

4188 TERRACE AVE - AS BUILT

4188 TERRACE AVE NIAGARA FALLS, ON L2E 3J4
(ORDER TO COMPLY - ORB-2022-001 & ORB-2022-005)

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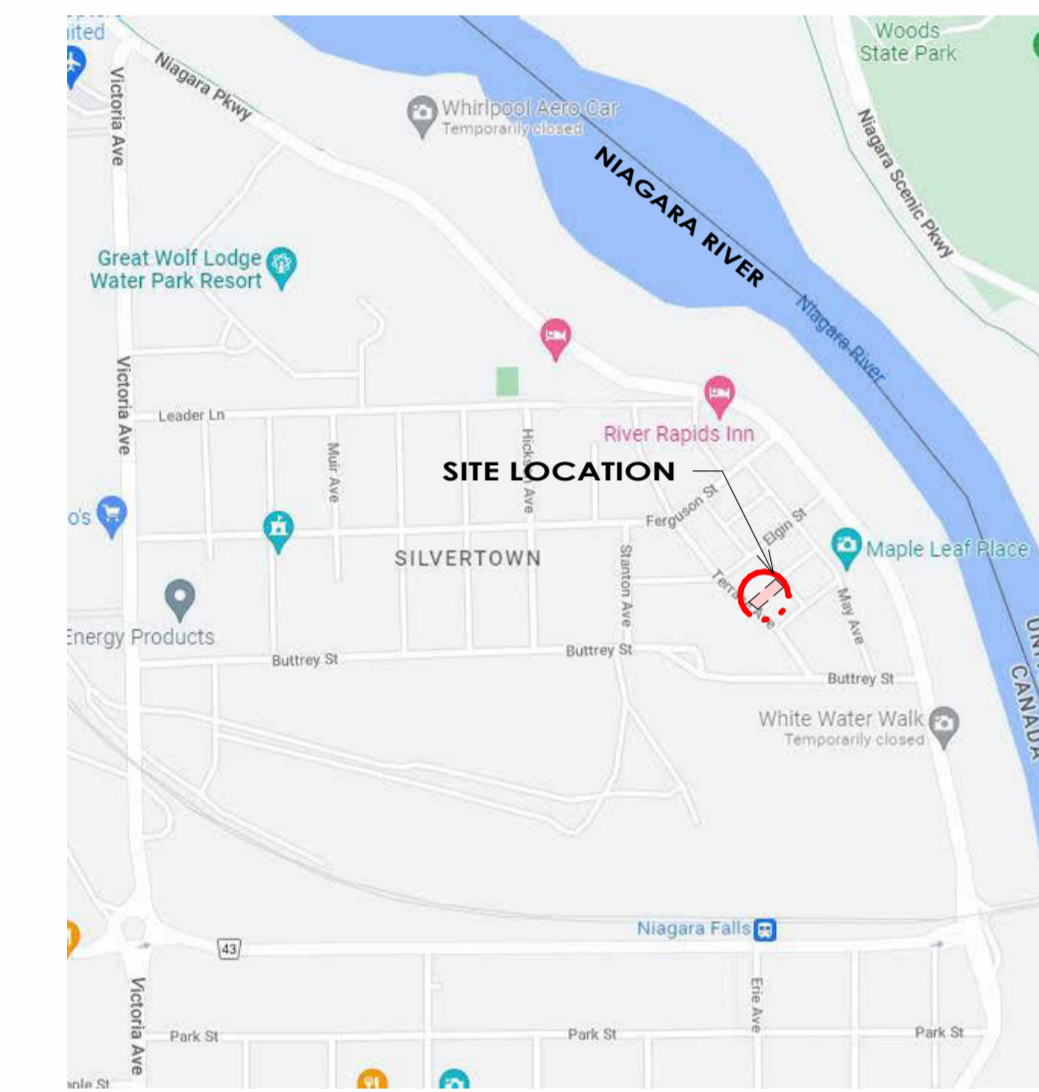
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PART 1 - ORB-2022-005

