

PROJECT:
**PROPOSED TWO STOREY
AZIZ RESIDENCE**
LOT 27 SECRETARIAT
NIAGARA FALLS, ONTARIO

NOTES:
ALL CONTRACTORS SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE (UP TO AND INCLUDING ALL 2022 AMENDMENTS)

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DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL 1" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER, BUILDER & CONTRACTOR.
- 7 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR.
- 8 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	FRONT & LEFT ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	REAR & RIGHT ELEVATIONS EXTERIOR 3D PERSPECTIVES
A3	LOWER FLOOR PLAN
A4	MAIN FLOOR PLAN
A5	UPPER FLOOR PLAN
A6	CROSS SECTION ROOF PLAN WALL SECTION CONSTRUCTION SCHEDULES
A7	TYPICAL DETAILS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES

NO.	DATE:	REVISION:	BY

CERTIFICATION:
The undersigned has reviewed and issued responsibility for this design, and has the qualifications and meets requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under 2.11.4.1 of the building code
MIKE CORRIVEAU
NAME: MIKE CORRIVEAU
SIGNATURE: *Mike Corriveau*
REGISTRATION INFORMATION
CORRIVEAU CADD 29892
FIRM NAME: BCIN

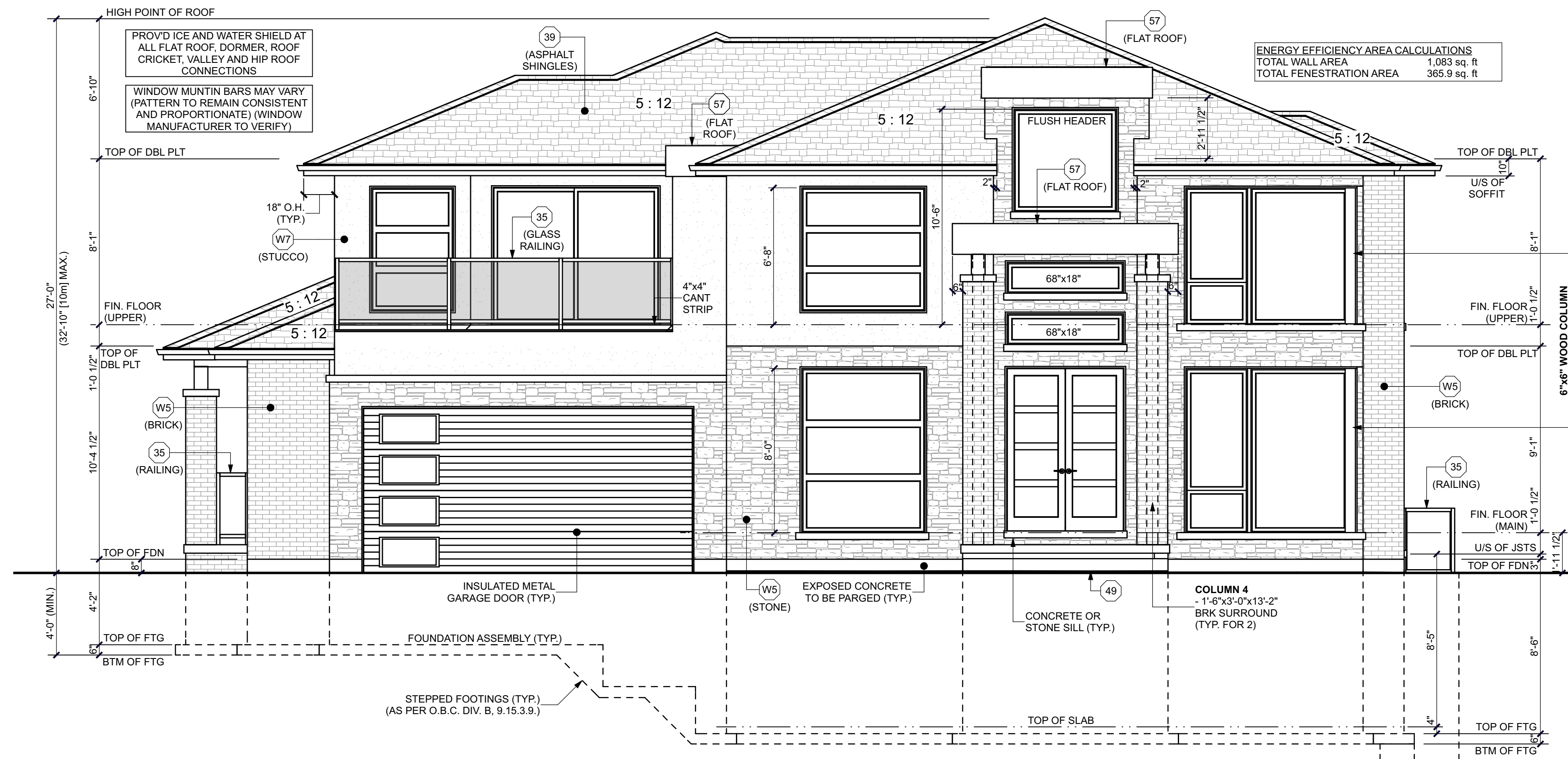
DR. BY: **ANDRE LACOURSIERE** CH. BY: **MIKE CORRIVEAU**

DATE: **2022-03-23** JOB #: **2022-11**

SCALE: **AS SHOWN**

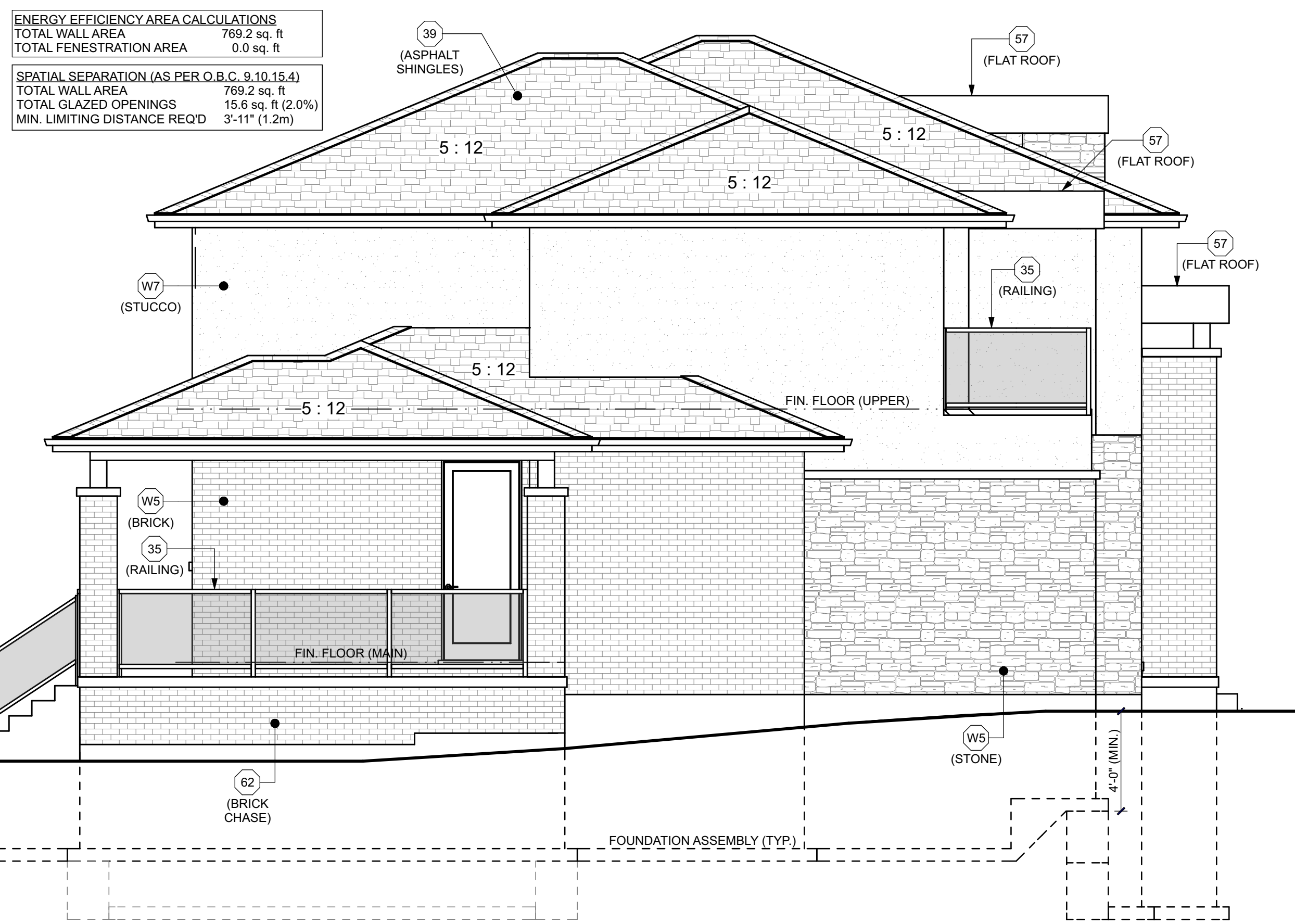
TITLE: **FRONT & LEFT ELEVATIONS, EXTERIOR 3D PERSPECTIVES**

SHEET No. **1 OF 8** **A1**



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

BACKFILL NOT TO EXCEED 3'-11" FROM GRADE TO TOP OF SLAB
- REFER TO O.B.C. DIV. B, 9.15.4.2 - TABLE 9.15.4.2.A
- REFER TO GRADING PLAN & SITE CONDITIONS PRIOR TO POUR
- AS PER ENGINEER SPECS WHERE HEIGHTS EXCEEDED



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



3D COMING SOON

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 NAME: MIKE CORRIVEAU, SENIORITY: SENIOR, BCIN: 29892
 REGISTRATION INFORMATION
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CORRIVEAU CADD, 29892
 FIRM NAME: CORRIVEAU CADD, BCIN: 29892

DR. BY: **ANDRE LACOURSIERE** CH. BY: **MIKE CORRIVEAU**

DATE: **2022-03-23** JOB #: **2022-11**

SCALE: **AS SHOWN**

TITLE: **LOWER FLOOR PLAN**

LOWER FLOOR PLAN

SHEET NO. **3 OF 8** **A3**

WOOD LINTEL SCHEDULE
(O.B.C. 9.23.1.3)

LINTEL SUPPORTING	LINTEL SIZE	MAXIMUM SPAN, m			
		EXTERIOR WALLS			
		SPECIFIED SNOW LOAD, kPa			
LIMITED ATTIC STORAGE AND CEILING	2-1 1/2 x 3 1/2	1.0	1.5	2.0	2.5
	2-1 1/2 x 5 1/2	1.0	1.5	2.0	2.5
	2-1 1/2 x 7 1/4	1.0	1.5	2.0	2.5
	2-1 1/2 x 9 1/4	1.0	1.5	2.0	2.5
ROOF AND CEILING ONLY (TRIBUTARY WITH 0.6m MAXIMUM)	2-1 1/2 x 3 1/2	6'-4"	7'-4"	8'-8"	9'-10"
	2-1 1/2 x 5 1/2	13'-1"	11'-0"	10'-5"	9'-9"
	2-1 1/2 x 7 1/4	17'-4"	15'-9"	12'-9"	12'-0"
	2-1 1/2 x 9 1/4	20'-11"	18'-11"	17'-6"	16'-3"
ROOF AND CEILING ONLY (TRIBUTARY WITH 0.4m MAXIMUM)	2-1 1/2 x 3 1/2	4'-2"	3'-8"	3'-4"	3'-1"
	2-1 1/2 x 5 1/2	6'-4"	5'-5"	4'-10"	4'-1"
	2-1 1/2 x 7 1/4	7'-9"	6'-8"	5'-11"	5'-0"
	2-1 1/2 x 9 1/4	9'-5"	8'-1"	7'-3"	6'-0"
ROOF CEILING AND 1 STOREY	2-1 1/2 x 3 1/2	3'-5"	3'-2"	2'-11"	2'-5"
	2-1 1/2 x 5 1/2	4'-11"	4'-6"	4'-2"	3'-9"
	2-1 1/2 x 7 1/4	6'-11"	5'-9"	5'-6"	5'-0"
	2-1 1/2 x 9 1/4	7'-3"	6'-8"	6'-2"	5'-3"
ROOF CEILING AND 2 STOREYS	2-1 1/2 x 3 1/2	3'-1"	2'-11"	2'-9"	2'-6"
	2-1 1/2 x 5 1/2	4'-5"	4'-2"	3'-11"	3'-6"
	2-1 1/2 x 7 1/4	5'-4"	4'-9"	4'-5"	4'-1"
	2-1 1/2 x 9 1/4	6'-6"	6'-2"	5'-8"	4'-11"
ROOF CEILING AND 3 STOREYS	2-1 1/2 x 3 1/2	2'-9"	2'-8"	2'-6"	2'-5"
	2-1 1/2 x 5 1/2	4'-1"	3'-11"	3'-9"	3'-6"
	2-1 1/2 x 7 1/4	5'-0"	4'-9"	4'-5"	4'-1"
	2-1 1/2 x 9 1/4	6'-1"	5'-8"	5'-4"	4'-9"

