS SECTION



12 LONG SECTION B-B
4 MODULE BLOCK B

MCLEOD STACKED TOWNS — NIAGARA, ON

ZONING AMENDMENT



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
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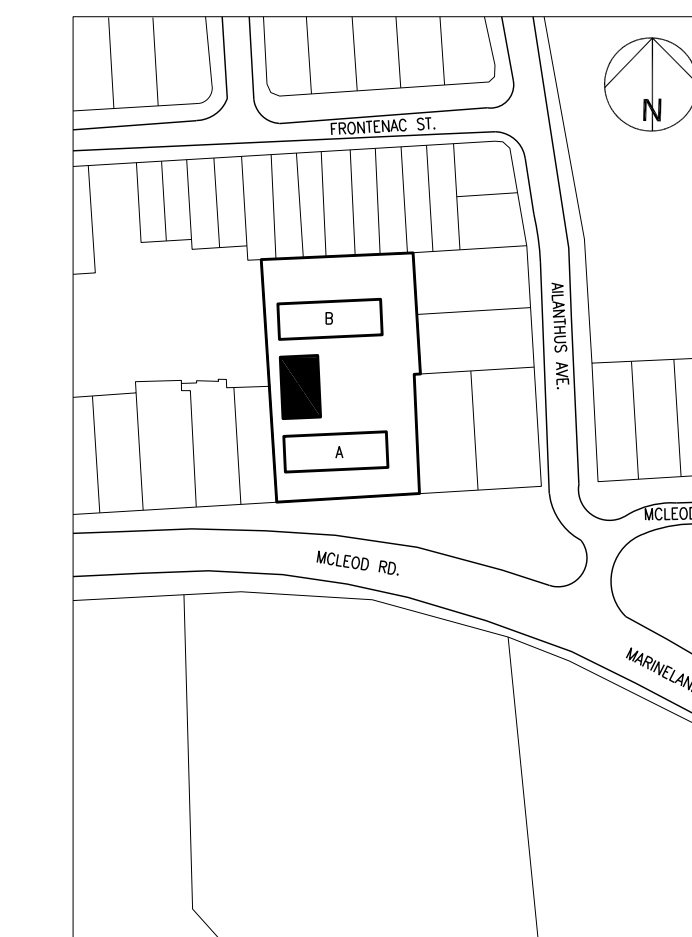
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STACKED TOWNHOMES**



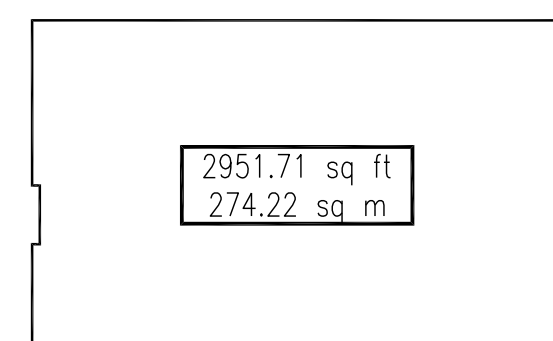
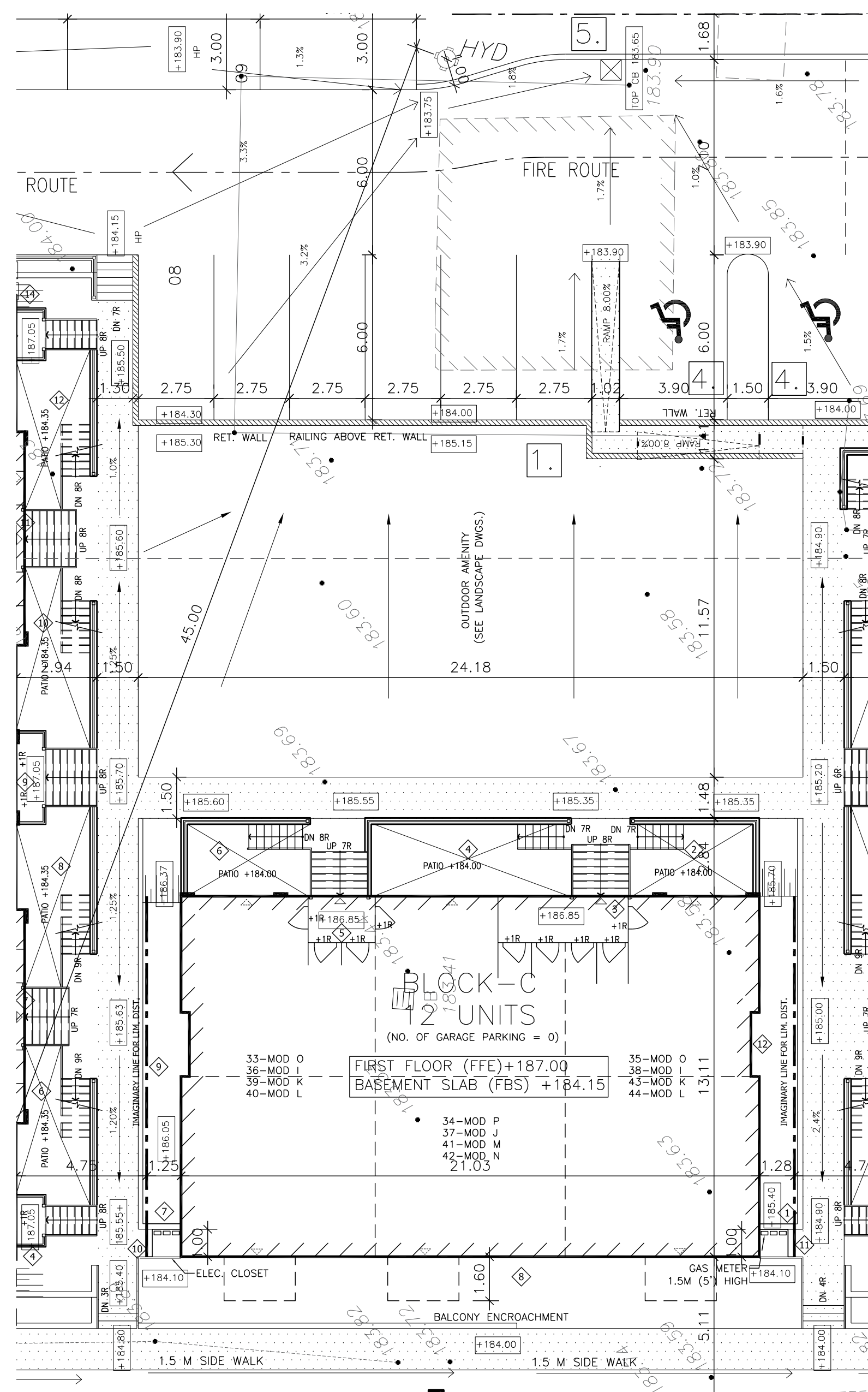
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SECTION

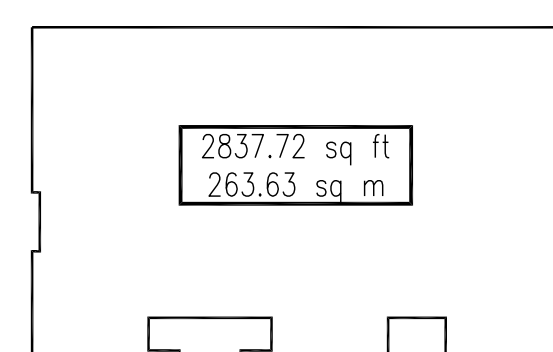
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Drawing No.:	Bik.B-A1.10		



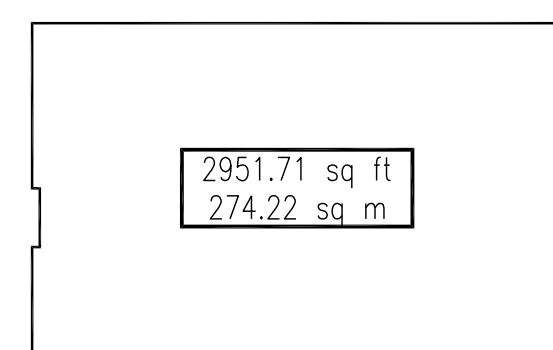
BLOCK C



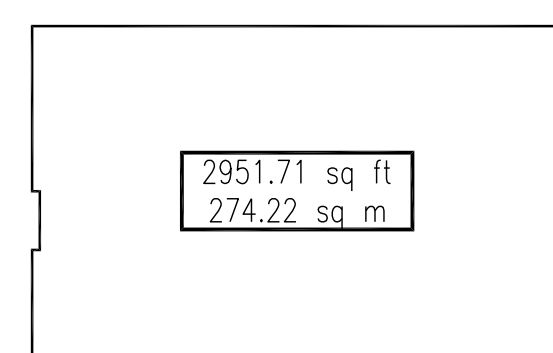
BASEMENT



GROUND



SECOND



THIRD

BLK C								
DRAWING NO.	POINT 1	POINT 2	GRADE 1	GRADE 2	AVG GRD	LENGTH	WGHT	AVG
1	BLK.C- A1.07 - 7	Gas Closet Start	185.40	185.40	185.40	1.22	226.19	
2	BLK.C- A1.07 - 7	Patio L-M Start	184.00	184.00	184.00	4.70	864.80	
3	BLK.C- A1.07 - 7	Porch L-M Start	186.85	186.85	186.85	2.13	397.99	
4	BLK.C- A1.07 - 7	Patio M-N Start	184.00	184.00	184.00	7.37	1356.08	
5	BLK.C- A1.07 - 7	Porch N-O Start	186.85	186.85	186.85	2.13	397.99	
6	BLK.C- A1.07 - 7	Patio N-O Start	184.00	184.00	184.00	4.70	864.80	
7	BLK.C- A1.07 - 7	E. Closet Start	186.05	186.05	186.05	1.22	226.98	
8	BLK.C- A1.07 - 8	Gas Closet Start	184.00	184.00	184.00	23.47	4318.48	
9	BLK.C- A1.07 - 9	Gridline 7	186.05	186.37	186.21	12.11	2255.00	
10	BLK.C- A1.09 - 9	E. Closet Start	185.55	185.55	185.55	1.00	185.55	
11	BLK.C- A1.09 - 10	Gas Closet Start	184.80	184.80	184.80	1.00	184.80	
12	BLK.C- A1.09 - 10	Gridline 5	185.70	185.40	185.55	12.11	2247.01	
						73.16	13525.67	184.88
		FFE			187.00			
		FL ASSEMBLY			0.35			
		CEILING			186.65			
		AV. GRADE - CEILING			1.77			
		3-STORY BUILDING AS PER O.B.C. [A] 1.4.1.2. BUILDING HEIGHT						
		PART 9 AS PER O.B.C. 9.1.1.1. SCOPE						

