



**NOTICE OF PUBLIC COMMITTEE OF
ADJUSTMENT HEARING - **REVISED****
Tuesday, August 29, 2023, 4:00 p.m.
Niagara Falls City Hall
4310 Queen Street, Niagara Falls

Public input on applications is invited. Pursuant to Section 45 of the Planning Act, the Committee of Adjustment for the City of Niagara Falls invites you to participate in a public hearing to consider an application for minor variances and/or to forward written comments prior to the hearing. Written comments are the preferred method of receiving public input and may be sent by mail or email. You can also provide oral input by joining the hearing in-person or electronically.

All interested persons are invited to attend this meeting to find out more about this application and offer comments. The public meeting is scheduled to take place on Tuesday August 29, 2023 at 4:00 pm, in Committee Room 2 at City Hall for the Committee of Adjustment to consider this application.

To participate in the remote electronic public hearing and to provide input orally, please pre-register with the Secretary-Treasurer by sending an email to sanderson@niagarafalls.ca or calling 905-356-7521 (Ext. 4281) before 12 noon on August 29, 2023. All registrants will be provided with instructions on how to use their computer, tablet or phone to participate in the remote electronic public hearing.

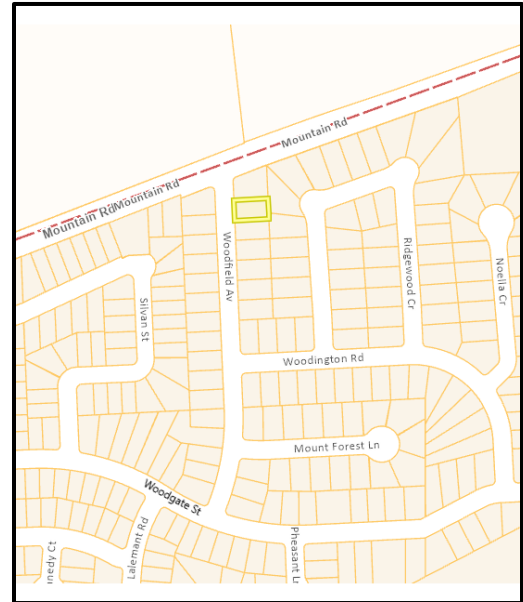
File: A-2023-030

Owner: 1000538973 Ontario Inc.

Location: The subject property known as 2450 Woodfield Avenue located between Mountain Road and Woodington Road.

The applicant is requesting the Committee of Adjustment to consider minor variances from provisions of Zoning By-law No 79-200, as amended, through a process permitted by Section 45(1) of the Planning Act (R.S.O. 1990, c.P.13).

Proposal: The applicant is proposing to construct 2 accessory dwelling units (second units) interior to the primary dwelling unit on the above noted property. The subject property is zoned Residential 1B Density (R1B) in accordance with Zoning By-law No. 79-200. The following variances has been requested:



By-law Section	By-law Requirement	Proposed	Extent of variance
5.12 (b) Second Units interior to the primary dwelling unit	The floor area of the second unit shall not exceed 40% of the floor area of the primary dwelling unit	ADU #1 - 80%	40%
		ADU #2 – 45.4%	5.4%

See the sketch on the back for more information.