NAILING FOR FRAMING
(O.B.C. 9.23.3.4)

CONSTRUCTION DETAIL	MIN. LENGTH OF NAILS, in	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
FLOOR JOISTS TO PLATE - TOE NAIL	3 1/4"	2
WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	2 1/4"	2
CROSS BRIDGING TO JOISTS	2 1/4"	2 AT EACH END
DOUBLE HEADER OR TRIMMER JOISTS	3"	11 3/4" O/C
FLOOR JOIST TO STUD (BALLOON CONSTRUCTION)	3"	2
LEDGER STRIP TO WOOD BEAM (SEE ALSO TABLE 9.23.1.8)	3 1/4"	2 PER JOIST
HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER	4"	3
TAIL JOIST TO ADJACENT HEADER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
EACH HEADER JOIST TO ADJACENT TRIMMER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
STUD TO WALL PLATE (EACH END)	3 1/4"	4
TOE NAIL OR END NAIL	3 1/4"	2
DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3"	30" O/C
DOUBLED TOP WALL PLATES	3"	23 5/8" O/C
BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)	3 1/4"	16 3/4" O/C
INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4"	23 5/8" O/C
HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS - EACH END	3 1/4"	2
LINTELS TO STUDS	3 1/4"	2 AT EACH END
CEILING JOIST TO PLATE - TOE NAIL EACH END	3 1/4"	2
ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE - TOE NAIL	3 1/4"	3
RAFTER TO CEILING JOIST	4"	2
RAFTER TO JOIST (WITH RIDGE SUPPORTED)	3"	3
RAFTER TO JOIST (WITH RIDGE UNSUPPORTED)	3"	SEE O.B.C. TABLE 9.23.13.8
GUSSET PLATE TO EACH RAFTER AT PEAK	2 1/4"	4
RAFTER AT RIDGE BOARD - TOE NAIL - END NAIL	3 1/4"	3
COLLAR TIE TO RAFTER - EACH END	3"	3
COLLAR TIE LATERAL SUPPORT TO EACH COLLAR TIE	2 1/4"	2
JACK RAFTER TO HIP OR VALLEY RAFTER	3 1/4"	2
ROOF STRUT TO RAFTER	3"	3
ROOF STRUT TO LOADBEARING WALL - TOE NAIL	3 1/4"	2
2" x 6" OR LESS PLANK DECKING TO SUPPORT	3 1/4"	2
PLANK DECKING WIDER THAN 2" x 6" TO SUPPORT	3 1/4"	3
2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
2" EDGE LAID PLANK TO EACH OTHER	3"	17 3/4" O/C

FASTENERS FOR SHEATHING AND SUBFLOORING
(O.B.C. 9.23.5.5)

ELEMENT	COMMON OR SPIRAL NAILS	RING THREAD SCREWS	ROOFING NAILS	STAPLES	MINIMUM LENGTH FOR FASTENERS, in	MINIMUM NUMBER OR MAXIMUM SPACING OF FASTENERS
BOARD LUMBER 7 1/4" OR LESS WIDE	2"	1 3/4"	N/A	2"	2"	2 PER SUPPORT
BOARD LUMBER MORE THAN 7 1/4" WIDE	2"	1 3/4"	N/A	2"	2"	2 PER SUPPORT
FIBREBOARD SHEATHING UP TO 1/2" THK	N/A	N/A	1 3/4"	1 1/8"	N/A	ALONG EDGES AND 11 3/4" O/C
GYPSUM SHEATHING UP TO 1/2" THICK	N/A	N/A	1 3/4"	N/A	N/A	5 7/8" O/C
PLYWOOD, OSB OR WAFFERBOARD UP TO 3/8" THICK	2"	1 3/4"	N/A	1 1/2"	N/A	ALONG EDGES AND 11 3/4" O/C
PLYWOOD, OSB OR WAFFERBOARD FROM 3/8" TO 1 3/16" THICK	2"	1 3/4"	N/A	2"	N/A	INTERMEDIATE SUPPORTS
PLYWOOD, OSB OR WAFFERBOARD OVER 1 3/16" THICK	2 1/4"	2"	N/A	N/A	N/A	

STEEL LINTEL SCHEDULE
FOR STEEL LINTELS SUPPORTING MASONRY VENEER
(O.B.C. 9.20.5.2.B)

MIN. ANGLE SIZE (L.V.)	MAX ALLOWABLE SPAN		
	FOR BRICK (2 3/4")	FOR BRICK (3 1/2")	FOR STONE
L-3 1/2" x 3 1/2" x 1/4"	8'-6"	8'-1"	7'-9"
L-4" x 3 1/2" x 1/4"	9'-2"	8'-9"	8'-2"
L-4 7/8" x 3 1/2" x 5/16"	11'-5"	10'-10"	10'-1"
L-4 7/8" x 3 1/2" x 3/8"	11'-11"	11'-5"	10'-8"
L-4 7/8" x 3 1/2" x 1/2"	12'-7"	11'-9"	10'-11"
L-5 7/8" x 3 1/2" x 3/8"	13'-4"	12'-7"	11'-8"
L-5 7/8" x 3 1/2" x 1/2"	14'-2"	13'-5"	12'-5"
L-5 7/8" x 4" x 1/2"	14'-4"	13'-6"	12'-7"
L-7 1/8" x 4" x 3/8"	15'-0"	14'-1"	13'-1"
L-7 1/8" x 4" x 1/2"	16'-0"	15'-1"	14'-0"

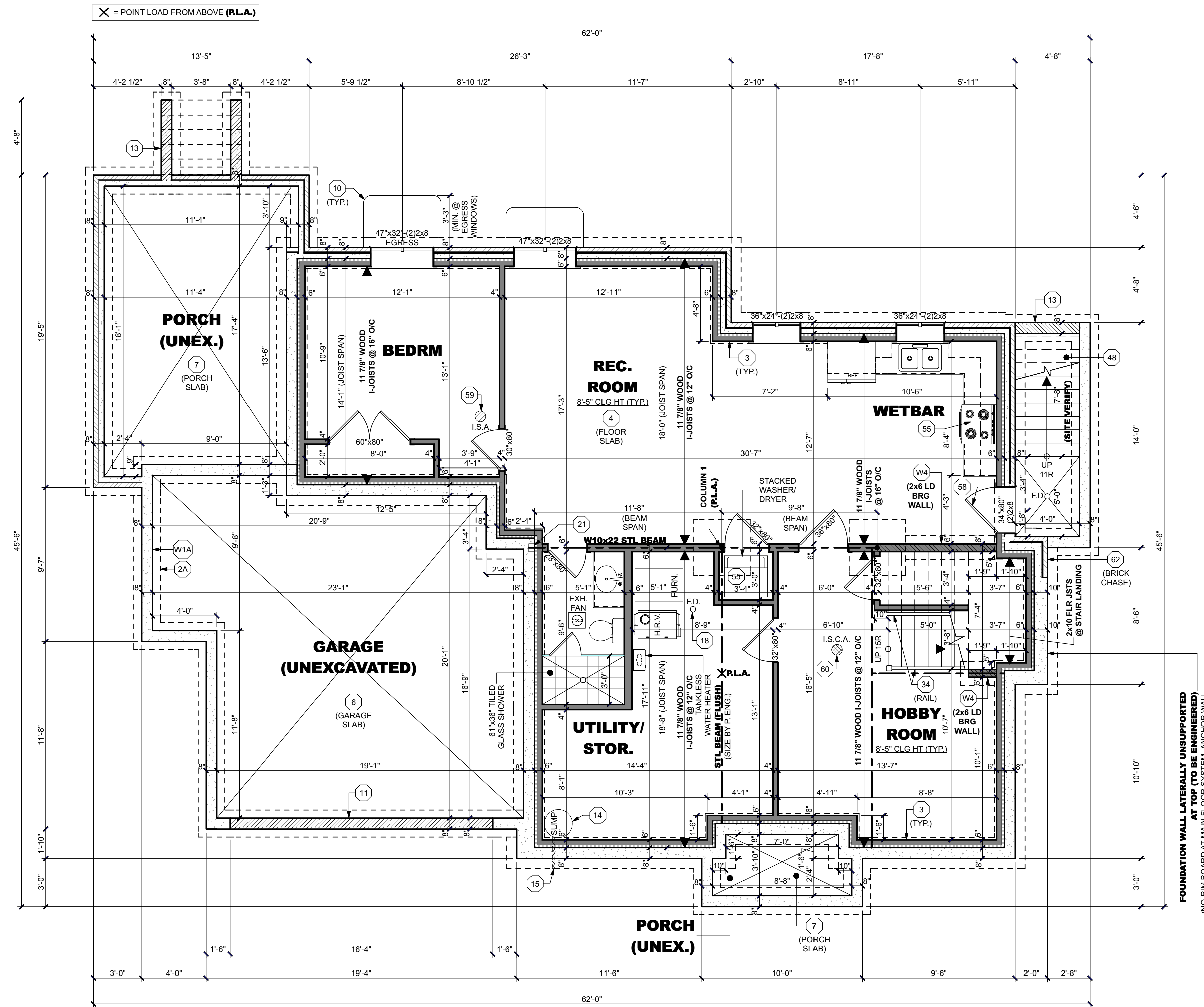
STEEL LINTEL SCHEDULE
FOR STEEL BEAMS SUPPORTING MASONRY VENEER
(O.B.C. 9.20.5.2 (C))

SECTION	2 3/4" BRICK	3 1/2" BRICK	4" STONE
W 6 x 15	13'-11"	13'-5"	12'-11"
W 6 x 20	15'-4"	14'-10"	14'-2"
W 8 x 15	17'-3"	16'-8"	15'-10"
W 8 x 21	18'-3"	17'-7"	16'-0"
W 8 x 24	18'-9"	18'-0"	17'-2"

ANCHOR BOLT SPACING
(O.B.C. TABLE 9.20.17.5)

MAX CLEAR FLOOR SPAN	STAGGERED 1/2" ANCHOR BOLTS	STAGGERED 5/8" ANCHOR BOLTS
8'-0"	18"	20"
9'-10"	16"	18"
13'-1.5"	12"	16"
16'-4"	11"	13"

REFER TO THIS SHEET FOR CONSTRUCTION SCHEDULES
 SHEET A8 FOR TYPICAL NOTE SCHEDULE, COLUMN SCHEDULE, LIST OF ABBREVIATIONS, AND GENERAL SPECIFICATIONS



LOWER FLOOR PLAN
(8'-6" CONCRETE POUR HEIGHT)
SCALE: 1/4" = 1'-0"

BUILDING FOOTPRINT		
HOUSE	- 1,324 sq. ft	20.97%
GARAGE	- 458 sq. ft	7.25%
PORCHES	- 40 sq. ft	0.63%
COV. TERRACE	- 223 sq. ft	3.53%
TOTAL	- 2,045 sq. ft	32.4%