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN		2012 OBC
ONTARIO BUILDING CODE DATA MATRIX - PART 9 (0 Reg,191/14)		ISSUED: FEBRUARY 21, 2017
ITEM		OBC REFERENCE References are to Division B unless preceded by [A] for Div. A or [C] for Div. C.
01	PROJECT DESCRIPTION: MCLEOD MANOR STACKED TOWNHOMES NIAGARA, ONTARIO PROJECT No.: 2021-01	NEW ADDITION ALTERATION CHANGE OF USE PART 9 [A] 1.1.2.
02	MAJOR OCCUPANCY CLASSIFICATION	GROUP C RESIDENTIAL OCCUPANCY 9.10.2.
03	SUPERIMPOSED MAJOR OCCUPANCY(S)	N/A 9.10.2.3.
04	BUILDING AREA (FOOTPRINT ON THE SITE)	274.22 m ² [A] 1.4.1.2.
05	GROSS FLOOR AREA (FOOTPRINT ON THE SITE)	1086.29 m ² [A] 1.4.1.2.
06	MEZZANINE(S) AREA m ²	0m ² NOT APPLICABLE [A] 1.4.1.2. 9.10.4.1.
07	BUILDING HEIGHT	ABOVE GRADE 3 BELOW GRADE 1 9.10.4.
08	NUMBER OF STREETS/ACCESS ROUTES	ONE STREET 9.10.20.
09	SPRINKLER SYSTEM PROPOSED	ENTIRE BUILDING SELECTED COMPARTMENTS SELECTED FLOOR AREAS BASEMENT ONLY REQUIRED FOR COOKING EQUIPMENT NOT REQUIRED IN LIEU OF ROOF RATING 9.10.8.2-4.
10	FIRE ALARM REQUIRED	YES NO 9.10.18.2.
11	WATER SERVICE SUPPLY IS ADEQUATE	YES NO -
12	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION	COMBUSTIBLE NON COMBUSTIBLE COMBUSTIBLE NON COMBUSTIBLE BOTH SEE ITEM 18 9.10.6.
13	POST DISASTER BUILDING	YES NO [A] 1.1.2.2.(2)
14	TOTAL OCCUPANCY LOAD: 48 PERSONS (AS PER 2 BEDROOM OCCUPANT LOAD) BASED ON MAXIMUM m ² /PERSON DESIGN OF OCCUPANCY LOAD: (2 PER BEDROOM) (PERMANENT SIGN REQUIRED)	3.1.17.
	BASEMENT 6 BEDS @ 2 PER/BED = 12 PERSONS	-
	1st FLOOR 6 BEDS @ 2 PER/BED = 12 PERSONS	-
	2nd FLOOR SEE 3rd FLOOR	-
	3rd FLOOR 12 BEDS @ 2 PER/BED = 24 PERSONS	-
	(ADDITIONAL FLOOR AREAS CONTINUED BELOW) UNIT IS A FIRE COMPARTMENT	
15	BARRIER-FREE DESIGN ROUGH IN ONLY	YES (NO ELEVATOR ONLY FOR SITE ACCESSIBLE) NO 9.5.2.1.(2).
16	HAZARDOUS SUBSTANCES	YES NO 9.10.1.3.(4)
17	REQUIRED FIRE RESISTANCE RATING (F.R.R.)	HORIZONTAL ASSEMBLIES YES NO F.R.R. LISTED U.L.C. DESIGN# OR OBC SB-3 FLOOR ABOVE BASEMENT & GROUND 1 HRS. SB-3 TABLE 1, F15d 9.10.8. FLOOR ABOVE 2ND FLOOR 0 HRS. SB-3 TABLE 1, F15d 9.10.9. ROOF 0 HRS. NOT REQUIRED VERTICAL WALL ASSEMBLIES BETWEEN SUITES YES NO F.R.R. LISTED U.L.C. DESIGN# OR OBC SB-3 SUITE & SUITE/ EXIT STAIR 1 HRS. SB-3 TABLE 1, W15d 9.10.9. SUITE & ELEVATOR 0 HR NOT APPLICABLE
18	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (FIRE COMPARTMENTS)	9.10.14-15.
	SEE ELEVATION A1.07 FOR FIRE COMPARTMENT	
	SEE ELEVATION A1.08 FOR FIRE COMPARTMENT	
	SEE ELEVATION A1.09 FOR FIRE COMPARTMENT	
	SEE ELEVATION A1.09 FOR FIRE COMPARTMENT	
19	PLUMBING: #WATER CLOSETS FOR PUBLIC USE (COMMON ELEMENT)*	NOT APPLICABLE 9.31. 3.7.4.
20	NOTES	
	1. PROFESSIONAL ENGINEER AND ARCHITECT REQUIRED.	YES
	2. LOCATION OF FIRE HYDRANT, FIRE ACCESS ROUTES BY OTHERS, FIRE HYDRANT TO BE LOCATED WITHIN 90 M OF PRINCIPAL ENTRANCE.	YES
	3. REQUIRED FIRE PROTECTION RATING OF CLOSURE TO BE A MINIMUM 20 MINUTES IN WALLS REQUIRED TO HAVE BE A FIRE SEPARATION AND FIRE RESISTANCE RATING	YES
	4. REFER TO FL/WALL SCHEDULE FOR SB3 OBC OR ULC LISTINGS WHERE RATINGS ARE REQUIRED.	YES
	5. REFER TO ELEVATIONS FOR REQUIREMENTS OF UNPROTECTED OPENING.	YES

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MCLEOD MANOR STACKED TOWNHOMES



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SITE PLAN BLK. C

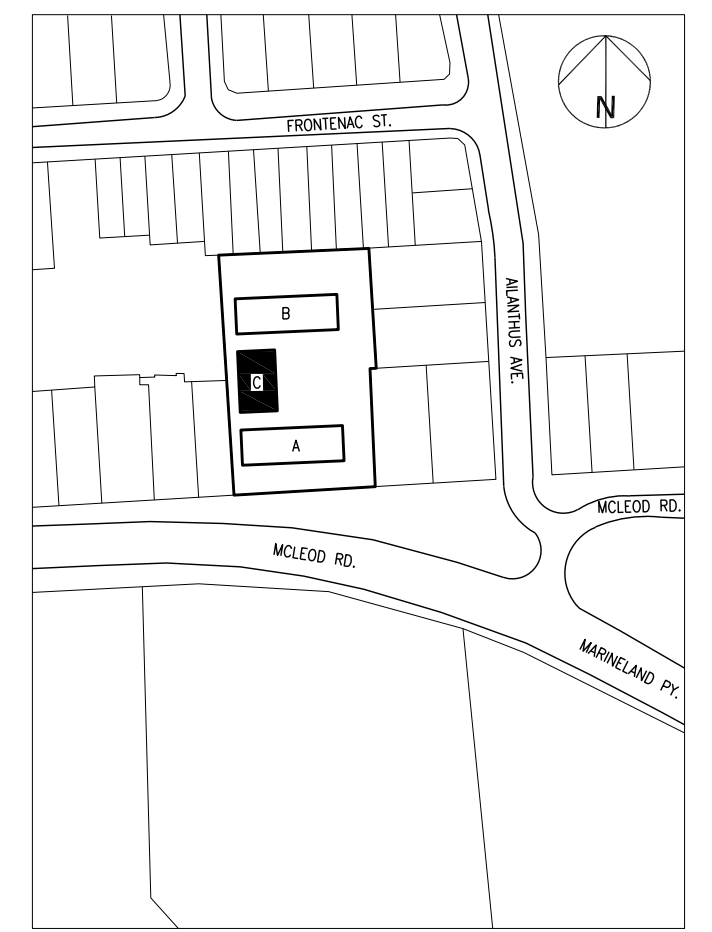
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Drawn by: DJ
Checked by: TVL
Date 1st Plot: NOV. 03/2022

Sheet Title:

Drawing No.: **BLK.C-A1.01**

ZONING AMENDMENT

KEY PLAN (NTS)



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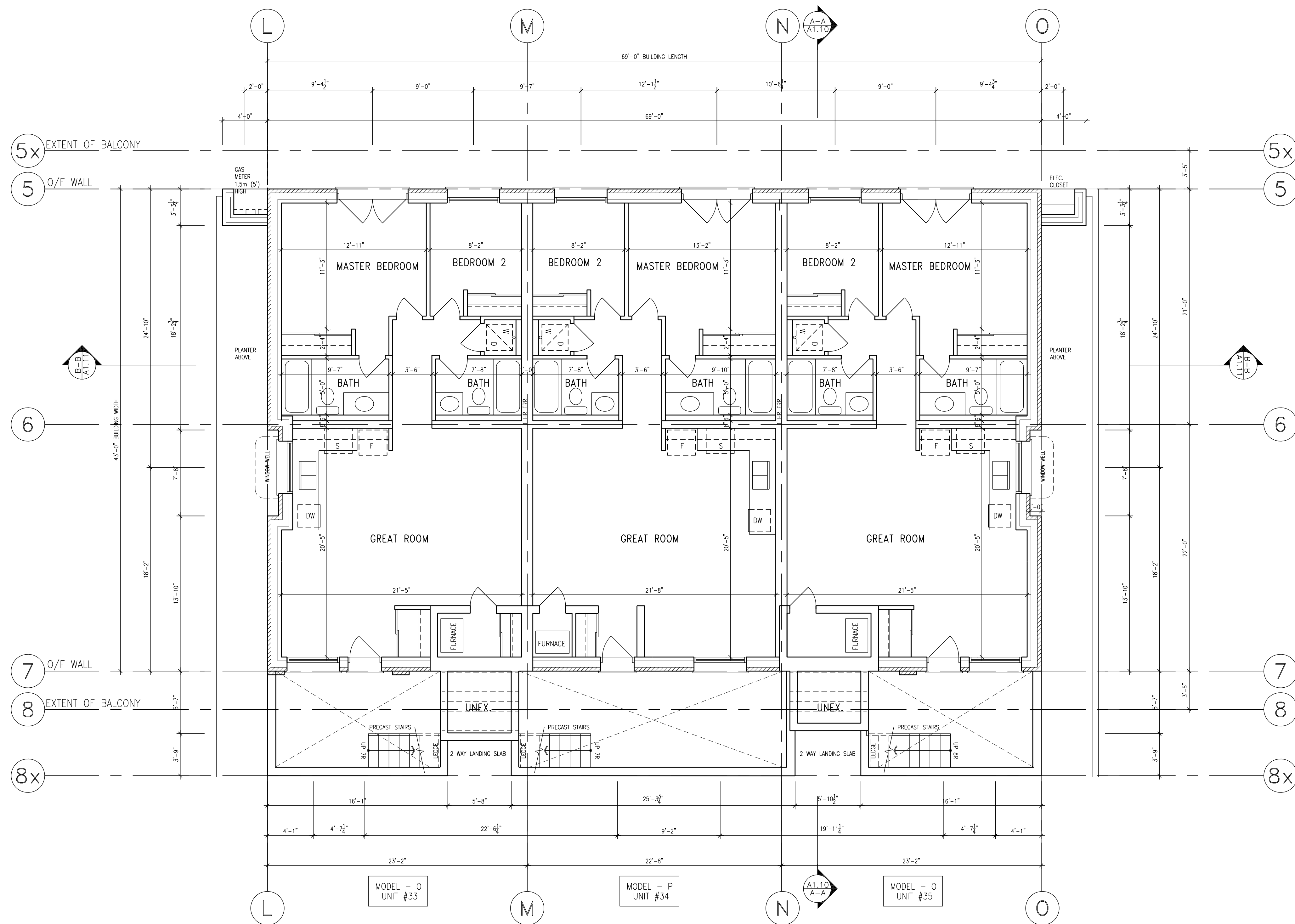
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BASEMENT