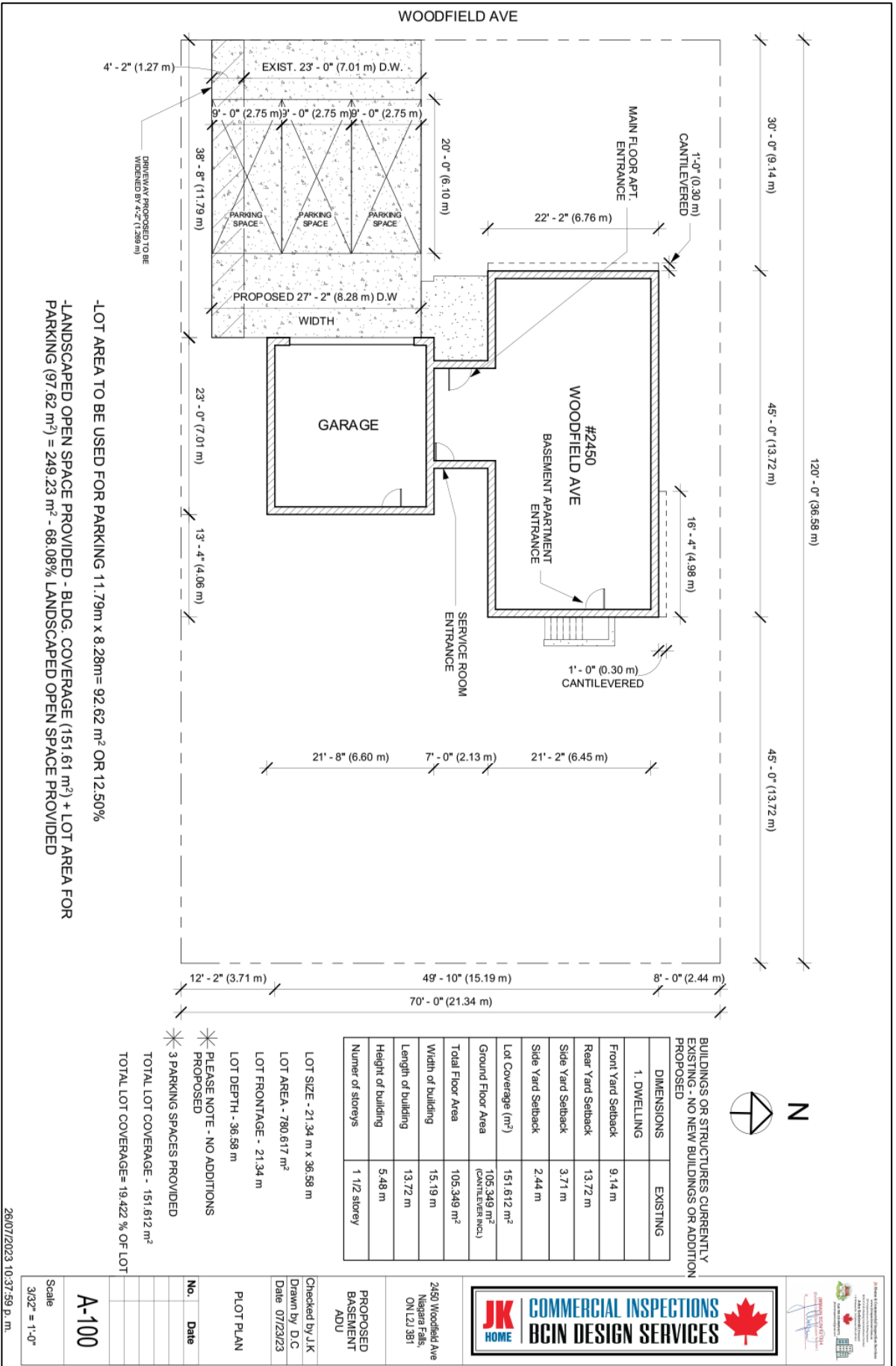
If a specified person or public body that files an appeal of a decision of the Committee of Adjustment for the City of Niagara Falls in respect of the proposed minor variance does not make written submissions to the Committee before it gives or refuses approval, the Ontario Land Tribunal may dismiss the appeal.

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer, Committee of Adjustment, Planning & Development, City Hall, P.O. Box 1023, and 4310 Queen Street, Niagara Falls, Ontario, L2E 6X5.

Additional information is available from Planning & Development or by telephoning Suzanne Anderson, Secretary-Treasurer Committee of Adjustment at 905-356-7521 ext. 4281 between 8:30 a.m. and 4:30 p.m. Monday to Friday or email sanderson@niagarafalls.ca.