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SIGNATURE: [Signature]
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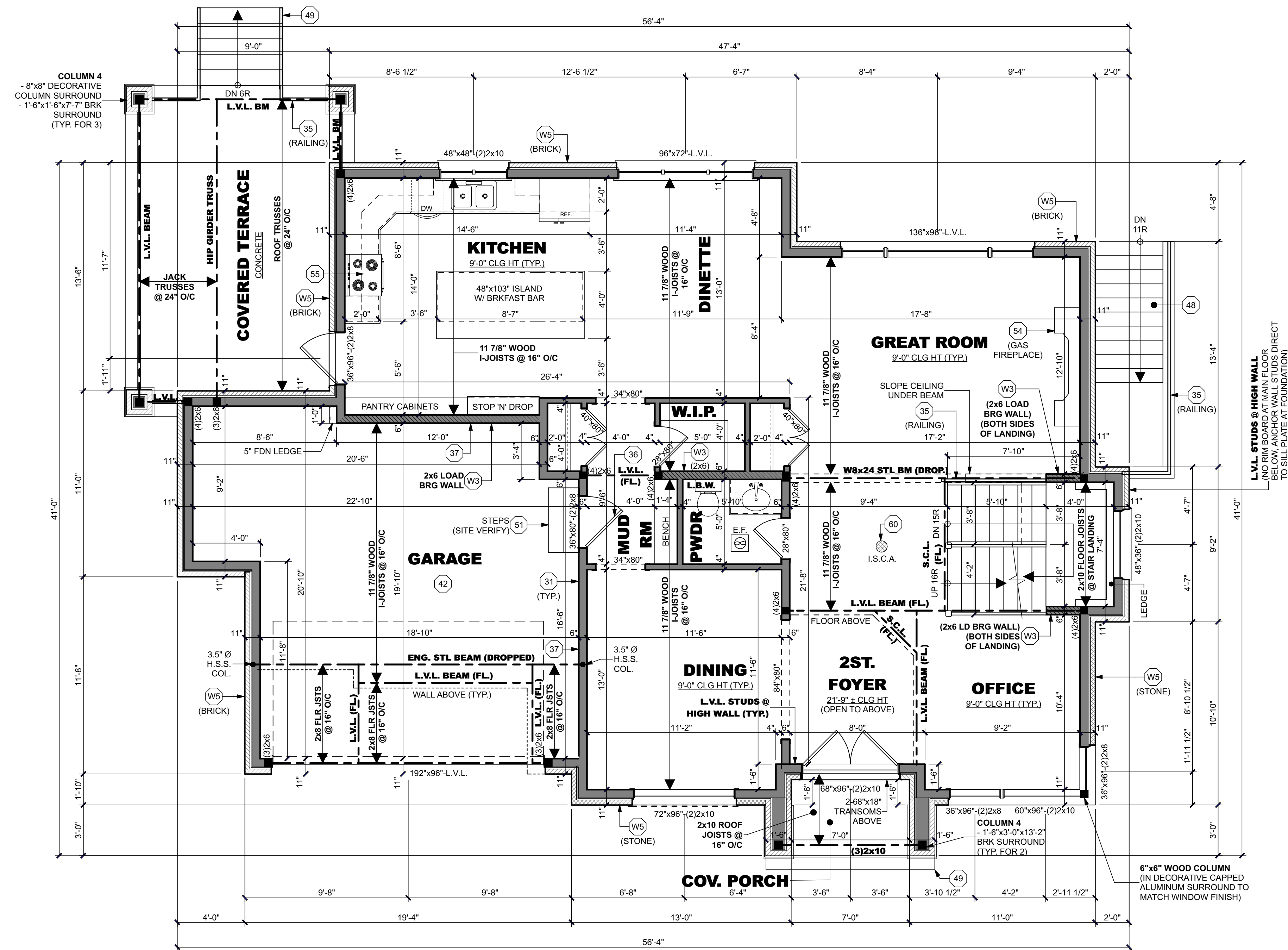
DATE: **2022-03-23** JOB #: **2022-11**

SCALE: **AS SHOWN**

TITLE: **MAIN FLOOR PLAN**

SHEET No. **4 OF 8** **A4**

REFER TO
- SHEET A3 FOR CONSTRUCTION SCHEDULES
- SHEET A8 FOR TYPICAL NOTE SCHEDULE, COLUMN SCHEDULE, LIST OF ABBREVIATIONS, AND GENERAL SPECIFICATIONS



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES

FLOOR	TYPE	AREA (sq. ft.)
MAIN FLOOR	LIVING AREA	- 1,324 sq. ft.
	OPEN TO BELOW (O.T.B.)	- 69 sq. ft.
	TOTAL	= 1,645 sq. ft.
UPPER FLOOR	LIVING AREA	- 1,576 sq. ft.
	TOTAL	= 1,645 sq. ft.
TOTALS	GROSS LIVING AREA	- 2,900 sq. ft.
	GROSS LIVING AREA INCL. O.T.B.	- 2,969 sq. ft.

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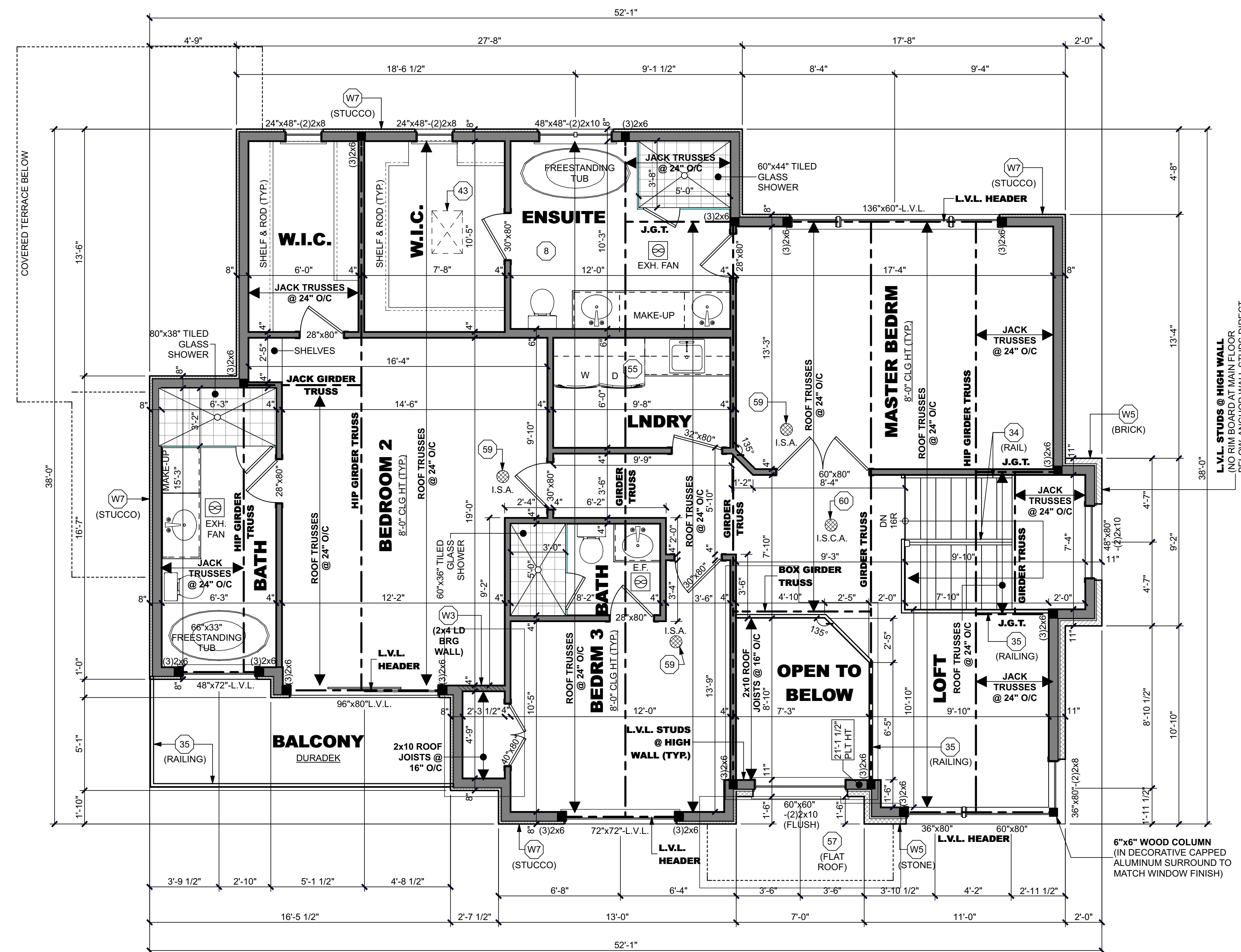
DATE: **2022-03-23** JOB #: **2022-11**

SCALE: **AS SHOWN**

TITLE: **UPPER FLOOR PLAN**

SHEET No. **5 OF 8** **A5**

REFER TO
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UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES	
MAIN FLOOR	
LIVING AREA	- 1,324 sq. ft
UPPER FLOOR	
LIVING AREA	- 1,576 sq. ft
OPEN TO BELOW (O.T.B.)	- 69 sq. ft
TOTAL	= 1,645 sq. ft
TOTALS	
GROSS LIVING AREA	- 2,900 sq. ft
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- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER, BUILDER & CONTRACTOR.
- 8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR.
- 9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	FRONT & LEFT ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	REAR & RIGHT ELEVATIONS EXTERIOR 3D PERSPECTIVES
A3	LOWER FLOOR PLAN
A4	MAIN FLOOR PLAN
A5	UPPER FLOOR PLAN
A6	CROSS SECTION ROOF PLAN WALL SECTION CONSTRUCTION SCHEDULES
A7	TYPICAL DETAILS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES

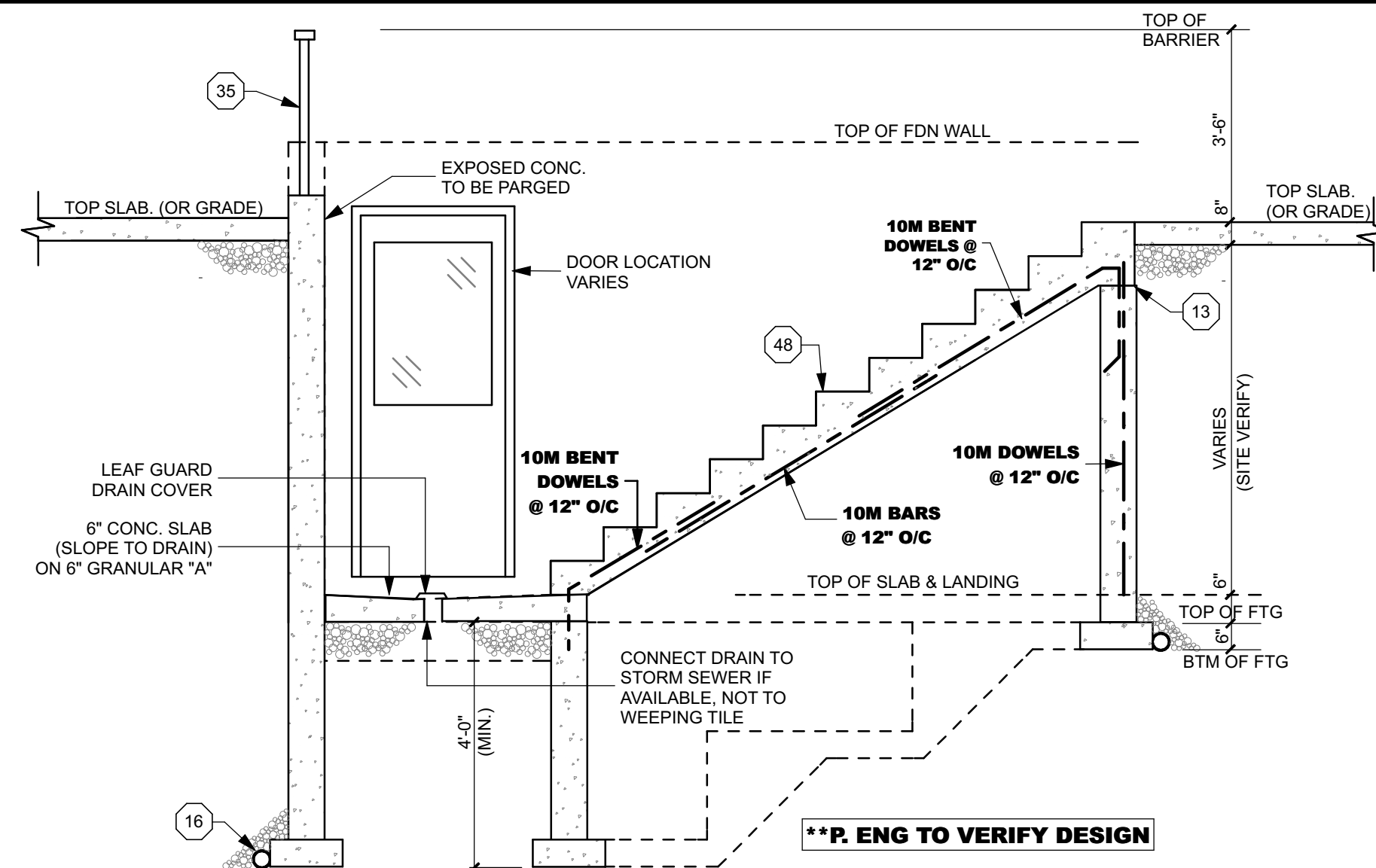
NO.	DATE:	REVISION:	BY

CERTIFICATION:
The undersigned has reviewed and issued responsibility for this design, and has the qualifications and meets requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is provided under 1.13.4.1 of the building code
MIKE CORRIVEAU
NAME: MIKE CORRIVEAU
SIGNATURE: *Mike Corriveau*
FIRM NAME: CORRIVEAU CADD
REGISTRATION INFORMATION
CORRIVEAU CADD 29892
FIRM NAME: BCIN