Scale: 3/16" = 1'-0"
Proj. No: 2021-01
Drawn by: RB
Checked by: TVL
Date 1st Plot: NOV. 03/2022

Sheet Title:

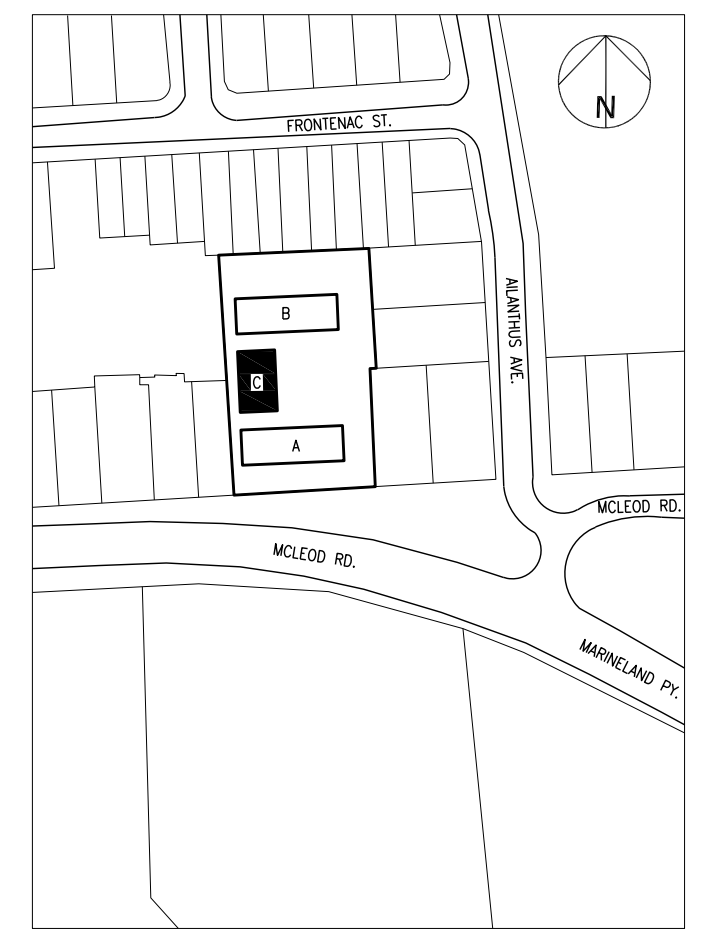
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2 BASEMENT
3 MODULE BLOCK C

ZONING AMENDMENT

KEY PLAN (NTS)



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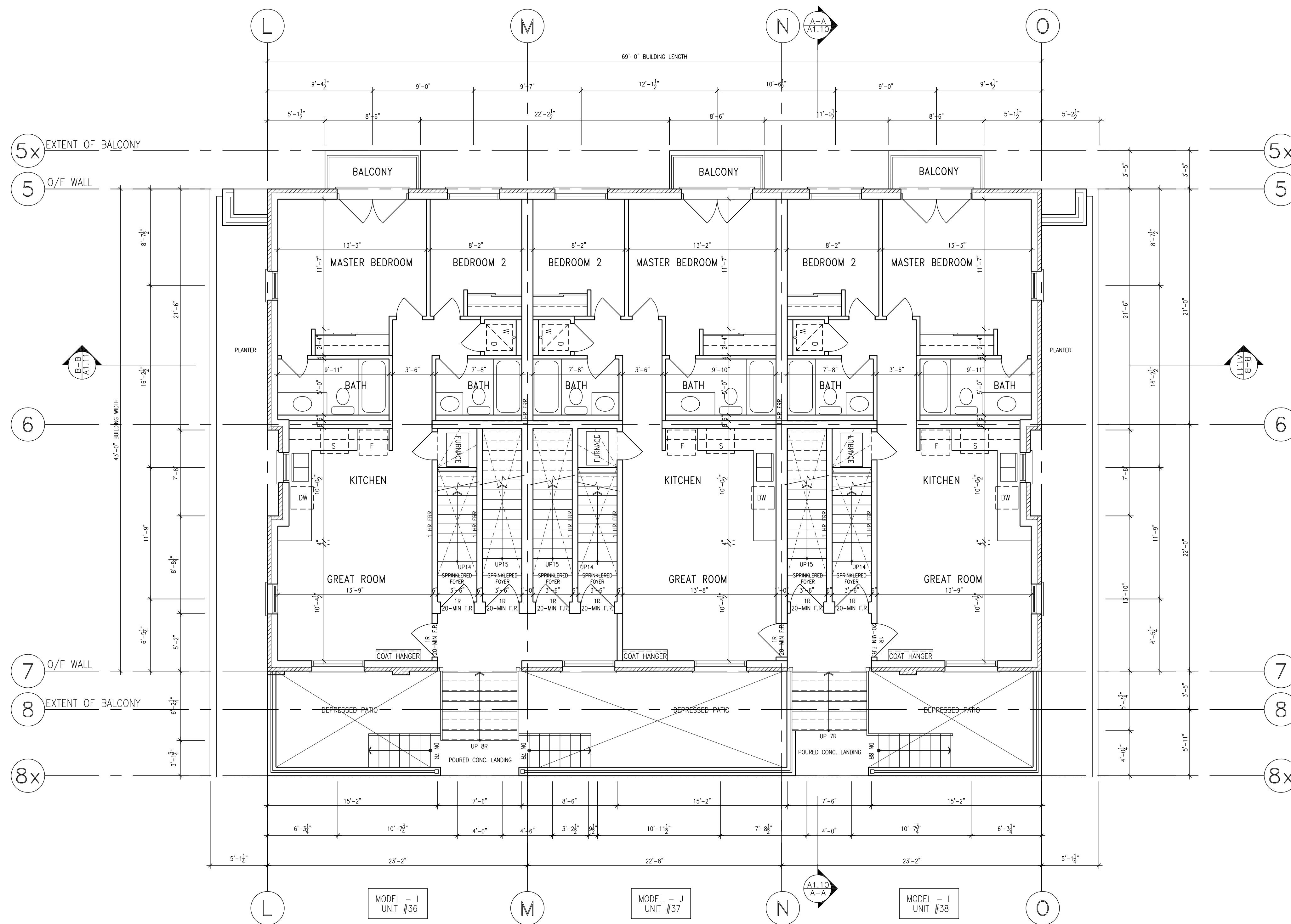
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GROUND FLR.

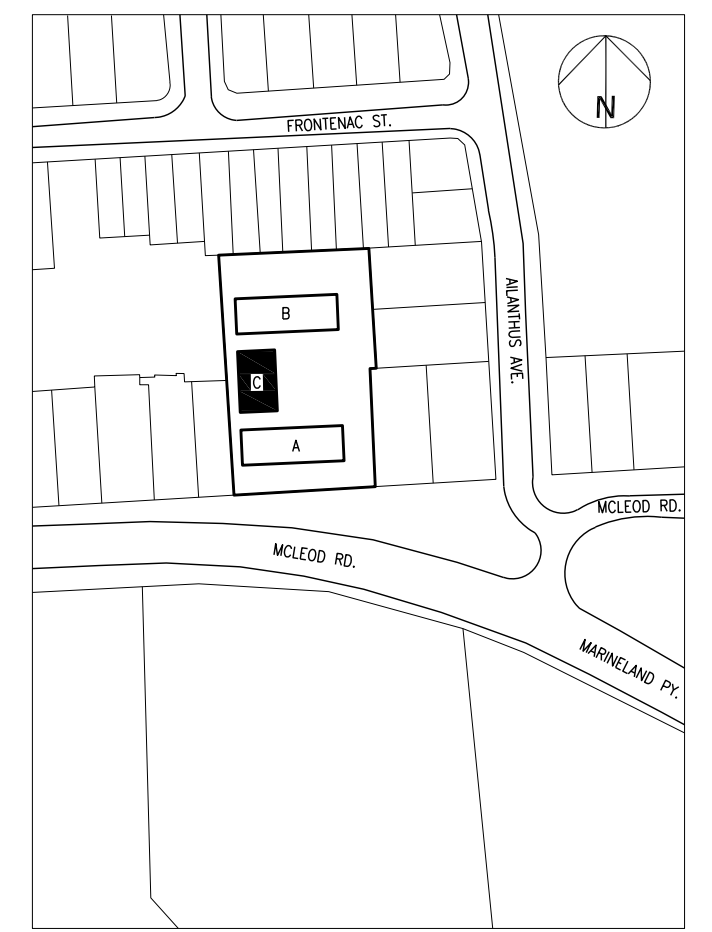
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3/16" = 1'-0"	2021-01
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RB	TVL
	Date 1st Plot:
	NOV. 03/2022
Sheet Title:	
Drawing No.:	
	B1k.C-A1.03



3 GROUND FLOOR
3 MODULE BLOCK C

ZONING AMENDMENT

KEY PLAN (NTS)



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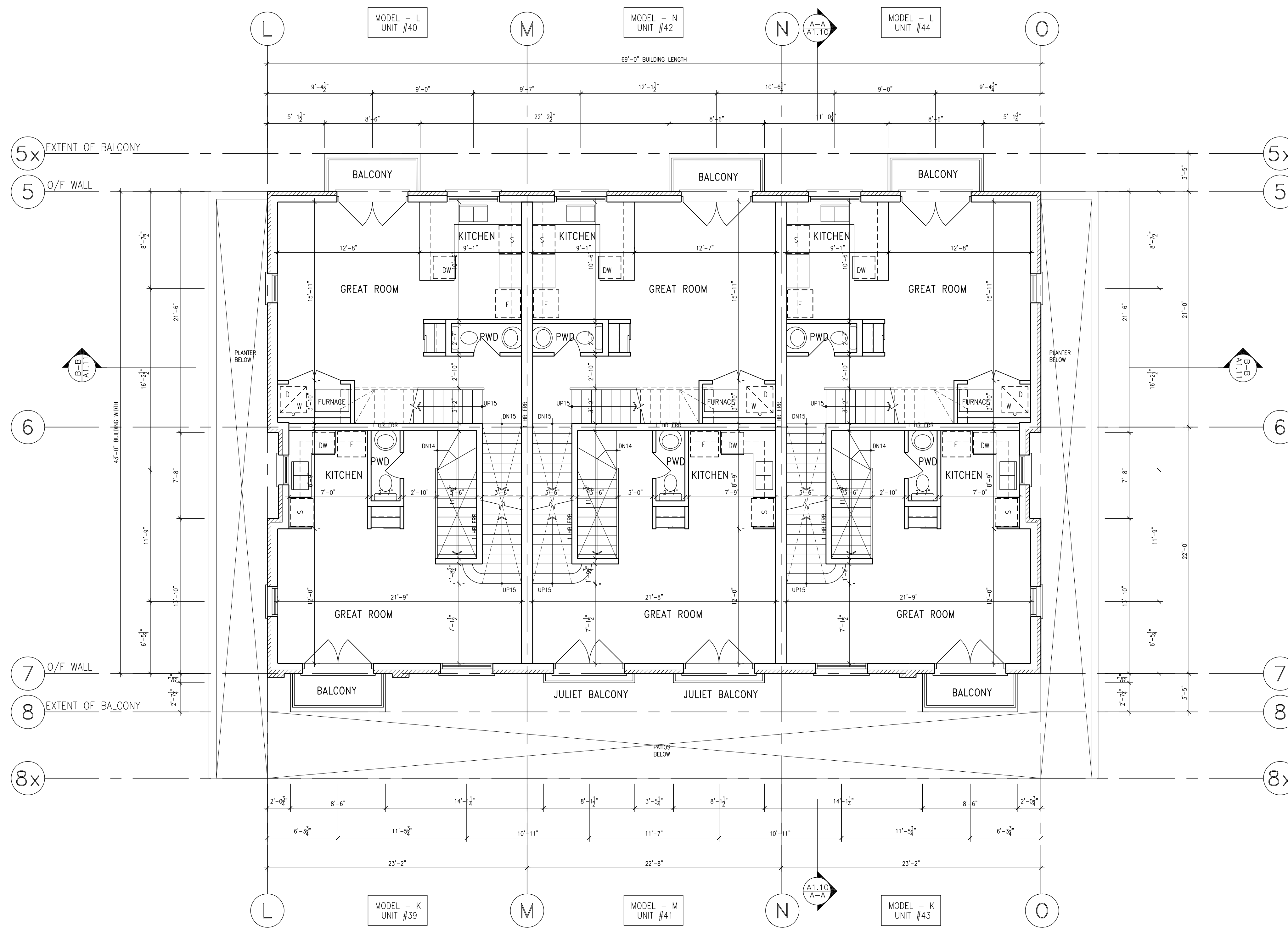
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SECOND FLR.