A1 EXISTING 2 STOREY DWELLING FLOOR PLANS
A2 EXISTING 2 STOREY ELEVATION

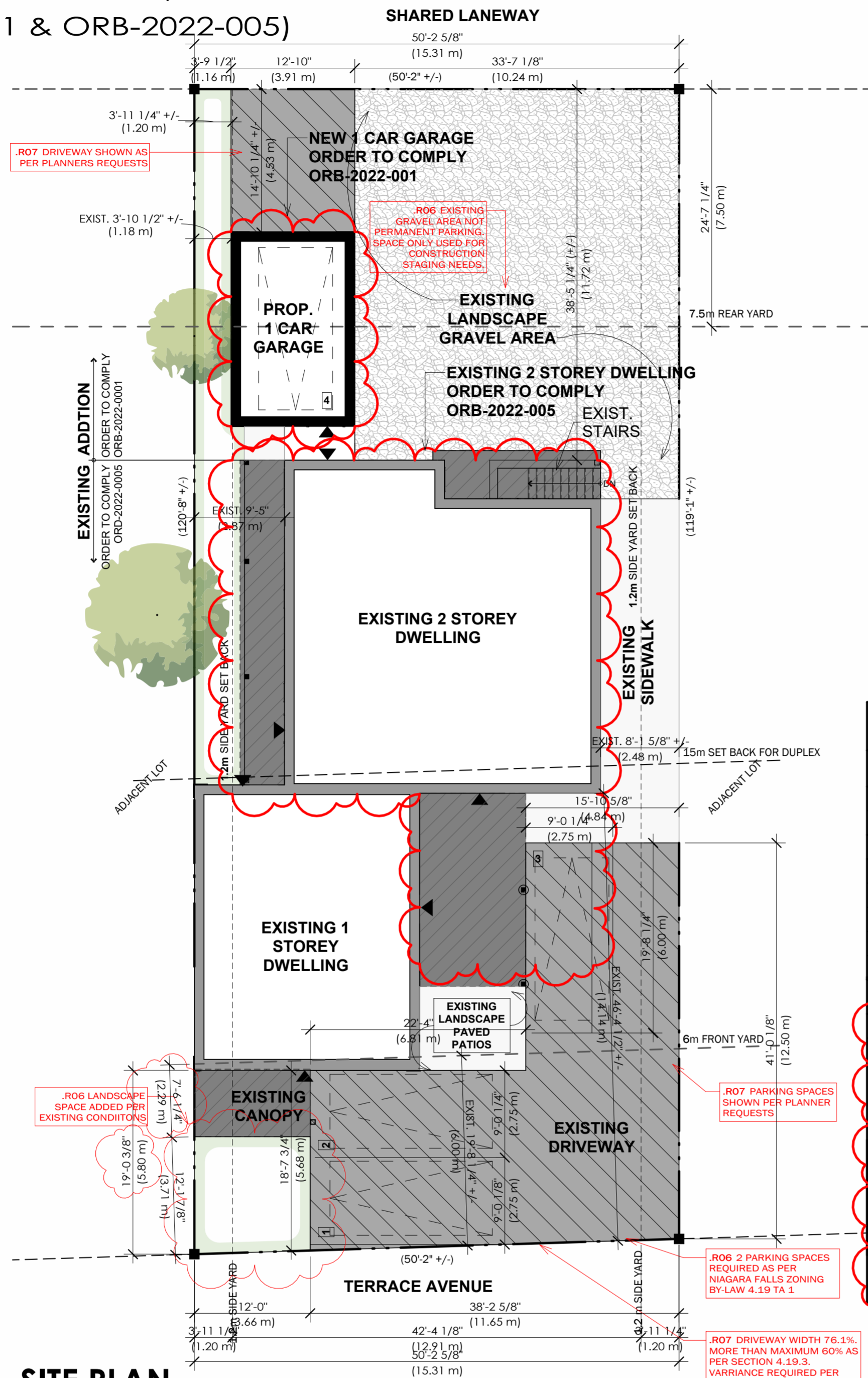
PART 2 - ORB-2022-001

A3 GARAGE FLOOR PLANS
A4 GARAGE ELEVATIONS



KEY PLAN

1/4" = 1'-0"



SITE PLAN

1" = 10'-0"

PROPERTY LINE RETRIEVED FROM SATELLITE MAPPING. ALL DIMENSIONS ARE +/-.