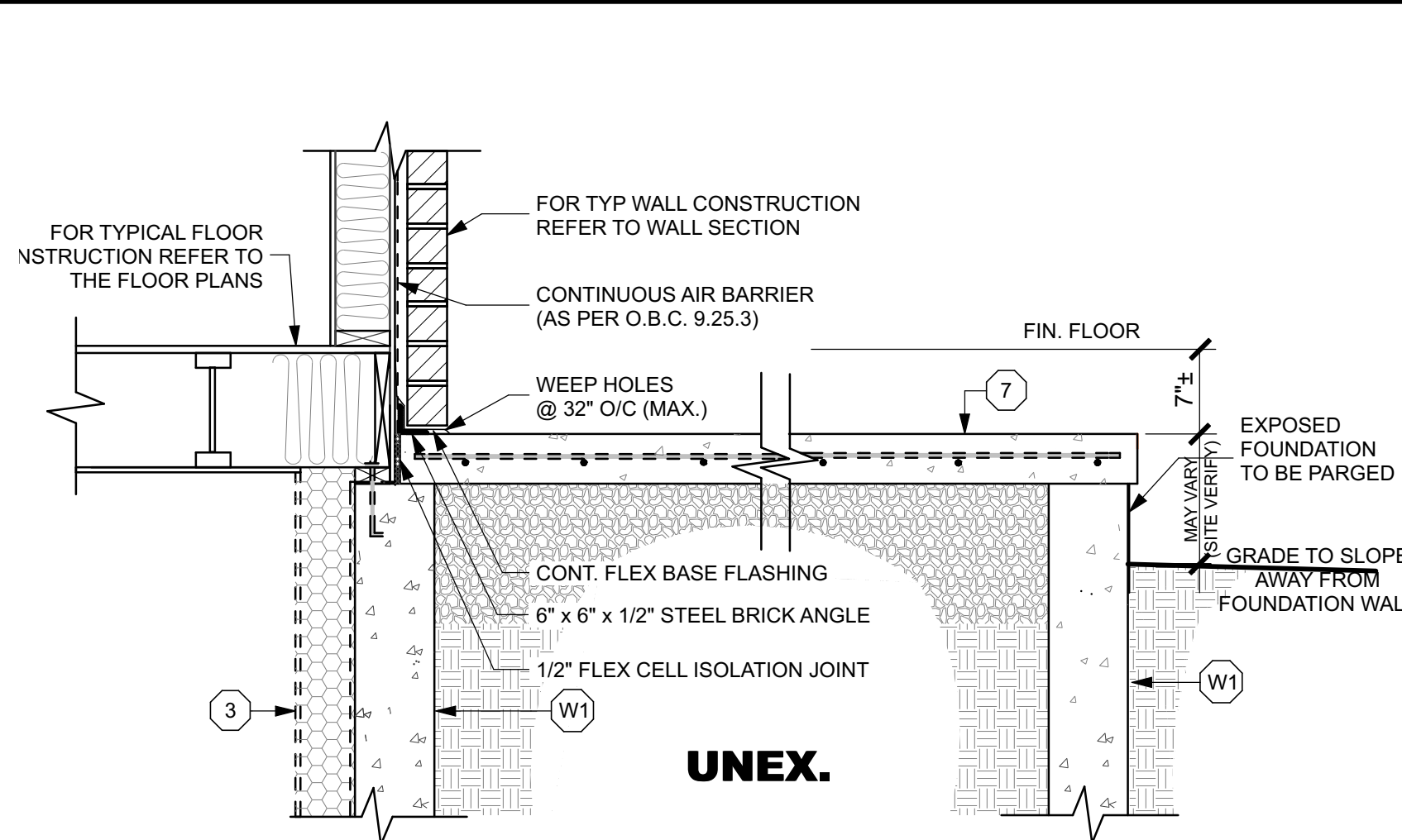
DR. BY: ANDRE LACOURSIERE	CH. BY: MIKE CORRIVEAU
DATE: 2022-03-23	JOB #: 2022-11

SCALE:
AS SHOWN

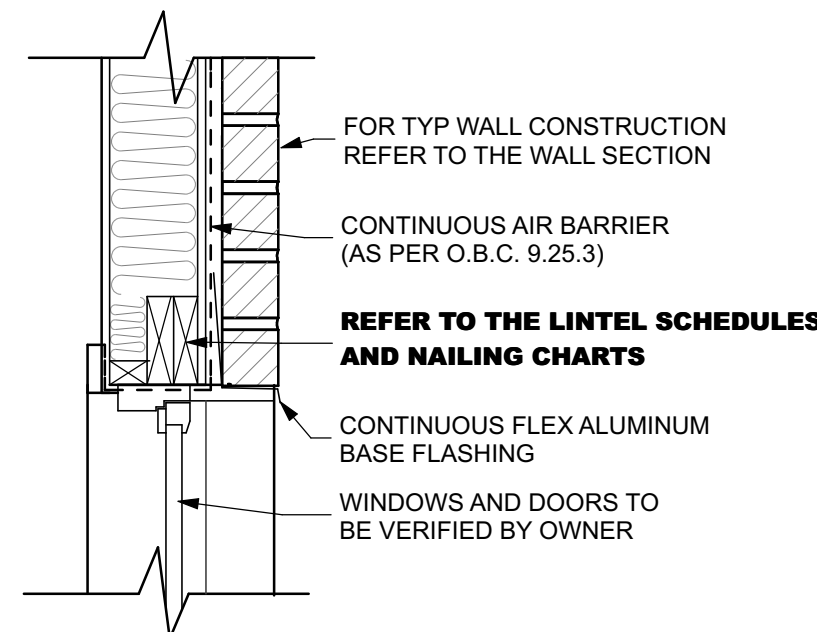
TITLE:
TYPICAL DETAILS



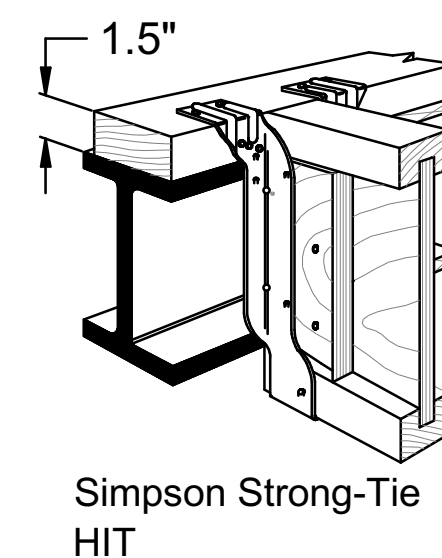
TYPICAL CONCRETE STAIR WALKOUT DETAIL
(NOT APPLICABLE UNLESS OTHERWISE NOTED)
SCALE: 3/8" = 1'-0"



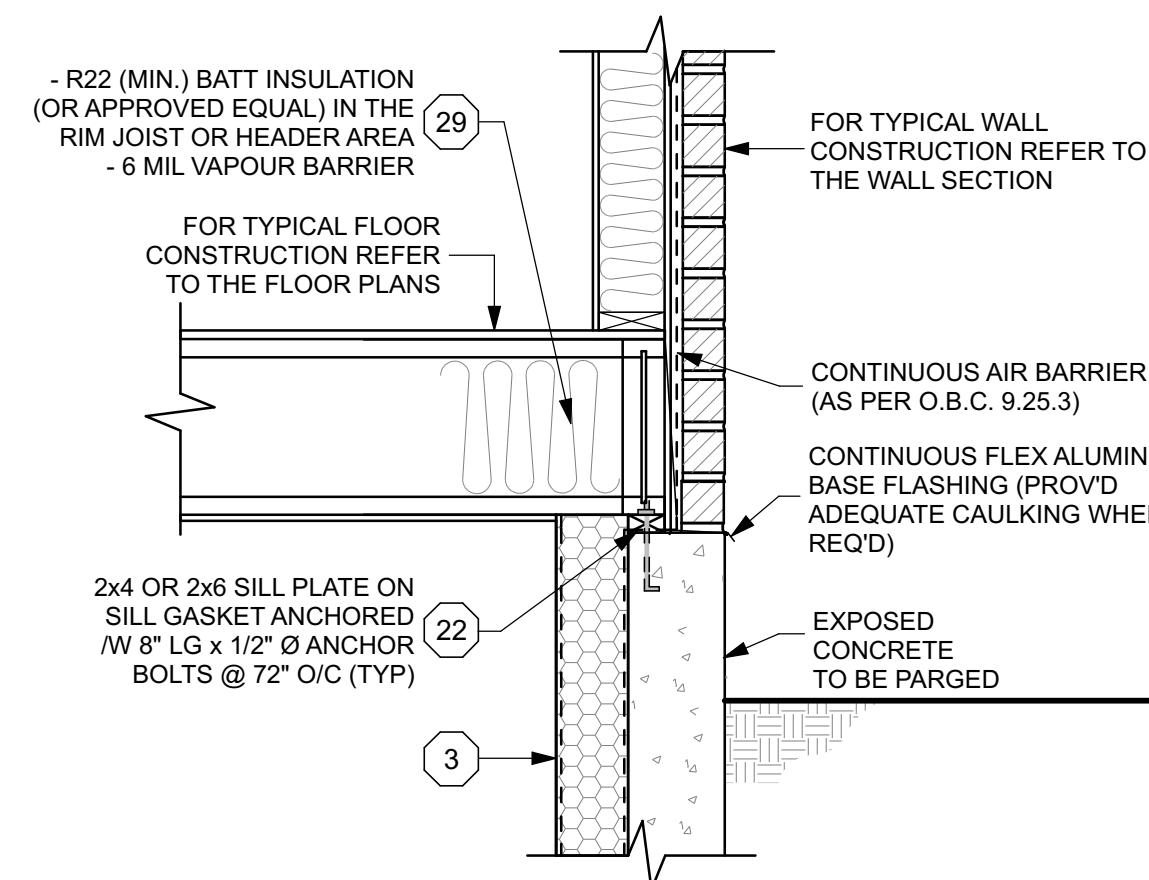
TYPICAL PORCH SLAB DETAIL
SCALE: 3/4" = 1'-0"



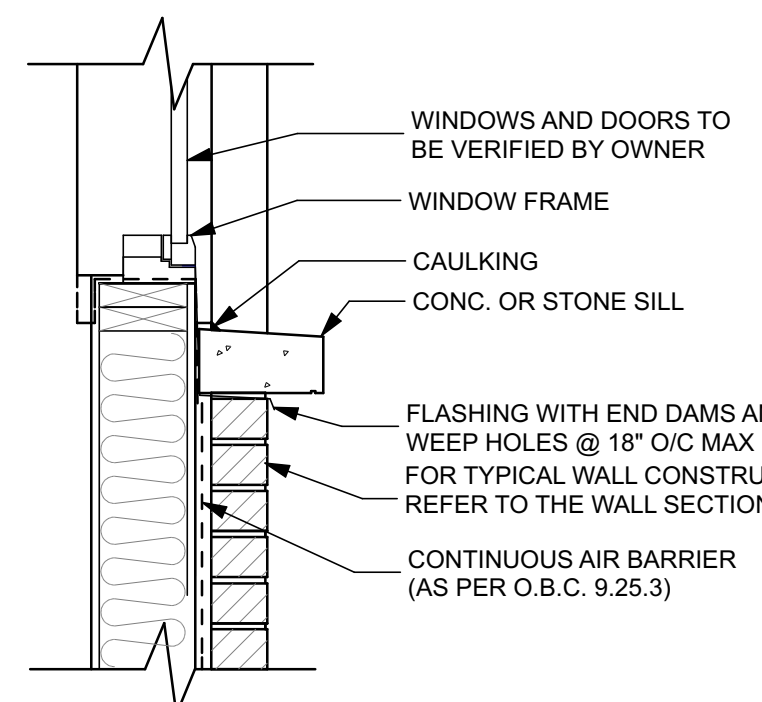
TYPICAL LINTEL DETAIL
SCALE: 1" = 1'-0"