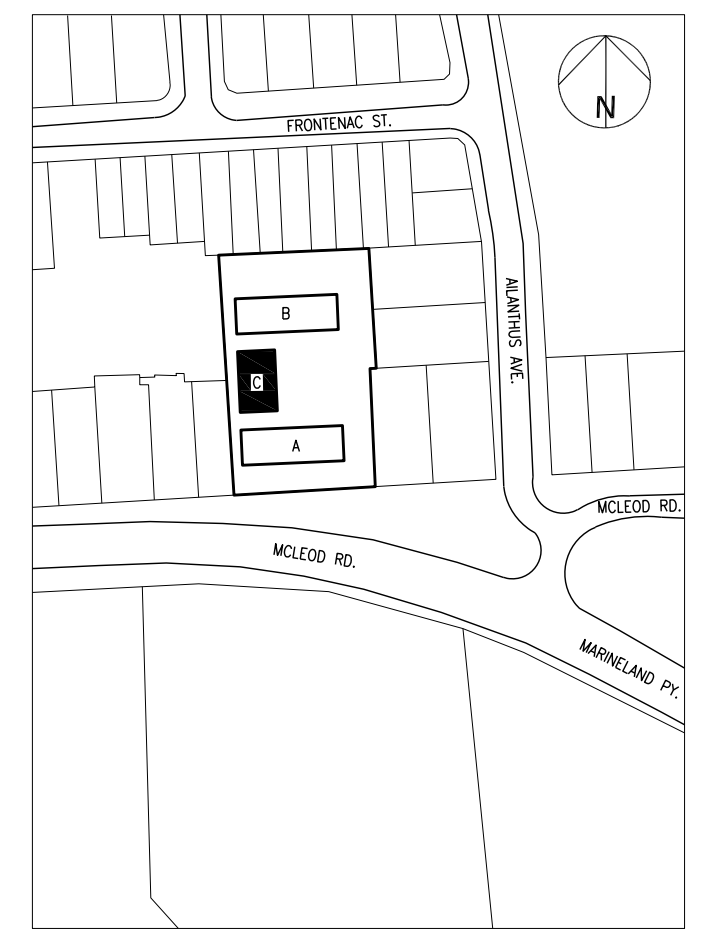
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Drawn by:	RB	Checked by:	TVL
Sheet Title:	Date 1st Plot: NOV. 03/2022		
Drawing No.:	B1k.C-A1.04		



4 SECOND FLOOR
3 MODULE BLOCK C

ZONING AMENDMENT

KEY PLAN (NTS)



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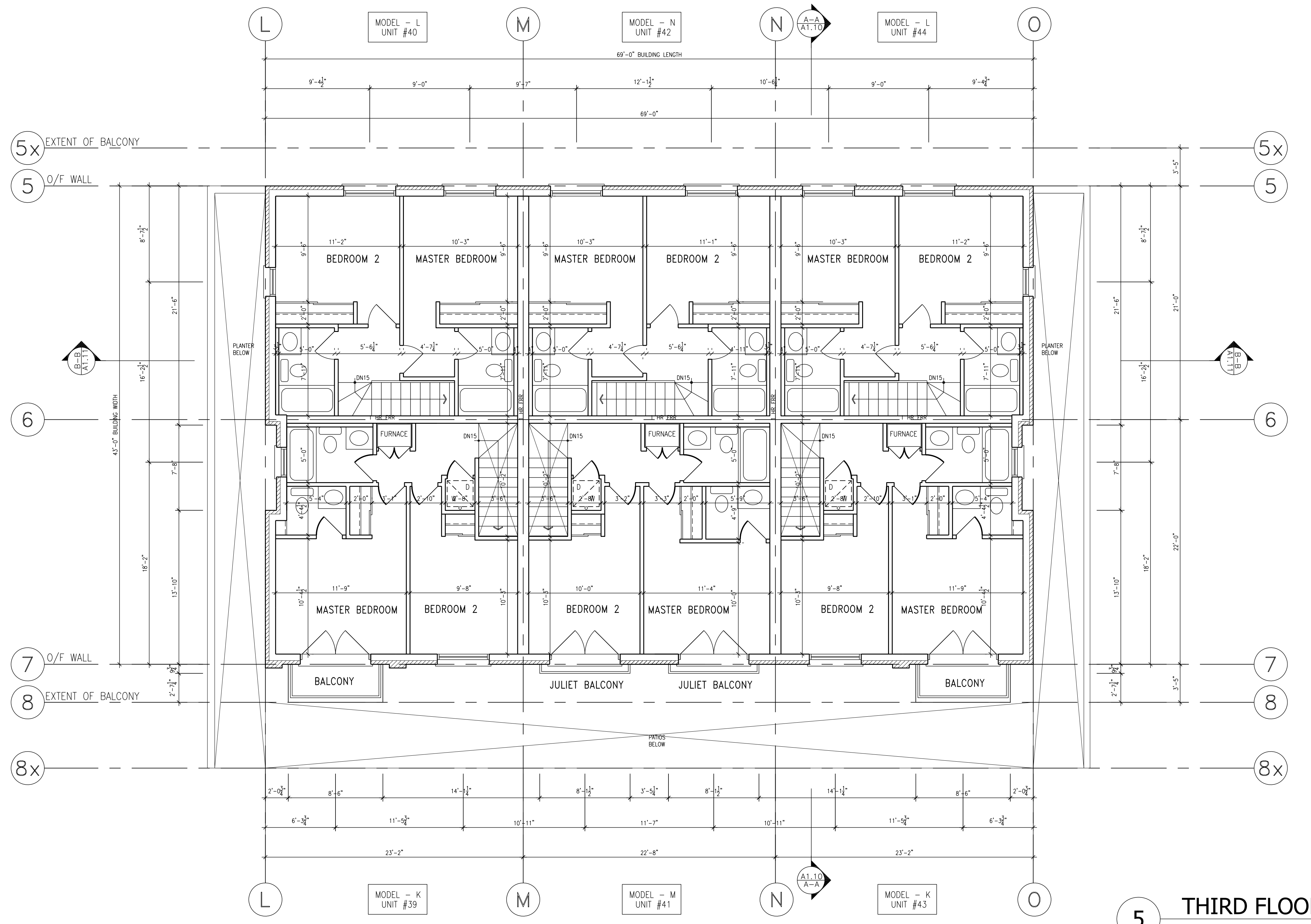
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THIRD FLR.

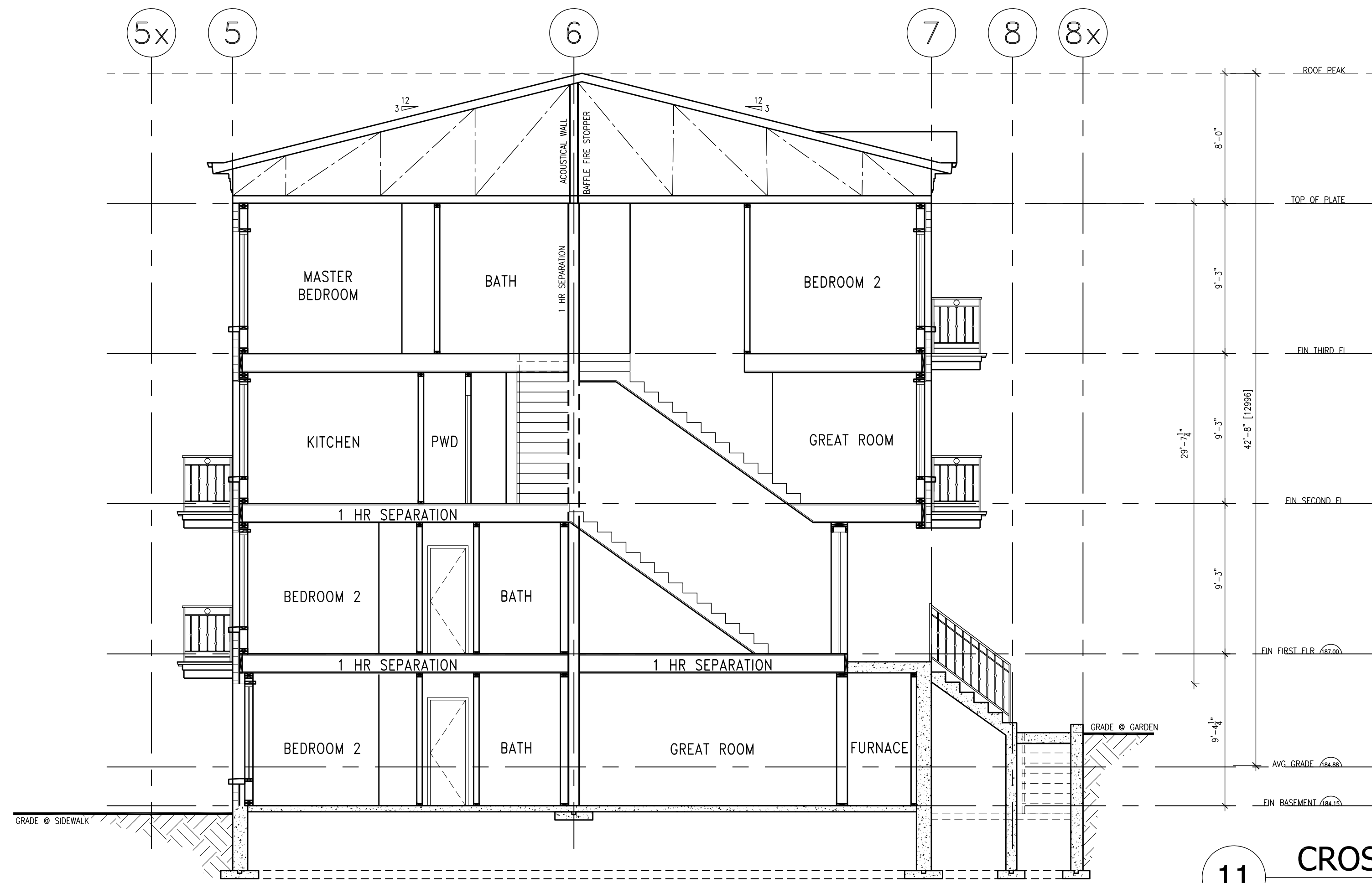
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Drawn by:	Checked by:
RB	TVL
	Date 1st Plot:
	NOV. 03/2022