TERRACE AVE PERSPECTIVE

SITE PLAN ZONING & STATISTICS			
ZONING INFORMATION			
ADDRESS	4188 TERRACE AVENUE NIAGARA FALLS, ON L2E 3J4		
ZONING AND BY-LAW	CITY OF NIAGARA FALLS BY-LAW NO. 79-200 (SECTION 7.7- RESIDENTIAL TWO ZONE)		
ITEMS	REQUIRED	EXISTING	
LOT FRONTAGE (MIN.)	12 m (39.4ft)	15.28m +/- (50.16ft +/-)	
FRONT YARD (MIN.)	6 m (19.7ft)	15.28m +/- (50.16ft +/-)	
SIDE YARD (MIN.)	1.2m (3.9 ft)	2.9m +/- (9.42ft +/-) 2.5m +/- (8.16ft +/-)	
REAR YARD (LANE WAY) (MIN.)	7.5 m (24'-7 1/4")	4.5m +/- (14.77ft +/-)	
BUILDING HEIGHT (MAX)	10m (32.81ft)	10.0m +/- (32.81ft +/-)	
LOT COVERAGE CALCULATIONS			
EXISTING LOT AREA	552.77m ² (5949.97 SF)(0.055HA) +/-	100%	MAXIMUM
LOT COVERAGE	235.90m ² (2539.20 SF) +/-	42.68%	45.0%
EXISTING DWELLING	161.64m ² (1739.83 SF) +/-	29.2%	
CANTILEVER TERRACES & CANOPY	50.25m ² (540.86SF) +/-	9.1%	
NEW ACCESSORY BUILDING (GARAGE)	24.02m ² (258.51 SF) +/-	4.3%	
LANDSCAPE AREAS	200.35m ² (2156.53 SF) +/-		MINIMUM
LANDSCAPE PAVED PATIOS	40.87m ² (440.0 SF) +/-	7.4%	
LANDSCAPE GRAVEL AREA	121.36m ² (1306.36 SF) +/-	22.0%	38.8%
LANDSCAPE GRASSED AREA	38.11m ² (410.2 SF) +/-	6.9%	
PARKING			MAXIMUM
PAVED PARKING SPOTS (2)	116.52m ² (1254.24SF) +/-	21%	30%

NOTE: EXISTING LOT AREA PROVIDED BY THE CITY OF NIAGARA FALLS.

SITE PLAN LEGENDS			
[Green Box]	EXISTING LANDSCAPE GRASSED AREA	[Dashed Line]	PROPERTY LINE
[Grey Box]	EXISTING LANDSCAPE GRAVEL AREA	[Dotted Line]	MIN. SET BACK
[Hatched Box]	EXISTING PAVED PARKING SPOTS/ DRIVE AREA	[Dashed Line]	EX. ADJACENT LOT
[Dark Grey Box]	FLOOR ABOVE	[Black Square]	SIB.
[White Box]	NEW BUILDING	[Green Circle]	F.G. LABLE
[Light Grey Box]	EXISTING BUILDING	[Green Circle]	EX. TREE/LANDSCAPE
[Light Grey Box]	EXISTING LANDSCAPE APVED PATIOS		

**F.G.SHALL REFER TO FINAL GRADING PLANS
*SEE SITE PLAN NOTES
*LOT LINE/BACKGROUND AS PER : SATELLITE MAPPING
*ROB TABLE REVISED TO ANSWER REQUIRED INFORMATION FROM INTER-DEPARTMENTAL MEMO RE: APPLICATION TO THE COMMITTEE OF ADJUSTMENT A-2023-021 4188-4190, TERRACE AVENUE EXISTING ADDITIONS TO THE EXISTING DUPLEX DWELLING AND DETACHED GARAGE.
*ROB TABLE REVISED TO REFLECT REQUEST FROM CITY PLANNER SHOWING LARGER DRIVEWAY AREA AND DRIVEWAY AREA AT PROPOSED 1 CAR GARAGE