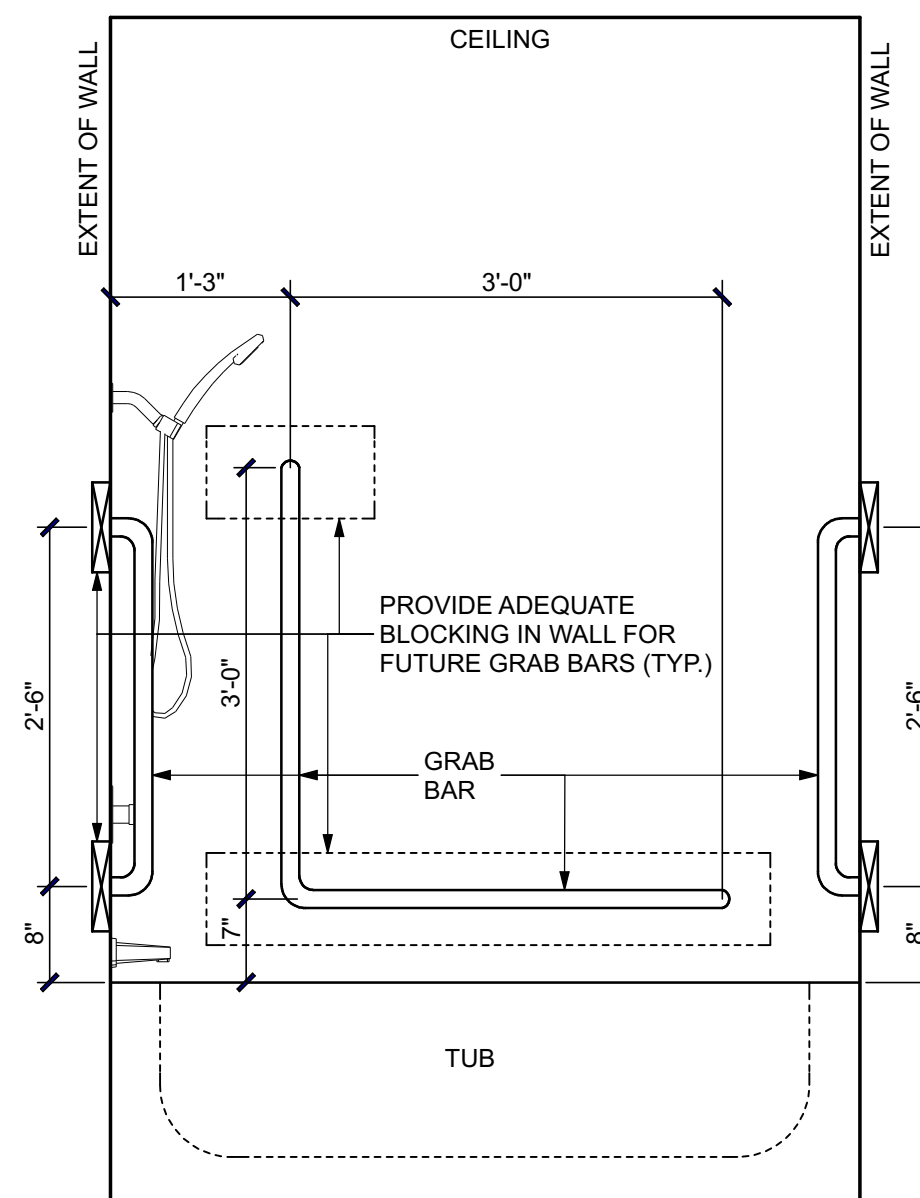
**TYPICAL JOIST TO FLUSH
BEAM CONNECTION DETAIL**
N.T.S.



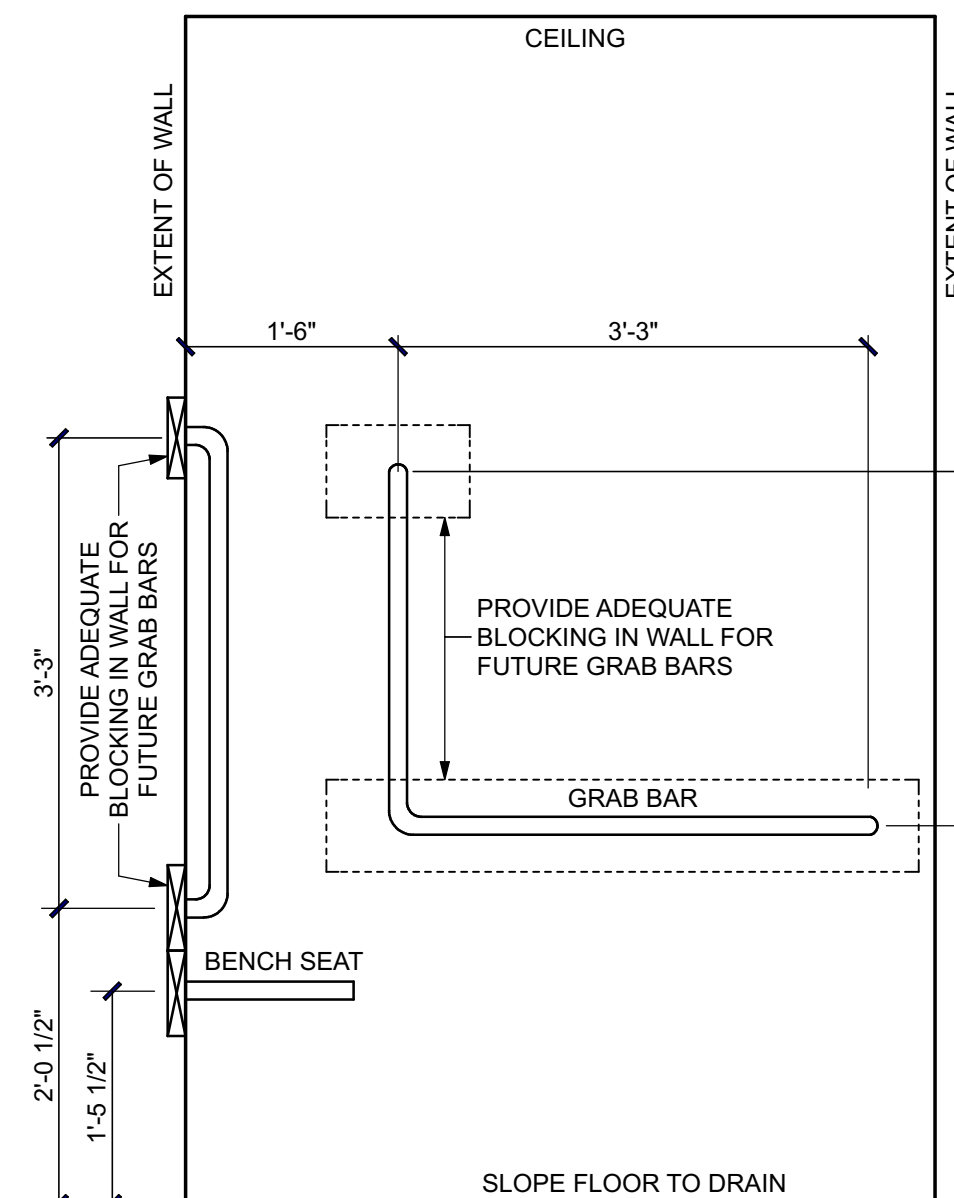
**TYPICAL JOIST TO FOUNDATION
CONNECTION DETAIL**
SCALE: 3/4" = 1'-0"



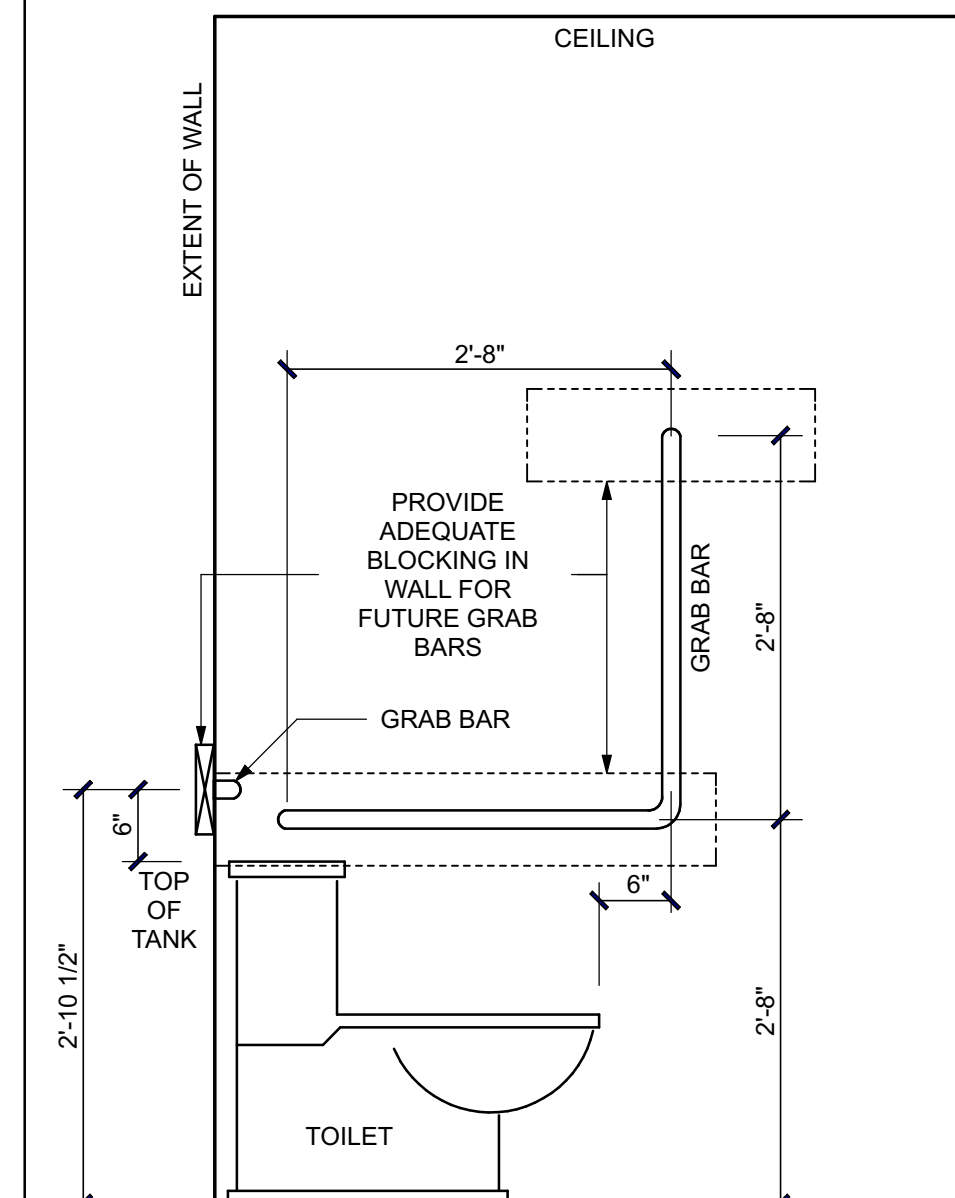
TYPICAL SILL DETAIL
SCALE: 1" = 1'-0"



**TYPICAL TUB
GRAB BAR DETAIL**
N.T.S.



**TYPICAL SHOWER
GRAB BAR DETAIL**
N.T.S.



**TYPICAL TOILET
GRAB BAR DETAIL**
N.T.S.

**GENERAL NOTES AND SPECS
GENERAL TRADE SPECIFICATIONS**

DIVISION 1 GENERAL REQUIREMENTS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE, ONTARIO REGULATION 43/01R INCLUDING ALL LATEST AMENDMENTS AS WELL AS ANY OTHER CODES OF PROVINCIAL OR LOCAL APPLICATION. AT ALL TIMES MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES OR REFERENCED DOCUMENTS.

AVOID SCALING DIRECTLY FROM THE DRAWINGS. IF THERE IS AMBIGUITY OR LACK OF INFORMATION, NOTIFY THE CONSULTANT ANY CHANGE THROUGH THE DISREGARDING OF THIS NOTICE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION.

VERIFY THAT ALL WORK, AS IT PROCEEDS, IS EXECUTED IN ACCORDANCE WITH DIMENSIONS WHICH MAINTAIN POSITIVE LEVELS, AND CLEARANCES TO ADJACENT WORK AS SET OUT BY REQUIREMENTS OF THE DRAWINGS. ENSURE THAT WORK INSTALLED IN ERROR IS RECTIFIED BEFORE CONSTRUCTION CONTINUES.