Sheet Title:

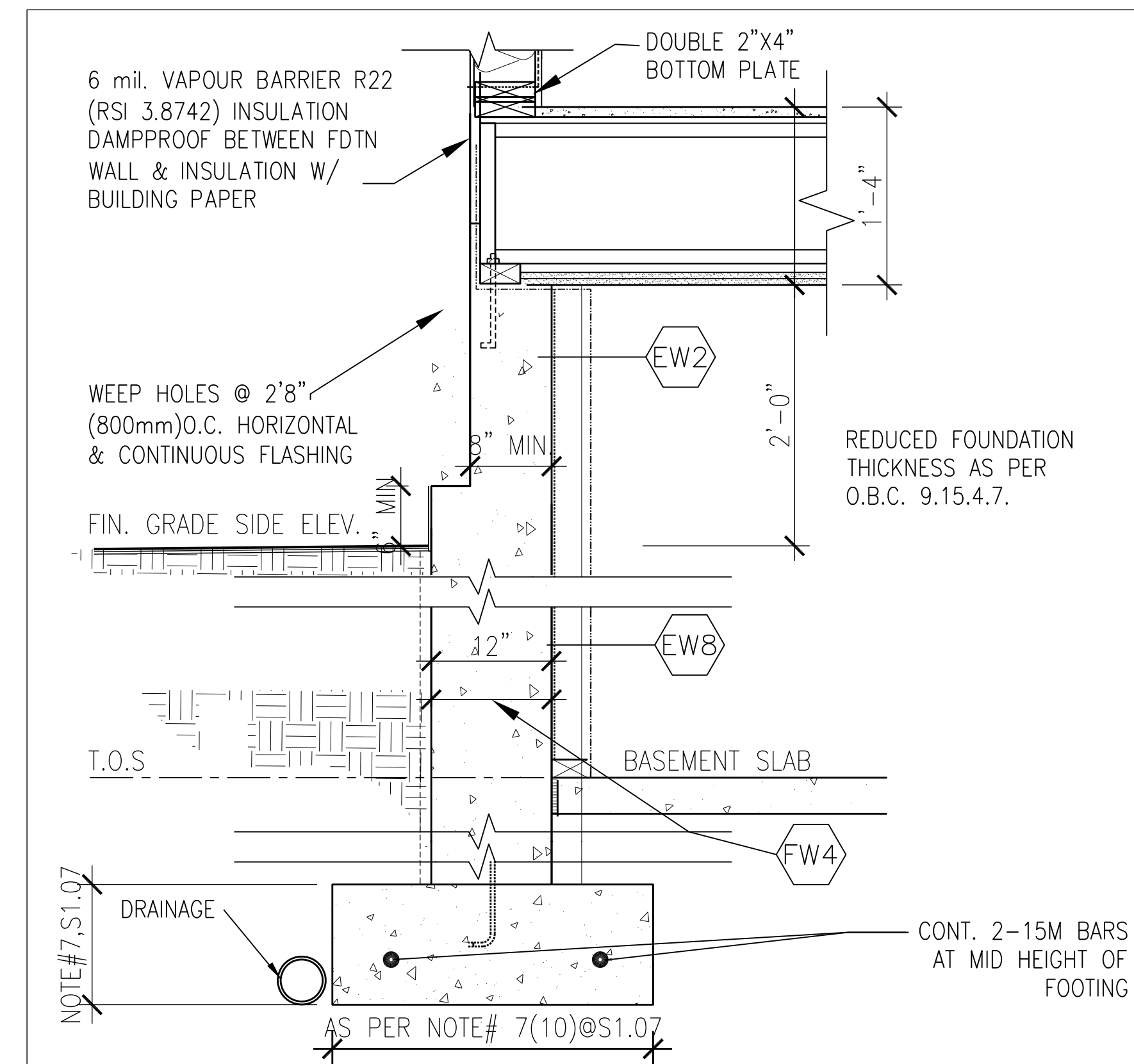
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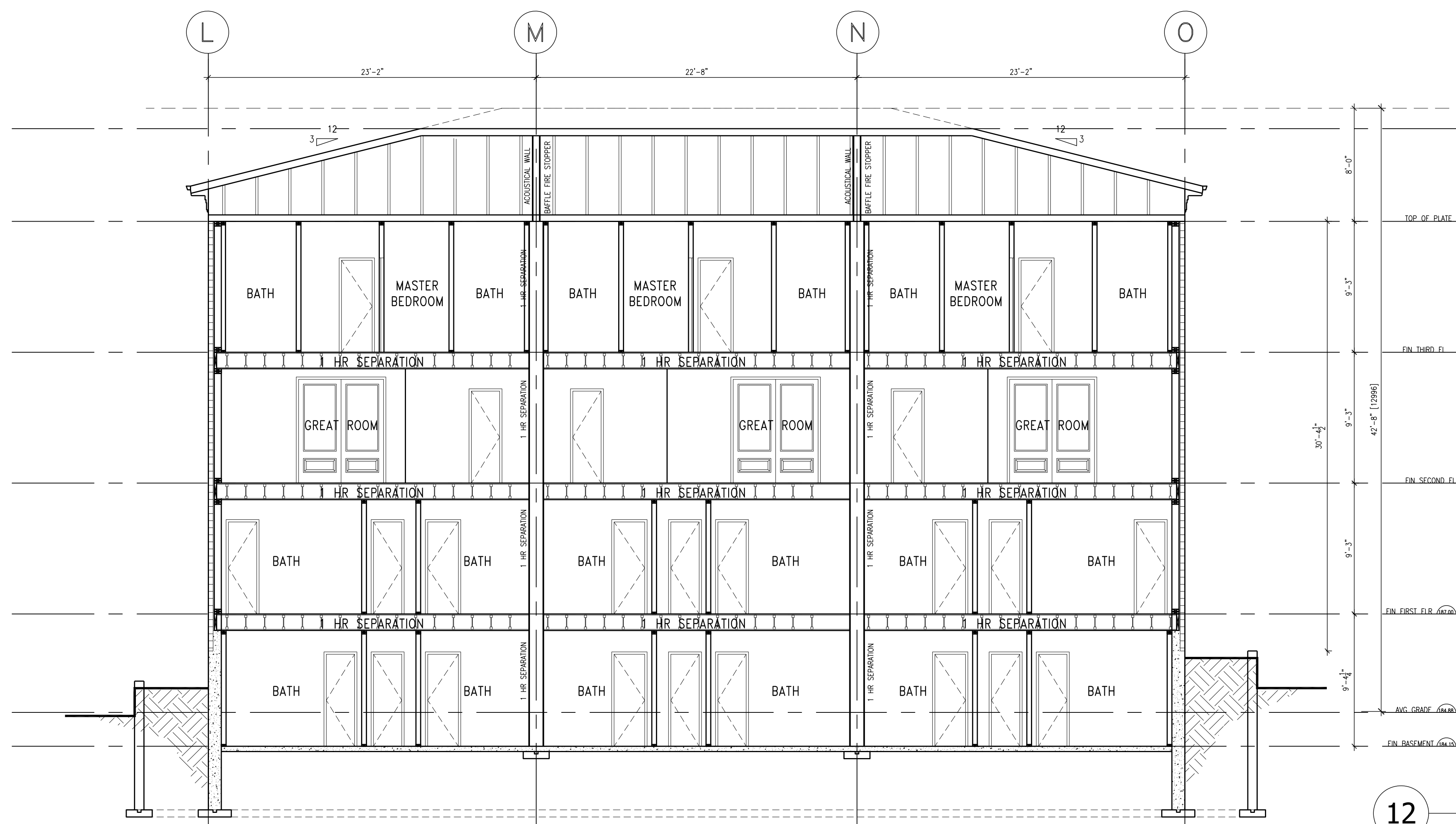
5 THIRD FLOOR
3 MODULE BLOCK C