Date of Mailing: August 21, 2023

SCHEDULE 1



BUILDINGS OR STRUCTURES CURRENTLY EXISTING - NO NEW BUILDINGS OR ADDITION PROPOSED

DIMENSIONS	EXISTING
1. DWELLING	
Front Yard Setback	9.14 m
Rear Yard Setback	13.72 m
Side Yard Setback	3.71 m
Side Yard Setback	2.44 m
Lot Coverage (m ²)	151.612 m ²
Ground Floor Area	105.349 m ² (CANTILEVER INCL.)
Total Floor Area	105.349 m ²
Width of building	15.19 m
Length of building	13.72 m
Height of building	5.48 m
Number of storeys	1 1/2 storey

- LOT SIZE - 21.34 m x 36.58 m
- LOT AREA - 780.617 m²
- LOT FRONTAGE - 21.34 m
- LOT DEPTH - 36.58 m
- * PLEASE NOTE - NO ADDITIONS PROPOSED
- * 3 PARKING SPACES PROVIDED
- TOTAL LOT COVERAGE - 151.612 m²
- TOTAL LOT COVERAGE = 19.422 % OF LOT

2450 Woodfield Ave
Niagara Falls,
ON L2J 3B1

PROPOSED
BASEMENT
ADU

Checked by: J.L.K
Drawn by: D.C
Date: 07/23/23

PLOT PLAN

No. _____ Date _____

Scale
3/32" = 1'-0"

A-100

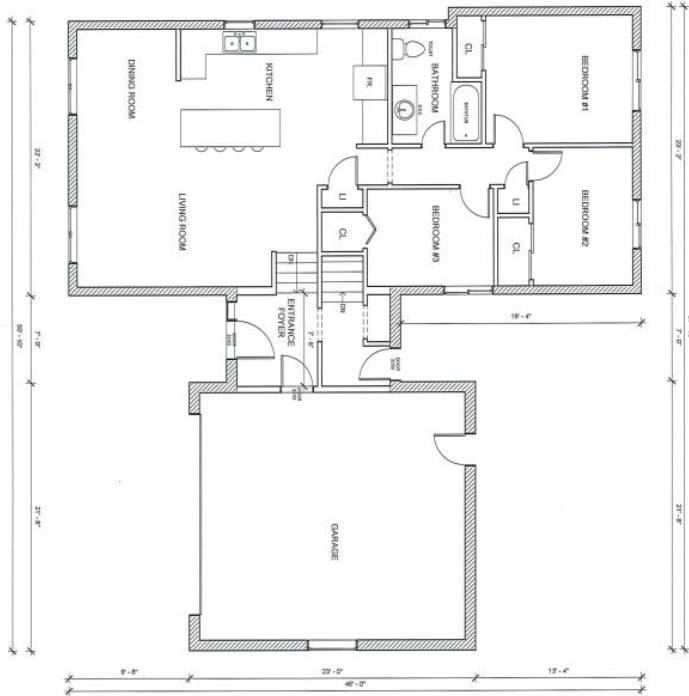
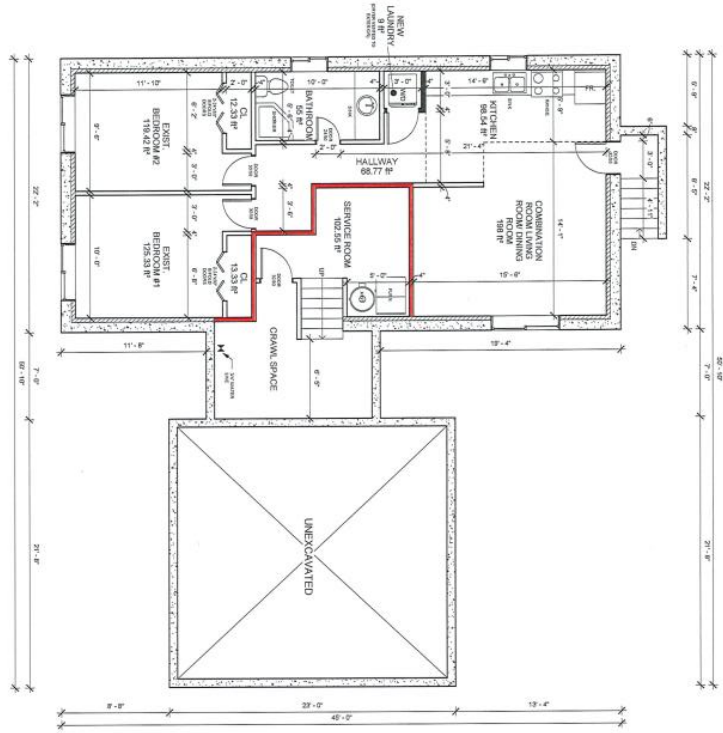
26/07/2023 10:37:59 p. m.