DIVISION 2 SITE WORK

REMOVE ALL TOPSOIL AND VEGETABLE MATTER TO A MINIMUM OF 4" DEEP AND 2'-0" BEYOND THE BUILDING'S PERIMETER.

EXCAVATE FOR FOUNDATIONS AND BUILDING SERVICES TO DEPTHS REQUIRED TO ALLOW FOR PROPER PLACEMENT OF THE WORK. ALL FOOTINGS TO EXTEND TO MINIMUM 4" BELOW FINISHED GRADES (OR AS NOTED ON PLANS) AND TO REST ON UNDISTURBED SOIL OR ROCK. EXCAVATIONS TO BE KEPT FREE FROM STANDING WATER.

THE BOTTOM OF EVERY EXTERIOR FOUNDATION WALL TO BE DRAINED BY DRAINAGE TILE OR PIPE LAID AROUND THE OUTSIDE EDGE OF THE FOOTING THE TOP AND SIDES OF THE DRAINAGE TILE TO BE COVERED WITH A CONTINUOUS 1/2" THICK LAYER OF CRUSHED STONE. FOUNDATION DRAINS TO DRAIN TO A SEWER, DRAINAGE DITCH OR DRY WELL BY GRAVITY DRAINAGE OR BY PUMPING.

AFTER THE CONSTRUCTION OF FOOTINGS, PITS, WALLS OR PIERS BACKFILL ALL EXCAVATIONS WITH EXISTING APPROVED GRANULAR MATERIALS TO WITHIN 5" OF UNDERSIDE OF CONCRETE SLAB AND WITHIN 6" OF UNDERSIDE OF NEW EXTERIOR FINISHED GRADES.

SLOPE ALL FINISHED GRADES AWAY FROM BUILDING, WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED AND ENSURE PROPER POSITIVE SURFACE DRAINAGE.

DIVISION 3 CONCRETE

CONCRETE FOR UNREINFORCED FOOTINGS AND FOUNDATION WALLS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AFTER 28 DAYS WITH ALL MINIMUM 4" SLUMP (20 1/2") STEPPED FOOTINGS TO HAVE A MINIMUM 2" HORIZONTAL DISTANCE BETWEEN STEPS. VERTICAL STEPS TO BE 2" MAXIMUM (SEE 8.15.3.0 B.C.) OTHER FOOTINGS SHALL BE 8" THICK MIN. AND MINIMUM 4" PROJECTION BEYOND FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED ON THE DRAWINGS. FOOTINGS TO ADEQUATELY SUPPORT ALL SUPERIMPOSED LOADS WITH A MINIMUM BEARING CAPACITY OF 2000 PSF. FOUNDATIONS WALLS TO EXTEND UP MINIMUM 6" ABOVE FINISHED GRADE. REDUCED FOUNDATION WALLS TO ALLOW BRICK FACINGS AND MAINTAIN LATERAL SUPPORT. THE MASONRY TO MINIMUM 4" WIDE X MAXIMUM 8" HIGH CONCRETE UPSTAND WITH DOVE TAIL MASONRY ANCHORS AT 8" O.C. VERTICALLY AND 3" O.C. HORIZONTALLY. FILL COLLAR JOINT SOLID WITH WEATHERING. PROVIDE 1/4" BRICK KEY AT TOP OF FOUNDATION WALL. PROVIDE 1/2" BRICK POCKETS (DENOTED ON PLANS) WHEREVER STEEL BEAMS BEAR ON THE CONCRETE FOUNDATION WALL.

CONCRETE FOR GARAGE SLABS, EXTERIOR STAIRS AND EXTERIOR PORCHES TO BE 32 MPa AT 28 DAYS WITH 3% - 7% AIR ENTRAINMENT. OTHER SLABS TO BE MINIMUM 28 MPa AT 28 DAYS. CONCRETE SLABS ON GRADE TO BE MINIMUM 3" THICK AND SET ON MINIMUM 6" CLEAR STONE FILL. GARAGE SLABS ON GRADE TO BE MINIMUM 4" THICK AND REINFORCED WITH 10M REBAR AT 2' O.C. LOCATED NEAR MID-DEPTH OF THE SLAB.

HABITABLE ROOMS ON CONCRETE SLAB TO BE DAMP-PROOFED WITH 6 MIL POLYETHYLENE BASEMENT OPENINGS (WINDOWS) GREATER THAN 3'-11" IN LENGTH OR CONTAINING OPENINGS MORE THAN 20% OF ITS LENGTH TO BE REINFORCED AS PER ENG. SPECS (2 - 8# RODS EXTENDS 12" ON EACH SIDE 4'-0" WINDOW).

DIVISION 4 MASONRY

BRICK & STONE VENEER CONSTRUCTION TO BE TIED BACK TO SOLID WOOD FRAMING MEMBERS WITH 17"x22 GAUGE, CORRUGATED CORROSION RESISTANT STRAPS AT 16" O.C. HORIZONTAL AND 24" O.C. VERTICAL.

PROVIDE WEEP HOLES SPACED AT 2'-0" OC. AT THE BOTTOM COURSE OF BRICK / STONE AND OVER ALL OPENINGS. PROVIDE 6 MIL BLACK REINFORCED POLYETHYLENE DAMPPROOF FLASHING EXTENDED UP 6" VERTICAL AT THESE LOCATIONS AND INSERT BEHIND SHEATHING PAPER.

MASONRY CORBELLING TO CONSIST OF SOLID UNITS WITH MAXIMUM 1" PROJECTION PER COURSE AND TOTAL PROJECTION NOT TO EXCEED 1/3 OF WALL THICKNESS.

DIVISION 5 METALS

STEEL PIPE COLUMNS TO BE A MINIMUM OUTSIDE DIAMETER OF 2" 7/8" AND A MINIMUM WALL THICKNESS OF 3/16" FITTED WITH A 4" X 4" X 3/16" STEEL PLATE AT EACH END. WHERE AREA OF SUPPORTED FLOOR EXCEEDS 200 SQ. FT. OR FOR TWO FLOORS OR MORE, THE STEEL PIPE COLUMN TO BE A MINIMUM OUTSIDE DIAMETER OF 3" 1/2" AND A MINIMUM WALL THICKNESS OF 1/8". WITHIN EACH END, THE STEEL PIPE COLUMN PLATE MAY BE OMITTED WHERE COLUMN SUPPORTS A STEEL BEAM BY WELDING, BOLTING OR OTHER APPROVED METHOD. BASE PLATES TO BE SECURED TO CONCRETE FOOTINGS WITH MINIMUM TWO 1/2" DIAMETER ANCHOR BOLTS PLACED MINIMUM 4" DEEP INTO FOOTING OR TO BE POURED IN PLACE WITH THE FLOOR SLAB.

ALL STEEL BEAMS REQUIRE MINIMUM 3/16" BEARING AND STEEL ANGLE LINETLS REQUIRE MINIMUM 6" BEARING. PROVIDE 7/16" SOLID MASONRY UNDER BEAMS OR COLLARS.

ALL STEEL COLUMNS, STEEL BEAMS AND STEEL ANGLE LINETLS TO BE SHOP PRIMED WITH ONE COAT OF RUST INHIBITIVE PAINT.

STEEL ANGLE LINTEL SCHEDULE - REFER TO LINTEL SCHEDULE

REFER TO LINTEL SCHEDULES

DIVISION 6 WOOD AND PLASTICS

ALL FLOOR JOISTS AND FRAMING LUMBER TO BE NO. 2 GRADE SPRUCE OR BETTER. ALL WOOD LINETLS OVER OPENINGS TO BE 2" OVER UNDER AND TOP OF JOIST UNLESS OTHERWISE NOTED. ALL LOAD BEARING WOOD STUD PARTITIONS TO HAVE DOUBLE TOP PLATE. STUDS NOT SHEATHING ON BOTH SIDES TO HAVE MID-GIRTS. PROVIDE DOUBLE STUDS AROUND INTERIOR AND TRIPLE STUDS AT CORNERS OF LOAD BEARING WOOD STUD PARTITIONS.

SILL PLATES TO BE 2x6 ON SILL PLATE GASKET (ETHAFORM) AND FASTENED ON TO TOP OF POURED CONCRETE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. AND EMBEDDED MINIMUM 4" INTO CONCRETE.

LOAD BEARING STUD WALLS PARALLEL TO FLOOR JOISTS TO BE SUPPORTED BY WALLS OR BEAMS OF SUFFICIENT STRENGTH TO SAFELY TRANSFER THE DESIGNED LOADS TO VERTICAL SUPPORTS. WALLS AT RIGHT ANGLES TO FLOOR JOISTS TO BE LOCATED AT MAXIMUM 2'-0" FROM THE JOIST SUPPORT IF SUPPORTING ONE OR MORE FLOORS UNLESS THE JOIST SIZE IS DESIGNED TO ACCOMMODATE SUCH LOADS.

INTERIOR WOOD BEARING WALLS IN BASEMENT TO BE 2x4 AT 16" ON 8 MIL POLYETHYLENE AND ANCHORED SECURELY THROUGH ASHRAU CODE TO CONCRETE FOOTING WITH 3/8" DIAMETER BOLTS AT 7'-0" OC. EXTERIOR STUDS TO BE 2x6 AT 16" ON AND INTERIOR WOOD STUD FIRST FLOOR TO BE 2x4 AT 16" OC. EXTERIOR AND INTERIOR WOOD STUD WALLS TO BE 2x4 AT 16" OC. INTERIOR WOOD STUD WALLS AT BASEMENT PERIMETER TO BE 2x4 AT 16" OC.

ALL NON-LOADBEARING WOOD STUD WALLS TO BE 2x4 AT 16" OC. PROVIDE RIBBON BOARDS MINIMUM 1x4 EACH SIDE OF STEEL BEAM FOR LATERAL SUPPORT.

JOISTS TO HAVE A MINIMUM 1 1/2" END BEARINGS WHEREAS WOOD BEAMS TO HAVE MINIMUM 5" END BEARINGS. JOISTS FRAMED INTO THE SIDE OF WOOD BEAMS TO BE SUPPORTED ON METAL JOISTS HANGERS. JOIST HANGERS ALSO ARE REQUIRED WHERE HEADERS, TRIMMERS AND DOUBLE JOISTS FRAME INTO THE SIDE OF OTHER MEMBERS. HEADER JOISTS TO BE DOUBLED WHERE THE JOIST LENGTH EXCEEDS 4'-0" IN LENGTH. HEADER JOISTS EXCEEDING 10'-0" IN LENGTH TO BE DETERMINED BY CALCULATION. TRIMMER JOISTS TO BE DOUBLED WHEN LENGTH OF HEADER JOISTS EXCEEDS 8'-0". WHEN HEADER JOIST LENGTH EXCEEDS 8'-0" THE SIZE OF TRIMMER JOISTS TO BE DETERMINED BY CALCULATION. PROVIDE FRAMING OR SOLID BLOCKING AS REQUIRED FOR PROPER LOAD TRANSFER OR POINT LOADS FROM ABOVE.

PROVIDE DOUBLE JOISTS UNDER ALL NON-LOADBEARING PARTITIONS OVER 8'-0" IN LENGTH PARALLEL TO FLOOR JOIST WHEN SUCH PARTITIONS CONTAIN NO FULL HEIGHT OPENINGS THE JOISTS DO NOT NEED TO BE DOUBLED. DOUBLE JOISTS CAN BE SEPARATED BY MAXIMUM 2'-0" FROM THE JOIST SUPPORT IF SUPPORTING ONE OR TWO O.C. CANTILEVERED FLOOR JOIST SUPPORTING ROOF LOADS TO EXTEND INWARD AWAY FROM THE CANTILEVERED SUPPORT FOR A DISTANCE EQUAL TO AT LEAST 8 TIMES THE LENGTH OF THE CANTILEVER. JOISTS AND BEAMS TO BE STAGGERED MINIMUM 4" AT PARTY WALL.

ALL BRIDGING TO BE 2x2 WOOD CROSS BRACING OR SOLID WOOD BLOCKING AT 6'-10" OC. WHERE CLEAR SPAN OF FLOOR JOIST IS WITHIN 18'-0" OF MAXIMUM SPAN PERMITTED PROVIDE BRIDGING AT 4'-0" OC.

TYPICAL FLOOR CONSTRUCTION TO CONSIST OF FINISHED FLOORING ON 5/8" TONGUE AND GROOVE HEATED WOOD FLOOR JOISTS AS INDICATED ON DRAWINGS. PROVIDE MORTAR SCRATCH COAT ON SHEATHING AT LOCATIONS WHERE CERAMIC TILE IS USED ON FLOORS.