11 CROSS SECTION A-A
3 MODULE BLOCK C



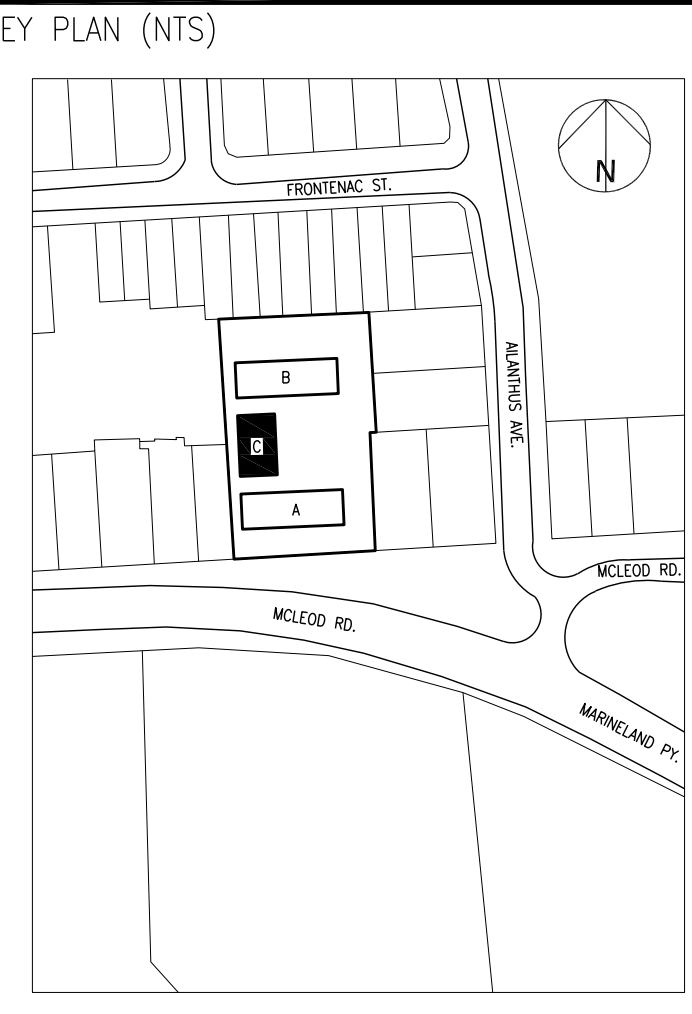
3 FOUNDATION WALL @ SIDE ELEV.
S2.01 SCALE: 1"=1'-0" CROSS SECTION



12 LONG SECTION B-B
3 MODULE BLOCK C

MCLEOD STACKED TOWNHOMES — NIAGARA, ON

ZONING AMENDMENT



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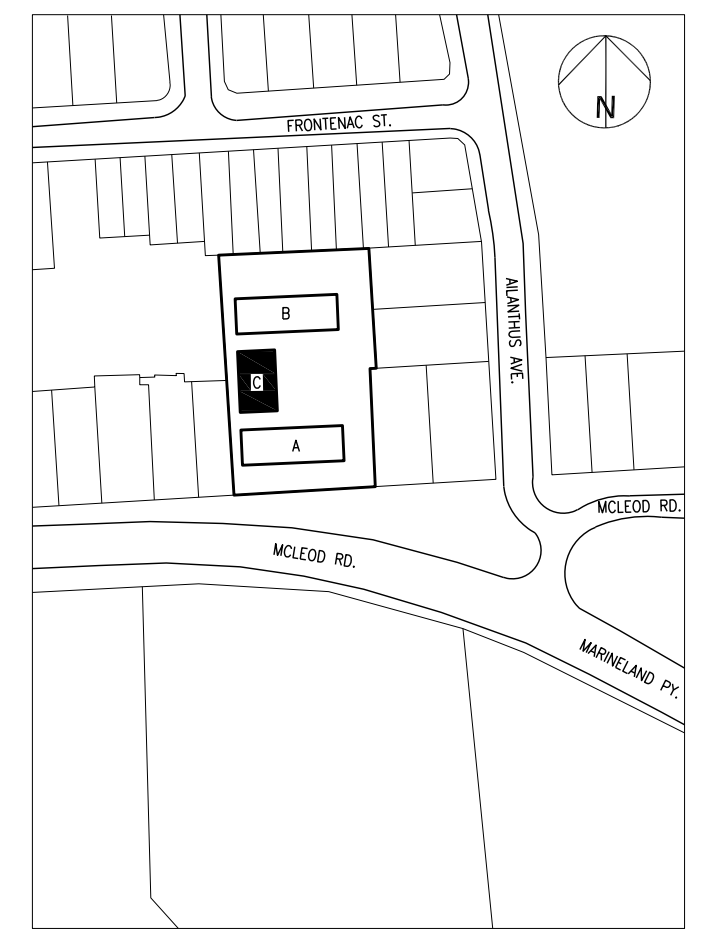
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SECTION

Scale:	Proj. No:
3/16"=1'-0"	2021-01
Drawn by:	Checked by:
RB	TVL
	Date 1st Plot:
	NOV. 03/2022
Sheet Title:	
Drawing No.:	
	B1k.C-A1.10

ZONING AMENDMENT

KEY PLAN (NTS)



1 L-M ELEV. A1.07 MODULE UNIT		2 M-N ELEV. A1.07 MODULE UNIT		3 N-O ELEV. A1.07 MODULE UNIT	
FIRE COMPARTMENT	MODEL O UNIT 33: MODEL I UNIT 36:	FIRE COMPARTMENT	MODEL P UNIT 34: MODEL J UNIT 37:	FIRE COMPARTMENT	MODEL O UNIT 35: MODEL I UNIT 38:
1 E.B.F. AREA:	13.40m ² / 13.03m ²	1 E.B.F. AREA:	19.70m ² / 13.03m ²	1 E.B.F. AREA:	13.40m ² / 13.03m ²
OBC 9.10.14.4 LIM. DIST.:	32.09m / 32.09m	OBC 9.10.14.4 LIM. DIST.:	32.09m / 32.09m	OBC 9.10.14.4 LIM. DIST.:	32.09m / 32.09m
UNPR. OP'S ALLOWED:	100% / 100%	UNPR. OP'S ALLOWED:	100% / 100%	UNPR. OP'S ALLOWED:	100% / 100%
(OBC 9.10.14.4.)		(OBC 9.10.14.4.)		(OBC 9.10.14.4.)	
UNPR.OP'S PROVIDED:	32.02% / 19.96%	UNPR.OP'S PROVIDED:	23.82% / 39.92%	UNPR.OP'S PROVIDED:	32.02% / 19.96%
E.B.F. CONSTR. FRR:	45MIN / 45MIN	E.B.F. CONSTR. FRR:	45MIN / 45MIN	E.B.F. CONSTR. FRR:	45MIN / 45MIN
PERMITTED CONSTRUCTION:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB. / COMB./NON-COMB.
PERMITTED CLADDING:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB. / COMB./NON-COMB.
(OBC 9.10.14.5.)		(OBC 9.10.14.5.)		(OBC 9.10.14.5.)	
FIRE COMPARTMENT	MODEL K UNIT 39: MODEL L UNIT 40:	FIRE COMPARTMENT	MODEL M UNIT 41:	FIRE COMPARTMENT	MODEL K UNIT 43: MODEL L UNIT 44:
1 E.B.F. AREA:	43.04m ² / 3.22m ²	1 E.B.F. AREA:	38.86m ² / 32.09m ²	1 E.B.F. AREA:	43.04m ² / 3.22m ²
OBC 9.10.14.4 LIM. DIST.:	32.09m / 32.09m	OBC 9.10.14.4 LIM. DIST.:	32.09m / 32.09m	OBC 9.10.14.4 LIM. DIST.:	32.09m / 32.09m
UNPR. OP'S ALLOWED:	100% / 100%	UNPR. OP'S ALLOWED:	100% / 100%	UNPR. OP'S ALLOWED:	100% / 100%
(OBC 9.10.14.4.)		(OBC 9.10.14.4.)		(OBC 9.10.14.4.)	
UNPR.OP'S PROVIDED:	37.45% / 64.86%	UNPR.OP'S PROVIDED:	45.31% / 45.31%	UNPR.OP'S PROVIDED:	37.45% / 64.86%
E.B.F. CONSTR. FRR:	45MIN / 45MIN	E.B.F. CONSTR. FRR:	45MIN / 45MIN	E.B.F. CONSTR. FRR:	45MIN / 45MIN
PERMITTED CONSTRUCTION:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CONSTRUCTION:	COMB./NON-COMB. / COMB./NON-COMB.
PERMITTED CLADDING:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB. / COMB./NON-COMB.	PERMITTED CLADDING:	COMB./NON-COMB. / COMB./NON-COMB.
(OBC 9.10.14.5.)		(OBC 9.10.14.5.)		(OBC 9.10.14.5.)	

7 EAST ELEVATION
3 MODULE BLOCK C

MCLEOD STACKED TOWNS — NIAGARA, ON

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MCLEOD MANOR
STACKED TOWNHOMES



ELEVATION

3/16"=1'-0"



80 CORPORATE DR, Suite. 206, Toronto, Ontario M1H.3G5
T: 416 467-4667 E: info@vanle.ca Web: www.vanle.ca

ELEVATION

Scale:	Proj. No:
	2021-01
Drawn by:	Checked by:
RB	TVL
	Date 1st Plot:
	NOV. 03/2022
Sheet Title:	
Drawing No.:	
	Bik.C-A1.07

ZONING AMENDMENT

KEY PLAN (NTS)



No.	Revision comments	DATE	BY
1	FOR ZONING AMENDMENT APPLICATION	NOV. 12/2022	DJ
2	RESUBMISSION	DEC. 14/2022	DJ
3	RESUBMISSION	JUN. 06/2023	DJ/RF

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**MCLEOD MANOR
STACKED TOWNHOMES**



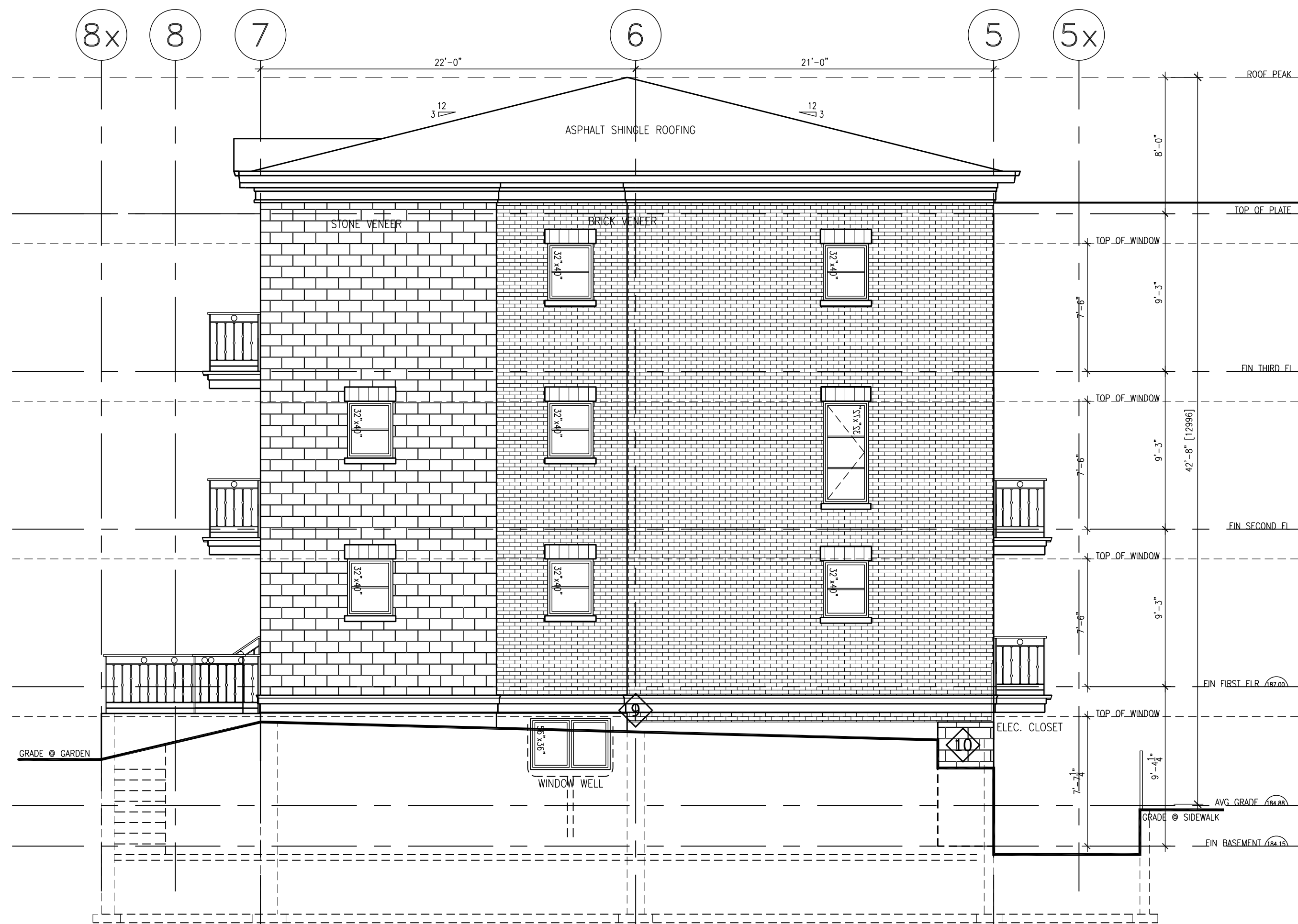
info@vanle.ca
VANLE ARCHITECT
80 CORPORATE DR, Suite. 206, Toronto, Ontario M1H 3G5
T: 416 467-4667 E: info@vanle.ca Web: www.vanle.ca