DEMOLITION NOTES:
GENERAL
NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
UTILITY SERVICE: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY. (DO NOT BURN DEMOLISHED MATERIALS)
DISPOSAL OF DEMOLISHED MATERIALS, EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED ARE TO REMAIN OWNER'S PROPERTY. REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA APPROVED LANDFILL. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
REFER TO THE ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWING AND SPECIFICATIONS AS APPLICABLE FOR SPECIFIC INFORMATION, DIMENSIONS, LOCATIONS, ETC. REGARDING THE EXACT EXTENT OF DEMOLITION REQUIRED.
COORDINATE WITH THE MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL CONTRACTORS REGARDING THEIR SELECTIVE DEMOLITION OF EXISTING MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL EQUIPMENT AND COMPONENTS.
COORDINATE WORK DESCRIBED IN THESE DEMOLITION GENERAL NOTES. THE DEMOLITION/ SELECTIVE NEW CONSTRUCTION NOTES, THE GENERAL NOTES, AND THE FLOOR PLAN NOTES ALL FOUND WITHIN THIS SET OF DOCUMENTS.
EXISTING MASONRY WALL CONSTRUCTION, INTERIOR AND EXTERIOR SHALL REMAIN UNLESS NOTED OTHERWISE. PROTECT EXISTING CONSTRUCTION FROM DAMAGE UNTIL CONSTRUCTION IS COMPLETE.
THE DEMOLITION PLANS ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS.
THE DEMOLITION KEY NOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTORS SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
REMOVE FROM SITE AS SOON AS PRACTICABLE DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
ALL BUILDING COMPONENTS AND FINISHES WHICH ARE TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE.

PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS AND FLOORS DISTURBED FOR NEW WORK AND FINISH.
REMOVE EXISTING DOOR, FRAME, HARDWARE, ETC.. PREPARE OPENINGS FOR NEW DOOR/FRAME, INFILL/ FRAME OPENINGS TO MATCH ADJACENT CONSTRUCTION AS REQUIRED.
REMOVE EXISTING DOORS/ FRAMES, WINDOWS, ETC. AS LABELED. CONSTRUCT NEW WALL FRAMING ASSEMBLY & FINISHES AS PER CONSTRUCTION DWGS.
REMOVE EXISTING WALLS, OPENINGS, ETC.. PROVIDE FRAMING/ LINTEL SUPPORT AS REQ'D. SEE STRUCTURAL DWGS. - PROVIDE REQ'D TEMPORARY SUPPORT AS NEEDED.
STRUCTURAL
REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOFS OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO BECOME FAMILIAR WITH AND VERIFY THE EXISTING CONDITIONS. THESE DEMOLITION DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN HIS EVALUATION OF THE EXTENT OF DEMOLITION. BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
CONTRACTOR SHALL FIELD INSPECT ALL DEMOLITION WORK PRIOR TO REMOVAL. TO INSURE SUCH REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. IF THE INSPECTION INDICATES THAT THE STRUCTURAL INTEGRITY MAY BE IMPAIRED, NOTIFY THE STRUCTURAL ENGINEER IMMEDIATELY.
TEMPORARY BRACING MUST BE PROVIDED TO MAINTAIN BUILDING STABILITY DURING CONSTRUCTION FOR ALL WALLS & OPENINGS BEING REMOVED.
PREVENT DEBRIS, DIRT, MATERIALS FROM BLOCKING DRAINAGE INLETS.
PROVIDE ALL NECESSARY WORK, ITEMS, PROCEDURES TO ENSURE THE SAFETY OF THE PUBLIC, WORKERS AND STRUCTURE AS REQUIRED BY MUNICIPAL AND OTHER AUTHORITIES HAVING JURISDICTION INCLUDING FIRE PREVENTION REQUIREMENTS.
DISPOSE OF ALL PERTINENT MATERIAL IN ACCORDANCE WITH PROVINCIAL SAFETY AND ENVIRONMENTAL REQUIREMENTS.
ALL EXISTING BUILDING CONTROL/ OR EXPANSION JOINTS TO BE EXPOSED & SITE INSPECTED BY ARCHITECT & ENGINEER PRIOR TO COMPLETING ALL WORK