JK HOME COMMERCIAL INSPECTIONS
BCIN DESIGN SERVICES

REGISTERED PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL ARCHITECT
REGISTERED PROFESSIONAL DESIGNER

AMINA TORO, P. ENG.
AMINA TORO, P. ARCH.
AMINA TORO, P. DES.

SCHEDULE 2



EXISTING MAIN FLOOR WALLS AND CEILING ARE PLASTER CONSTRUCTION - 16mm PLASTER WITH 5 5mm GYPSUM LATH WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING TABLE 2.3.4B-SB2

2450 Woodfield Ave
Niagara Falls,
ON L2J 3B1

COMMERCIAL INSPECTIONS
BCIN DESIGN SERVICES

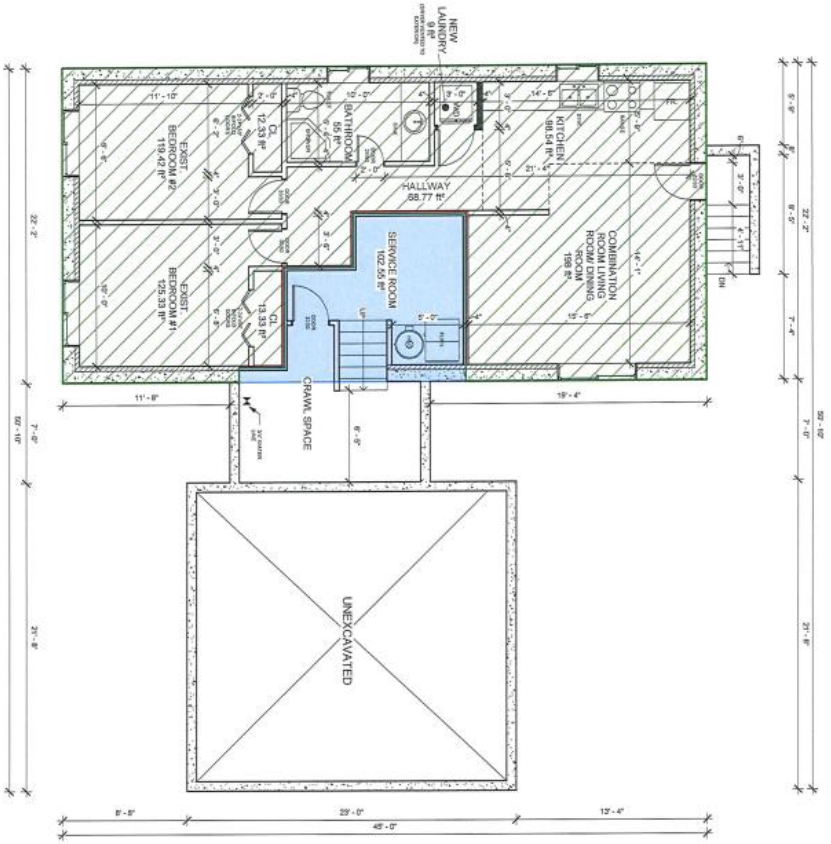
CONSTRUCTION FOR BASEMENT APARTMENT
BASEMENT APARTMENT FLOOR PLAN AND
EXISTING MAIN FLOOR PLAN AND
EXISTING MAIN FLOOR WINDOW CHART
APPROVED BY THE DESIGNER