ELEVATION

Scale: 3/16" = 1'-0"
Proj. No: 2021-01
Drawn by: RB
Checked by: TVL
Date 1st Plot: NOV. 03/2022

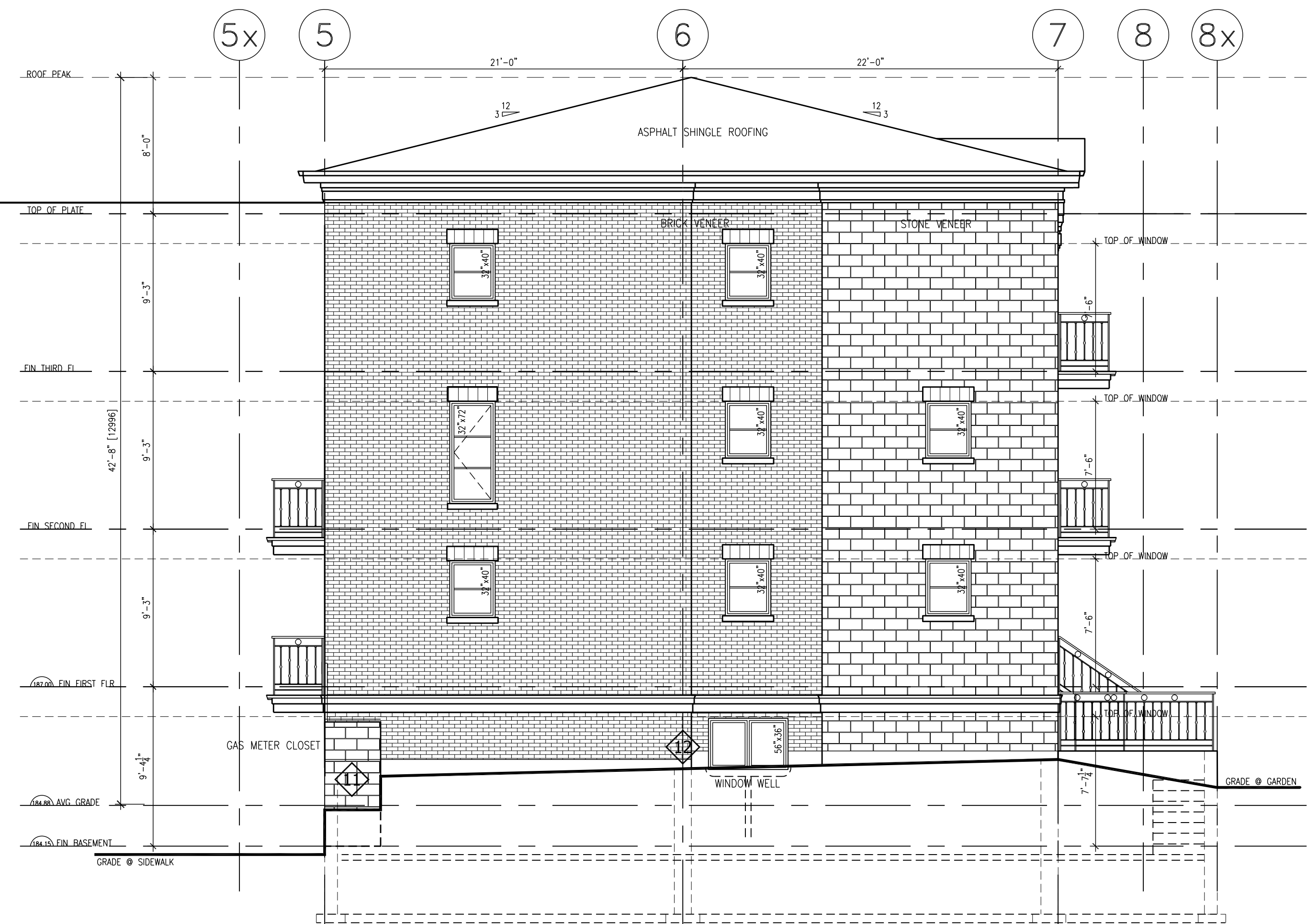
Sheet Title:

Drawing No: **B1k.C-A1.09**



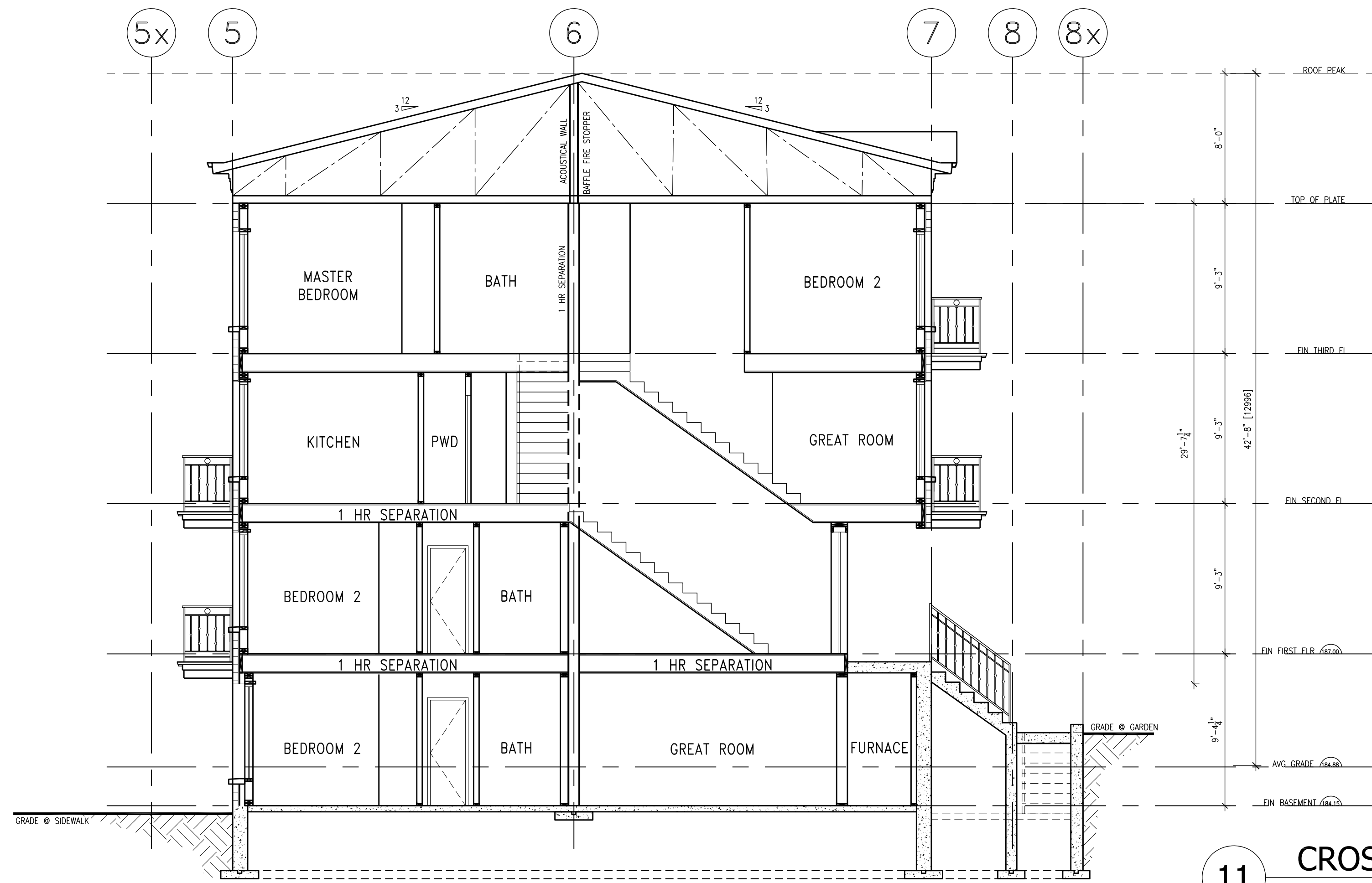
1	2	3
6-7 ELEV. A1.09 MODULE UNIT	5-6 ELEV. A1.09 MODULE UNIT	5-7 ELEV. A1.09 MODULE UNIT
FIRE COMPARTMENT MODEL K UNIT 43: 1 E.B.F. AREA: 37.81m ² OBC 9.10.14.4 LIM. DIST.: 1.25m UNPR. OP'S ALLOWED: 7.20% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 6.55% E.B.F. CONSTR. FRR: 1HR PERMITTED CONSTRUCTION: NON-COMB. PERMITTED CLADDING: NON-COMB. (OBC 9.10.14.5.)	FIRE COMPARTMENT MODEL L UNIT 44: 1 E.B.F. AREA: 36.09m ² OBC 9.10.14.4 LIM. DIST.: 1.25m UNPR. OP'S ALLOWED: 7.23% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 6.41% E.B.F. CONSTR. FRR: 1HR PERMITTED CONSTRUCTION: NON-COMB. PERMITTED CLADDING: NON-COMB. (OBC 9.10.14.5.)	FIRE COMPARTMENT MODEL O UNIT 35: MODEL I UNIT 38: 1 E.B.F. AREA: 15.79m ² 36.95m ² OBC 9.10.14.4 LIM. DIST.: 1.25m 1.25m UNPR. OP'S ALLOWED: 8.28% 7.22% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 8.24% 6.70% E.B.F. CONSTR. FRR: 1HR PERMITTED CONSTRUCTION: NON-COMB. NON-COMB. PERMITTED CLADDING: NON-COMB. NON-COMB. (OBC 9.10.14.5.)