TYPICAL ROOF CONSTRUCTION TO CONSIST OF 215 LB. ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING WITH H/4" EDGE SUPPORTS ON PRE-ENGINEERED WOOD TRUSSES AT 2'-0" OC. BOTTOM CHORD OF TRUSSES TO BE DESIGNED TO SUPPORT CEILING LOADS. TRUSS MANUFACTURER TO CHECK AND VERIFY THAT THE LOADING AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE WITH THE LOCAL CONDITIONS AND REQUIREMENTS. TRUSS MANUFACTURER TO NOTIFY CONSULTANTS OF ANY DISCREPANCIES THAT MAY BE IDENTIFIED. PROVIDE MINIMUM 2x4 TRUSS BRACING AT 7'-0" OC AT BOTTOM CHORD OR AS PER MANUFACTURERS DESIGN.

INTERIOR STAIRS TO HAVE A MAXIMUM RISE OF 7". A MINIMUM RUN OF 8" 1/4". AND A MINIMUM TREAD WIDTH OF 11". BASEMENT STAIRS TO BE 8" WIDE ROUGH STUD OPENING. STAIR FROM FIRST FLOOR TO SECOND FLOOR TO BE 3'-11" FROM ROUGH STUD FACE TO EXPOSED FACE OF STRINGER. INTERIOR STAIR HEADROOM TO BE 7'-0" MINIMUM. EXTERIOR STAIR HEADROOM TO BE MINIMUM 6'-0". ONLY ONE SET OF WINDERS ARE ALLOWED BETWEEN FLOORS WITH AN INDIVIDUAL WINDER TREAD OF 30 DEGREES AND MAXIMUM TUMBLER OF 90 DEGREES. LANDING TO BE AS LONG AS THE STAIR WIDTH.

HANDRAILS WITHIN THE DWELLING UNIT TO BE 2'-8" HIGH ABOVE THE NOSING. GUARDRAILS WITHIN THE DWELLING UNIT TO BE 3'-0" HIGH ABOVE THE NOSING. EXTERIOR BALCONY GUARDRAILS TO BE 3'-8" HIGH ABOVE FINISHED BALCONY LEVEL. PROVIDE MAXIMUM 4" SPACE BETWEEN VERTICAL PICKETS AND NO HORIZONTAL MEMBERS BETWEEN 1" OR 3'-0" ABOVE NOSING OR BALCONY LEVEL.

PROVIDE ONE 3/4" THICK X 1/2" WIDE WOOD SHELF COMPLETE WITH COAT ROD AND BRACKETS AS REQUIRED AT EACH CLOTHES CLOSET LOCATION. PROVIDE FIVE 3/4" THICK X 1/2" WIDE WOOD SHELVES AT ALL LINEN CLOSET LOCATIONS.

DIVISION 7 THERMAL AND MOISTURE PROTECTION

CONCRETE FOUNDATION WALLS TO HAVE ALL EXTERIOR TIE HOLES AND RECESSES SEALED WITH MORTAR OR WATERPROOFING MATERIALS. CONCRETE FOUNDATION WALLS TO BE DAMP-PROOFED WITH 6 MIL POLYETHYLENE DAMPPROOF FLASHING. PROVIDE DAMP-PROOFING OVER ALL FOOTING AND OBSTRUCTIONS TO PROVIDE WATERPROOF JUNCTION.

PROVIDE SUITABLE FIRE STOPS FOR ALL CONCEALED AREAS AT FLOOR, CEILING, ROOF, LINES AND AT STAIRS, CLEARANCES OR GAS VENTS AND THE ADJOINING CONSTRUCTION WHICH ALLOW AIR LEAKAGE AND HEAT LOSS FROM WITHIN THE BUILDING INTO THE ADJACENT ROOF SPACE IS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL.

PROVIDE THE FOLLOWING MINIMUM THERMAL RESISTANCE VALUES THROUGHOUT THE BUILDING CONSTRUCTION:
- CEILING BELOW AN ATTIC OR ROOF SPACE (R8)
- EXTERIOR WOOD FRAMED WALLS ABOVE FINISHED GRADE (R22)
- CONCRETE FOUNDATION WALL (R20 g)

PERIMETER INSULATION FOR FOUNDATION WALLS ENCLOSING HEATED AREAS SHALL BE CONTINUOUS R20 BLANKET INSULATION (OR APPROVED EQUAL) COMPLETE WITH INTEGRAL 6 MIL POLYETHYLENE VAPOUR RETARDER.

WALL AND CEILING INSULATION TO BE PROTECTED BY 6 MIL TYPE 1 VAPOUR RETARDANT INSTALLED IN SUCH A MANNER THAT ALL JOINTS COVERED BY WATER FRAMING MEMBERS AND ARE LAPPED MINIMUM 4". ALL PERFORATIONS THROUGH THE VAPOUR RETARDANT TO BE INSTALLED IN SUCH A MANNER THAT THE SLOPE OF THE RETARDANT IS TO BE TIGHTLY SEALED USING CAULKING, TAPE OR OTHER APPROVED METHODS OF SEALING IN ORDER TO MAINTAIN THE INTEGRITY AND CONTINUITY OF THE VAPOUR RETARDANT IN THE BUILDING CONSTRUCTION.

EXPPOSED FLASHING TO BE 0.017 GALVANIZED STEEL, 0.014 COPPER, 0.019 2NC OR 0.011 ALUMINUM. CONCEALED FLASHING TO BE F-20 BY LEXUSCO CANADA, LTD. OR TYPE 'S' ROLL ROOFING. FLASHING TO BE INSTALLED AT THE FOLLOWING LOCATIONS:
- AT EVERY HORIZONTAL JUNCTION BETWEEN EXTERIOR FINISHES EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH
- OPENINGS IN EXTERIOR WALLS WHEN VERTICAL DISTANCE BETWEEN TOP OF OPENING AND BOTTOM OF FINISH EXCEEDS 14" OF HORIZONTAL EAVE OVERHANG
- BENEATH SANDSTONE AND JOINTED MASONRY WINDOW SILLS
- BENEATH SANDSTONE AND JOINTED MASONRY WINDOW SILLS
- MINIMUM 2" O.C. WIDE WITH LAYER OF #15 ROOFING PAPER OR FELT UNDERLAY, OR TWO LAYERS OF ROLL ROOFING, BOTTOM LAYER 55 LB. MINIMUM NOT LESS THAN 18" WIDE AT EAVE PROTECTION AT ALL ROOF EDGES AND EXTEND TO A LINE NOT LESS THAN 12" ABOVE THE FINISH GRADE.

ROOF EAVE TO BE FINISHED WITH PRE-FINISHED ALUMINUM EAVES TROUGH, FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF.

ROOF SPACE VENTILATION TO BE 1/200 OF INSULATED AREA FOR ROOF SLOPES GREATER THAN 2 IN 12 AND 1/150 OF INSULATED AREA FOR ROOF SLOPES LESS THAN 2 IN 12 OR ANY ROOF WHERE AN INTERIOR FINISH IS APPLIED TO THE UNDERSIDE OF THE ROOF RAFTERS. NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WHERE CONTINUOUS RIDGE AND EAVE VENTILATION IS REQUIRED. ALL VENTILATION OPENINGS TO BE PROTECTED FROM THE WEATHER AND INSECTS. VENTS TO BE CONSTRUCTED OF RUST PROOF MATERIAL.

ROOF EAVE TO BE FINISHED WITH PRE-FINISHED ALUMINUM EAVES TROUGH, FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF. PROVIDE ONE PRE-FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF ROOF.

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PROVIDE TYPE 'S' ROLL ROOFING OR DOUBLE LAYER OF NO. 15 ASPHALT SATURATED FELTS AS EAVE PROTECTION AT ALL ROOF EDGES AND EXTEND TO A LINE NOT LESS THAN 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL.

ALL PENETRATIONS AND JOINTS BETWEEN HEATED AND UNHEATED SPACES SHALL ADEQUATELY SEALED WITH CAULKING OR APPROVED EQUAL, INCL. BUT NOT LIMITED TO, ALL JOINTS BETWEEN FLASHING AND TRUSSES, AT SILL PLATES, WHERE THE SLAB MEETS THE FDN WALL AT WINDOWS & DOORS, ATTIC ACCESSES, VENTS, PLUMBING AND ELECTRICAL PENETRATIONS, AND INTERIOR TO EXTERIOR WALLS.

DIVISION 8 DOORS AND WINDOWS

WINDOW SIZES AND TYPES TO BE AS DENOTED ON PLANS. WINDOWS TO BE DOUBLE GLAZED OR TO INCLUDE REMOVABLE STORM WINDOWS IN ORDER TO MINIMIZE HEAT LOSS AND AIR INFILTRATION. MINIMUM SIZE OF TRANSPARENT OPENINGS FOR HABITABLE ROOMS SHALL BE AS FOLLOWS: 20 SQ. FT. OR FOR TWO FLOORS TO BE 1% OF APPLICABLE FLOOR AREA. AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL WINDOW OPERATING MECHANISM. WINDOW OPERATING MECHANISM TO BE 1% OF APPLICABLE FLOOR AREA. AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL WINDOW OPERATING MECHANISM. WINDOW OPERATING MECHANISM TO BE 1% OF APPLICABLE FLOOR AREA. AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL WINDOW OPERATING MECHANISM. WINDOW OPERATING MECHANISM TO BE 1% OF APPLICABLE FLOOR AREA.

DOOR SIZES AND TYPES TO BE AS DENOTED ON PLANS. MAIN ENTRANCE DOOR TO HAVE A THUMB TURN LOCK SET WHICH ALLOWS OPENING THE DOOR FROM THE INSIDE WITHOUT A KEY. ALL GLASS IN SIDE LIGHTS GREATER THAN 20" IN SLIDING PATIO DOORS AND IN STORM DOORS TO BE LAMINATED OR EMERALD SAFETY GLASS. THE DOOR BETWEEN THE GARAGE AND HABITABLE AREAS TO BE A SOLID CORE EXTERIOR TYPE WITH A SELF-CLOSING MECHANISM AND TIGHT FITTING WEATHER STRIPPING TO PROVIDE AN EFFECTIVE BARRIER AGAINST GAS AND EXHAUST FUMES. PROVIDE A MIN 6" HIGH STEP AT THIS DOOR.

PROVIDE ACCESS HATCHES TO CRAWL SPACES OR ATTICS WITH ROOF SPACES MORE THAN 2'-0" HIGH. ACCESS HATCH OPENING TO BE A MINIMUM 20"x28", AND FITTED WITH DOORS OR COVERS THAT ARE INSULATED AND WEATHER STRIPPED.

ALL WINDOWS SHOWN ON DRAWINGS TO BE AS MANUFACTURED BY PELLA WINDOWS OR AN APPROVED EQUAL.

TYPE: METAL CLAD CASEMENT OR AS NOTED

DIVISION 9 FINISHES

SOUND TRANSMISSION CLASSIFICATION RATINGS BETWEEN DWELLING UNITS TO BE MINIMUM AS FOLLOWS: PLUMBING SPREAD RATING OR INTERIOR FINISHES TO BE 150 MAXIMUM OR 200 MAXIMUM WHEN P.O.C. DETECTORS ARE INSTALLED.

FINISHED FLOORING IN BATHROOMS, LAUNDRY ROOMS, ENTRANCES, GENERAL STORAGE AREAS AND KITCHENS TO BE RESILIENT TYPE PROVIDING WATER RESISTANCE. REFER TO CONTRACT SCHEDULE.

ALL EXTERIOR HOLDINGS, TRIMS, PEDIMENTS, PILASTERS, ETC. TO BE AS SUPPLIED BY PENINSULA ARCHITECTURAL DETAILS INC. OR APPROVED EQUAL.

DIVISION 10 SPECIALTIES

LOCATION OF WATER METER AND GAS METER TO BE IN ACCORDANCE WITH THOSE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

DUCTWORK IN ATTIC OR ROOF SPACES TO HAVE ALL JOINTS TAPED AND SEALED TO ENSURE THAT DUCTS ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

DIVISION 11 EQUIPMENT

RANGES AND SPACES HEATING UNITS SHALL COMPLY TO CONFORM TO UNDERWRITERS LABORATORIES OF CANADA TEST 9827-M1983 STANDARDS FOR SPACE HEATERS FOR USE WITH SOLID FUELS.