ITEMS INDICATED TO BE DEMOLISHED SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR OF TRADE.
ALL DEMOLITION WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, PROVINCIAL AND FEDERAL CODES & REGULATIONS, AND ENVIRONMENTAL CODES & REGULATIONS.
THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE THE SCHEDULED NEW CONSTRUCTION.
THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER.
THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE STRUCTURAL STABILITY OF THE EXISTING BUILDINGS IN THE AREAS INVOLVING NEW WORK OR FOR PROTECTING THE EXISTING BUILDINGS FROM DAMAGE DURING THE COURSE OF WORK. THIS SHALL INCLUDE SUPPLYING AND INSTALLING SHORING AND ANY OTHER ITEMS NECESSARY FOR PROTECTION AND STABILITY. WORK THAT MAY JEOPARDISE THE STRUCTURAL INTEGRITY OF THE BUILDINGS SHALL NOT BE DONE WITHOUT CONSULTING THE ARCHITECT.
THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS AGAINST DAMAGE TO ALL EXISTING CONSTRUCTION THAT IS TO REMAIN. ANY DAMAGES CAUSED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED AT CONTRACT'S EXPENSE TO THE COMPLETE SATISFACTION OF THE ARCHITECT AND THE OWNER.
THE CONTRACTOR SHALL VERIFY, WITH PROPER AUTHORITIES, UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. SHOULD ANY UTILITIES BE ENCOUNTERED DURING THE COURSE OF THE WORK, THE ARCHITECT SHALL BE NOTIFIED IN WRITING AT ONCE. ALL UTILITIES SHALL REMAIN UNDISTURBED UNLESS OTHERWISE NOTED.
WHERE NEW OPENINGS ARE MADE, PROPER SUPPORT SHALL BE PROVIDED; THEREFORE REFER TO STRUCTURAL DRAWINGS.
REMOVE ALL WALLS, DOORS, FRAMES AND OTHER CONSTRUCTION AS INDICATED ON DEMOLITION PLANS, AS WELL AS OTHER ITEMS INDICATED OR NOT AS REQUIRED FOR A COMPLETE JOB. PATCH WALLS TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE. AND TO BE INTO EXISTING ADJACENT MATERIALS. SEE DEMOLITION DRAWINGS FOR VERIFICATION OF EXISTING CONDITIONS.

Definitions
THE FOLLOWING GENERAL NOTES ARE APPLICABLE THROUGHOUT THESE CONSTRUCTION DRAWINGS
"REMOVE": DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFFSITE UNLESS INDICATED TO BE REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
"EXISTING TO REMAIN": EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
AS BUILT NOTES:
THE ISSUANCE OF THIS RECORD DRAWING IS A REPRESENTATION BY THE ARCHITECT THAT THE CONSTRUCTION, ENLARGEMENT OR ALTERATION OF THE BUILDING IS IN GENERAL, AS OPPOSED TO PRECISE, CONFORMITY WITH THE DESIGN PREPARED AND PROVIDED BY THE ARCHITECT, BUT IS NOT A REPRESENTATION THAT THE CONSTRUCTION, ENLARGEMENT OR ALTERATION OF THE BUILDING IS IN CONFORMITY WITH A DESIGN THAT HAS BEEN PREPARED OR PROVIDED BY OTHERS.
THE REVISIONS TO THESE CONTRACT DOCUMENTS, REFLECTING THE SIGNIFICANT CHANGES IN THE WORK MADE DURING CONSTRUCTION, ARE BASED ON DATA FURNISHED BY THE CONTRACTOR TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED BY THE CONTRACTOR.
ALL EXISTING DIMENSIONS ARE +/- APPROXIMATE. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS. IN THE CASE THAT DO NOT MATCH OR WORK WITH EXISTING, CONTRACTOR MUST CONTACT THE ARCHITECT TO COORDINATE ANY SITE MODIFICATIONS
TEMPORARY SUPPORT FOR EXISTING STRUCTURE DURING DEMOLITION AND RENOVATION BY OTHERS. CONTRACTOR TO COORDINATE