9 NORTH ELEVATION
3 MODULE BLOCK C

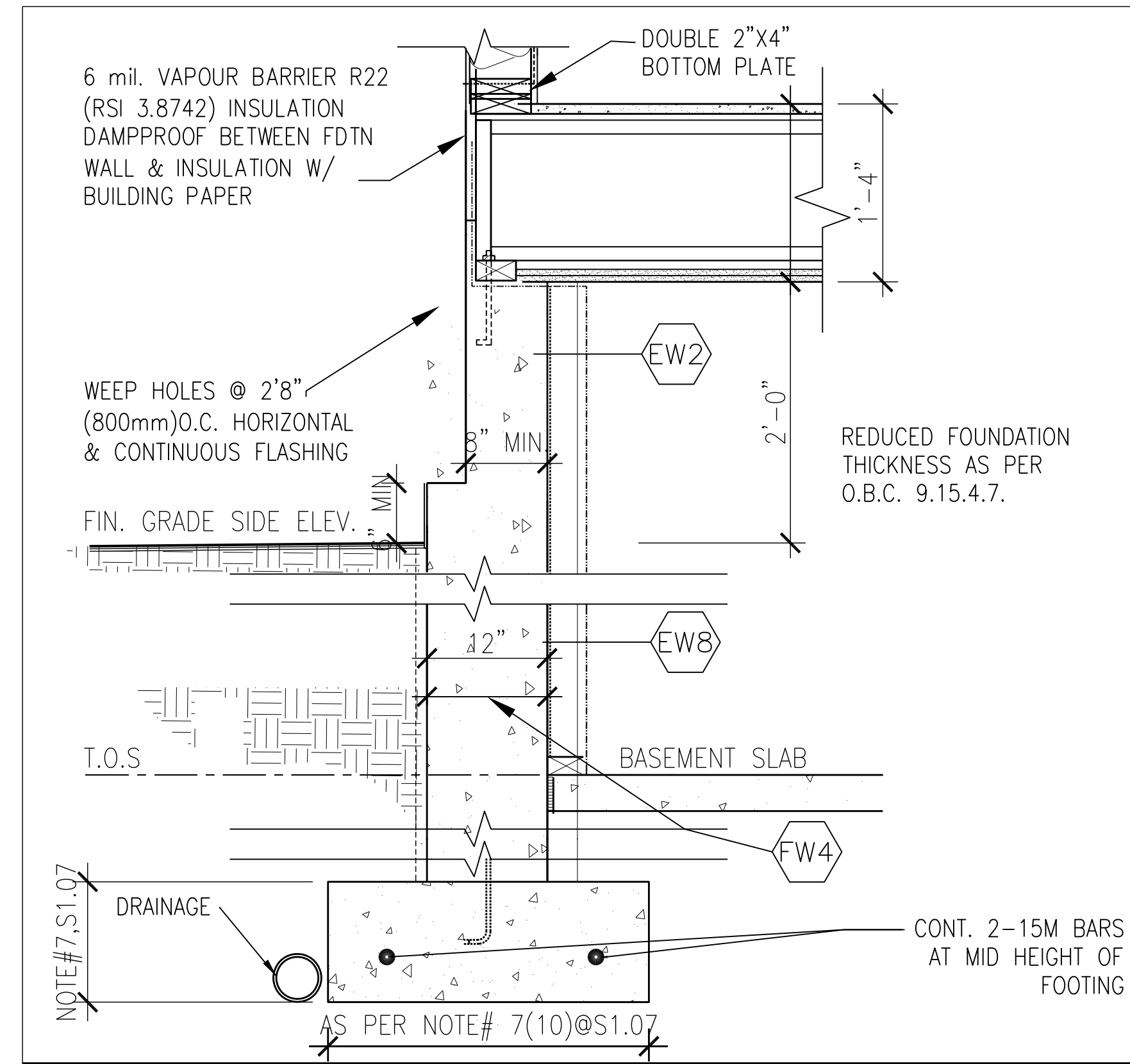


1	2	3
5-6 ELEV. A1.09 MODULE UNIT	6-7 ELEV. A1.09 MODULE UNIT	5-7 ELEV. A1.09 MODULE UNIT
FIRE COMPARTMENT MODEL L UNIT 40: 1 E.B.F. AREA: 36.09m ² OBC 9.10.14.4 LIM. DIST.: 1.28m UNPR. OP'S ALLOWED: 7.37% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 6.41% E.B.F. CONSTR. FRR: 1HR PERMITTED CONSTRUCTION: NON-COMB. PERMITTED CLADDING: NON-COMB. (OBC 9.10.14.5.)	FIRE COMPARTMENT MODEL K UNIT 39: 1 E.B.F. AREA: 37.81m ² OBC 9.10.14.4 LIM. DIST.: 1.28m UNPR. OP'S ALLOWED: 7.33% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 6.70% E.B.F. CONSTR. FRR: 1HR PERMITTED CONSTRUCTION: NON-COMB. PERMITTED CLADDING: NON-COMB. (OBC 9.10.14.5.)	FIRE COMPARTMENT MODEL O UNIT 33: MODEL I UNIT 36: 1 E.B.F. AREA: 19.49m ² 36.95m ² OBC 9.10.14.4 LIM. DIST.: 1.28m 1.28m UNPR. OP'S ALLOWED: 8.53% 7.35% (OBC 9.10.14.4.) UNPR.OP'S PROVIDED: 6.67% 6.70% E.B.F. CONSTR. FRR: 1HR PERMITTED CONSTRUCTION: NON-COMB. NON-COMB. PERMITTED CLADDING: NON-COMB. NON-COMB. (OBC 9.10.14.5.)

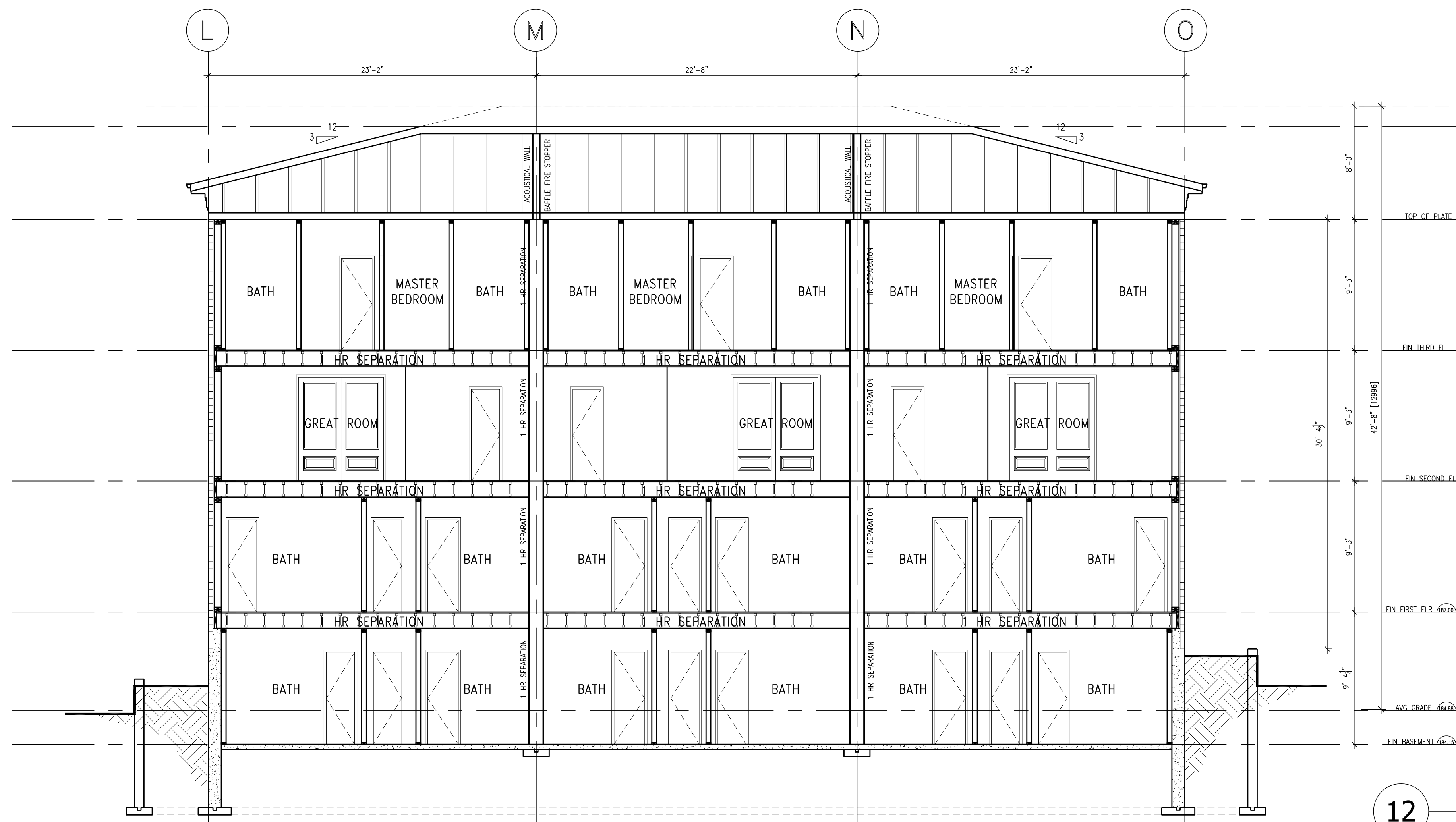
10 SOUTH ELEVATION
3 MODULE BLOCK C



11 CROSS SECTION A-A
3 MODULE BLOCK C



3 FOUNDATION WALL @ SIDE ELEV.
SCALE: 1"=1'-0"
CROSS SECTION

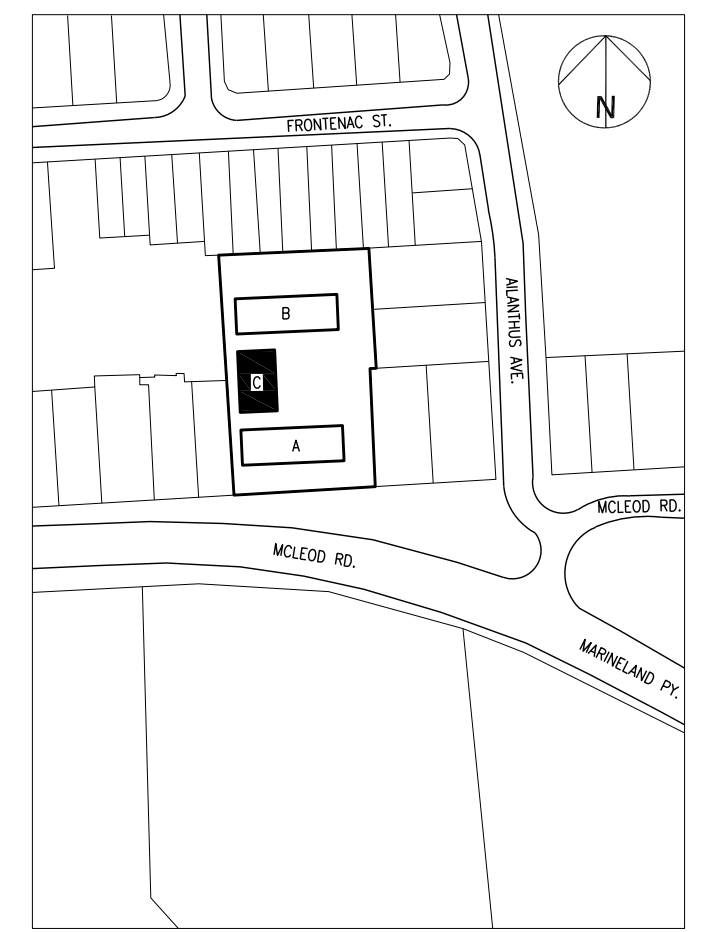


12 LONG SECTION B-B
3 MODULE BLOCK C

MCLEOD STACKED TOWNHOMES — NIAGARA, ON

ZONING AMENDMENT

KEY PLAN (NTS)



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SECTION

Scale:	Proj. No:
3/16"=1'-0"	2021-01
Drawn by:	Checked by:
RB	TVL
	Date 1st Plot:
	NOV. 03/2022
Sheet Title:	
Drawing No.:	
	B1k.C-A1.10