DIVISION 13 SPECIAL CONSTRUCTION

DIVISION 15 MECHANICAL

LOCATION OF WATER METER AND GAS METER TO BE IN ACCORDANCE WITH THOSE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

DUCTWORK IN ATTIC OR ROOF SPACES TO HAVE ALL JOINTS TAPED AND SEALED TO ENSURE THAT DUCTS ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

PROVIDE MINIMUM OF 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA FOR EVERY 50 SQ. FT. OF FLOOR AREA IN CRAWL SPACES AND BASEMENTS. PROVIDE MINIMUM 3 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN FINISHED OR HABITABLE AREAS. PROVIDE MINIMUM 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN BATHROOMS. PROVIDE MECHANICAL VENTILATION WITH MINIMUM ONE AIR CHANGING DEVICE PER HOUR. DISCHARGE EXHAUST DIRECTLY TO OUTDOORS AND PROVIDE BACK FLOW DAMPERS AT DUCT END OR FAN.

METAL CHIMNEYS AND VENTS TO BE U.L. LABELED, CLASS B FOR GAS-FIRED FURNACES. A CLASS B CHIMNEY NOT SUPPORTED ON A FOUNDATION IS NOT TO BE SUPPORTED ON NON-COMBUSTIBLE MATERIAL AND THE SUPPORT IS TO BE INDEPENDENT OF THE APPLIANCE IT SERVES.

DIVISION 16 ELECTRICAL

LOCATION OF HYDRO METER AND ELECTRICAL PANEL TO BE IN ACCORDANCE WITH THE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

PROVIDE 3 WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAYS EXCEPT AT THE END OF A STAIRWAY. PROVIDE SEPARATE THREE WAY CIRCUIT WITH TWO OTHER OUTLET CONNECTIONS TO EACH DYER RECEPTACLE, STOVE RECEPTACLE AND AT LEAST TWO OTHER CONNECTIONS TO EACH KITCHEN. TWO OF THE KITCHEN RECEPTACLES MUST BE INSTALLED ABOVE THE COUNTER LEVEL.

ELECTRICAL SWITCHES, RECEPTACLES, ETC. ON OPPOSITE SIDES OF DEMISING WALL TO BE STAGGERED. ALL WALL MOUNTED EQUIPMENT (I.E. ELECTRICAL SERVICE PANELS) TO BE INSTALLED IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE DEMISING WALL FIRE SEPARATION.

PRODUCTS OF COMBUSTION DETECTORS TO BE A SINGLE STATION ALARM TYPE SUCH AS AN IONIZATION P.O.C. DETECTOR OR A SPOT TYPE PHOTO ELECTRICAL SMOKE DETECTOR WHICH IS U.L.C. LABELED AND LISTED. DETECTORS TO BE EQUIPPED WITH A VISUAL AND AUDIBLE ALARM. DETECTORS THAT ARE OPERATIONAL. DETECTORS TO BE PERMANENTLY LOCATED TO A JUNCTION BOX OR STANDARD ELECTRICAL OUTLET ON THE CEILING. DETECTORS TO BE PERMANENTLY LOCATED TO THE CEILING BETWEEN THE BEDROOMS OR SLEEPING AREAS AND THE REMAINDER OF THE DWELLING UNIT, SUCH AS INDICATED ON THE DRAWINGS. THE DETECTOR TO HOUSE AN ALARM THAT IS A DISTANT SET OF WINDERS ARE ALLOWED BETWEEN FLOORS WITH AN INDIVIDUAL WINDER TREAD OF 30 DEGREES AND MAXIMUM TUMBLER OF 90 DEGREES. LANDING TO BE AS LONG AS THE STAIR WIDTH.

NOT LESS THAN 20% OF THE PARKING SPACES SHALL BE PROVIDED WITH THE REQUIREMENTS OUTLINED IN THE BUILDING CODE (O.B.C. DIV. 8.34.4) FOR THE FUTURE.
- ENG. TO VERIFY WHEN ANCHORED TO A WALL WITH AN EXTERIOR MASONRY FINISH, REFER TO INCLUDED DETAIL.
- NOT LIMITED TO GARAGE, CARPORT, ADJACENT TO THE DRIVEWAY.
- A MINIMUM 200 AMP PANELBOARD.
- A CONDUIT FROM THE PANELS TO THE PARKING SPACE.
- AN ELECTRICAL BOX IN THE PARKING SPACE.

TYPICAL NOTE SCHEDULE

2) FOOTINGS:
A) 20"x6" CONCRETE FOOTING (20 MPa) ALL SHOULD BEAR ON UNDISTURBED SOIL.
B) 22"x6" CONCRETE FOOTING (20 MPa)
C) 24"x6" CONCRETE FOOTING (20 MPa)

3) INSULATION AROUND INTERIOR PERIMETER OF WALLS BELOW GRADE:
A) - R10 INSULATION (2" RIGID OR APPROVED EQUAL) CONTINUOUS WITH NO THERMAL BREAK
- 2x4 STUDS @ 16" O/C WITH R12 (MIN.) BATT (OR APPROVED EQUAL)
- 1/2" DRYWALL FINISH ON INTERIOR SIDE. OR
B) R20 (MIN.) BLANKET INSULATION (OR APPROVED EQUAL) BELOW GRADE
- CONTINUOUS WITH NO THERMAL BREAK
- IF FINISHING INTERIOR REFER TO NOTE "W11: BASEMENT EXTERIOR WALL STRAPPING"

4) 4" CONCRETE SLAB (20 MPa) ON 6" CRUSHED STONE COMPACTED ON UNDISTURBED SOIL (MIN.)
5) 6" REINFORCED CONCRETE SLAB (32 MPa)
- 10M REBAR @ 8" O/C BOTHWAYS (REFER TO O.B.C. DIV. 8.39.3)
- PROVIDE 3" BEARING (MIN.) & ANCHORED TO WALLS WITH 2x4"x24" 10M BENT DOWELS NOT SPACED MORE THAN 24" O/C

6) 5" CONCRETE SLAB ON GRADE (32 MPa) (GARAGE)
- 6"x6" #6 WELDED WIRE MESH
- 8" CLEAR CRUSHED STONE
- REMOVE TOPSOIL PER O.B.C. DIV. 8.9.12.1.1.
- SLOPE TO GARAGE DOOR

7) 5" CONCRETE SLAB ON GRADE (32 MPa)
- 6"x6" #6 WELDED WIRE MESH
- 4" (MINIMUM) CLEAR CRUSHED STONE
- REMOVE TOPSOIL PER O.B.C. DIV. 8.9.12.1.1.

8) BLOCKING BETWEEN STUDS FOR FUTURE INSTALLATION OF GRAB BARS FOR WATER CLOSETS, BATHTUBS AND SHOWERS (O.B.C. DIV. 8.9.2.3.1 (1))
- IF NO WALL IS PRESENT DUE TO DESIGN CONSTRAINTS THEN LEAVE SPACE FOR INSTALLATION OF A FUTURE WALL FOR THE GRAB BAR
- REFER TO TYPICAL DETAILS

10) PROVIDE GALVANIZED STEEL WINDOW WELL WITH ADEQUATE DRAINAGE WHERE REQUIRED

11) DEPRESS CONCRETE FOR OPENING ABOVE (REFER TO PLAN FOR SIZE)

12) DEPRESS CONCRETE FOUNDATION WALL FOR CONCRETE STAIR BEARING - REFER TO TYPICAL CONCRETE STAIR WALKOUT DETAIL WHEN APPLICABLE

14) SUMP PUMP (SITE VERIFY LOCATION)
- PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION

15) PROVIDE SLEEVE FOR SUMP DISCHARGE

16) 4" WEeping TILE WITH 6" (MINIMUM) GRANULAR STONE COVER

17) PRE-FINISHED AIR VENT(S) WITH RAIN & INSECT SCREEN

18) 4" FLOOR DRAIN WITH COVER (SITE VERIFY LOCATION)
- PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION

21) 4" DEEP BEAM POCKET (GROUTED)
- SITE VERIFY WIDTH AND HEIGHT TO SUIT BEAM

24) 2x4 or 2x6 SILL PLATE ON SILL GASKET ANCHORED WITH 8" LONG X 1/2" Ø ANCHOR BOLTS @ 72" O/C

FLOOR CONSTRUCTION:
- 5/8" TONGUE & GROOVE PLYWOOD SUBFLOR ON GUELD AND SCREWED TO FLOOR JOISTS
- 6 MIL POLY VAPOUR BARRIER (TO THE TOP OF THE ADJOINING WALL ASSEMBLIES)
- FLOOR JOISTS (REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS)
- R32 (MIN.) INSULATION (BATT OR APPROVED EQUAL) (SPRAY FOAM RECOMMENDED)
- AIR BARRIER (CONCRETE WALLS AND TIED INTO ADJOINING WALL/FLOOR ASSEMBLIES)
- 1x3 STRAPPING @ 16" O/C
- PRE-FINISHED ALUMINUM SOFFIT

26) PRE-FINISHED AIR VENT(S) WITH RAIN & INSECT SCREEN

27) CANTILEVERED FLOOR IN LODES ABOVE
- GASPROOF INSULATE AT OUTSIDE ABOVE
- FOR ADDITIONAL BEARING FRAME 2x4 WALL UNDER CANTILEVERED FLOOR & PROVIDE 6" THICKENED SLAB

29) PROVIDE R22 (MIN.) BATT INSULATION (OR APPROVED EQUAL) IN THE RIM JOIST OR HEADER AREA (REFER TO O.B.C. SB-12, 3.1.1.1.(14)) AND 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. 8.9.2.5.4) ON WARM SIDE OF INSULATION

30) EXPOSED FLOOR SYSTEM:
- 5/8" TONGUE & GROOVE PLYWOOD SHEATHING
- 6 MIL POLY VAPOUR BARRIER (TO THE TOP OF THE ADJOINING WALL ASSEMBLIES)
- FLOOR JOISTS (REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS)
- R32 (MIN.) INSULATION (BATT OR APPROVED EQUAL) (SPRAY FOAM RECOMMENDED)
- AIR BARRIER (CONCRETE WALLS AND TIED INTO ADJOINING WALL/FLOOR ASSEMBLIES)
- 1x3 STRAPPING @ 16" O/C
- PRE-FINISHED ALUMINUM SOFFIT

31) OPTIONAL REQUIREMENTS FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING
NOT LESS THAN 20% OF PARKING SPACES (IN A GARAGE, CARPORT OR ADJACENT TO THE DRIVEWAY) SHALL HAVE THE FOLLOWING INSTALLED:
- CONDUIT DIRECT FROM THE ELECTRICAL PANEL INTO THE PARKING AREA THAT IS NOT LESS THAN 1" TRADE SIZE AND IS EQUIPPED WITH THE MEANS TO ALLOW CABLES TO BE PULLED THROUGH
- AN ELECTRICAL OUTLET BOX IN THE PARKING AREA THAT IS 4-11/16" TRADE SIZE

BOTH SHALL:
- PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST AND BE INSTALLED IN ACCORDANCE WITH ELECTRICAL CODES

BRICK OR STONE SKIRT:
- BRICK OR STONE SKIRT WALL (REFER TO PLAN FOR HEIGHT) WITH 4" CONCRETE OR STONE SILL
- PROVIDE 3/8" IF AGAINST A WALL OR 4/2" IF GUARD REQUIRED
- REFER TO "WB" WALL CONSTRUCTION (BRICK/STONE)" NOTE FOR TYPICAL CONSTRUCTION

HANDRAIL AND/OR GUARD AT STAIRS OR RAMP
- WHERE SIDE IS PROTECTED BY WALL REFER TO O.B.C. DIV. 8.9.8.7 FOR HANDRAIL REQUIREMENTS
- OTHERWISE REFER TO O.B.C. DIV. 8.9.8.8 FOR GUARD REQUIREMENTS
- HEIGHT: 36" IF AGAINST A WALL OR 42" IF GUARD REQUIRED
- PROVIDE 2" CLEARANCE FROM WALL WITH NO MORE THAN 4" PROJECTED INTO REQUIRED STAIR WIDTH

GUARD (RAILING OR HALF WALL - REFER TO PLAN) (O.B.C. DIV. 8.9.8.8)
- MINIMUM 42" HEIGHT
- NO OPENING IN RAILING/GUARD CAN PERMIT THE PASSAGE OF A SPHERICAL OBJECT 4" Ø OR LARGER
- NO MEMBER OF THE RAILING BETWEEN 5" AND 36" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE DESIGNED TO FACILITATE CLIMBING