CONSTRUCTION NOTES:
1. CONTRACTOR TO MAKE ALL DEMOLISHED CONNECTIONS GOOD(TYP.).
2. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN. MAKE GOOD ALL CONNECTIONS EXISTING AND NEW.
3. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE DRAWINGS.
4. CONTRACTOR SHALL COORDINATE CONSTRUCTION PLAN WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS. REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL OR PLUMBING REQUIREMENTS.
5. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DEVIATION FROM THE DRAWING.
6. MAINTAIN ACCESS TO EXITS AT ALL TIMES.
7. ALL CONSTRUCTION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
8. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE BRACINGS AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING.
9. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING CONSTRUCTION.
***ALL EXISTING DIMENSIONS ARE (+/-) DIMENSIONS TO BE SITE VERIFY**

GENERAL NOTES

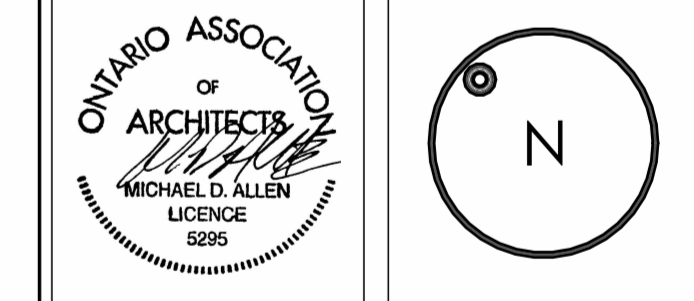
ISSUED FOR PERMIT ORDER TO COMPLY
ORB-2022-001
ORB-2022-005

REFERENCE SYMBOLS			
BUILDING SECTION	ORIGIN SHEET	SECTION	SHEET NUM.
WALL SECTION	ORIGIN SHEET	DETAIL NUM.	SHEET NUM.
DETAIL CALLOUT	ORIGIN SHEET	DETAIL NUM.	SHEET NUM.
DOOR NUMBER	D1		
ELEVATION NOTE	ELEVATION		SHEET NUM.
MULTIPLE ELEVATION REFERENCE	15.5		SHEET NUM. ELEVATION
DATUM (ELEVATION)	+		FLOOR
GRID LINE & BUBBLE	1	A	
ROOM REFERENCE	R. NAME		
WALL TAG	W1		

NO.	DATE:	REVISION:	BY:	
1	R01	12/20/2022	AS BUILT	MCD
2	R02	01/04/2022	ISSUED FOR BUILDING PERMIT	MCD
3	R03	05/15/2023	STATUS LETTER RESPONSE	MCD
4	R04	05/23/2023	STRUCT NOTES	MCD
5	R05	05/24/2023	STATUS LETTER RESPONSE	MCD
6	R06	07/06/2023	ZONING LETTER RESPONSE	MCD
7	R07	07/12/2023	CITY COMMENTS	MCD

COMMISSION:
4188 TERRACE AVE - AS BUILT

4188 Terrace Ave Niagara Falls, ON L2E 3J4



SHEET TITLE: COVER PAGE

Issued for Re-Zoning	MCD	DWG. No.
Issued for Site Plan Agreement	MDA, JMR	
Issued for Permit:	DECEMBER 20, 2022	
Issued for Tender:	AS SHOWN	
Issued for Construction:	2022-181	
DRAWN BY:	MCD	DWG. No.
CHECKED BY:	MDA, JMR	
DATE:	DECEMBER 20, 2022	
SCALE:	AS SHOWN	
PROJECT NO.:	2022-181	

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