1/4" = 1'-0"

DATE AND START TIME
PROJECT NAME
PROPOSED
BASEMENT ADU

SHEET TITLE
FLOOR PLAN /
WINDOW CHART

DRAWN BY: D.C.
CHECKED BY: J.K.
SCALE: 1/4" = 1'-0"
SHEET: 2 OF 4
DWG NO: A-102.A



- NEW HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARM ON 1ST FLOOR AND BASEMENT APARTMENT.
- NEW HARD WIRED INTERCONNECTED SMOKE/STROBE ALARM ON 1ST FLOOR AND BASEMENT APARTMENT.
- NEW 20 MINUTE FIRE RATED WALL WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING.
- NEW 30 MINUTE FIRE RATED WALL WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING.
- NEW PARTITION WALLS 2"x4" @ 16" O.C. - 1/2" DRYWALL EACH SIDE (SEE DETAIL #9) SIMILAR TO WIC WALL ASSEMBLY.
- NEW 30 MINUTE FIRE RATED WALL WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING.
- NEW 20 MINUTE FIRE RATED WALL WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING.
- WALLS TO BE REMOVED

PROPOSED BASEMENT APARTMENT FLOOR PLAN (SQ.FT)

- EXISTING FINISHED BASEMENT - PROPOSED ADU #1 - 602.87 sq. ft. (55.8 m²)
- EXISTING MAIN FLOOR DWELLING UNIT (ADU #2) - 1045.00 sq. ft. (96.8 m²)
- EXISTING GARAGE PROPOSED TO BE CONVERTED TO ADU #2 - 488 sq. ft. (45.2 m²)
- EXISTING SERVICE ROOM - 167 sq. ft. (15.5 m²)



- NEW HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARM ON 1ST FLOOR AND BASEMENT APARTMENT.
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- NEW PARTITION WALLS 2"x4" @ 16" O.C. - 1/2" DRYWALL EACH SIDE (SEE DETAIL #9) SIMILAR TO WIC WALL ASSEMBLY.
- EXIST PLASTER FIRE SEPARATIONS PROVIDING 60 MIN. FIRE RESISTANCE RATING IS 30 MINUTES.
- NEW HARD WIRED INTERCONNECTED SMOKE/STROBE ALARM ON 1ST FLOOR AND BASEMENT APARTMENT.
- NEW 30 MINUTE FIRE RATED WALL WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING.
- WALLS TO BE REMOVED

EXISTING MAIN FLOOR PLAN (SQ.FT)

EXISTING MAIN FLOOR WALLS AND CEILING ARE PLASTER CONSTRUCTION WITH 9 5mm GYPSUM LATH WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING TABLE 2.3.4B-SB2

2450 Woodfield Ave
Niagara Falls
ON L2J 3B1

Revision Schedule

DATE AND STAMP TIME

PROJECT NAME

PROPOSED BASEMENT ADU

SHEET TITLE

FLOOR PLAN / WINDOW CHART

DRAWN BY: Author

CHECKED BY: Chandler

SCALE: 1/4" = 1'-0"

SHEET: 01

DWG NO: A-102.B

DISCLAIMER: THIS DESIGN/PLAN IS FOR INFORMATION ONLY. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND. ALL CHANGES MUST BE APPROVED BY THE DESIGNER.

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Niagara Falls, ON L2G 4K6
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www.jkhome.com