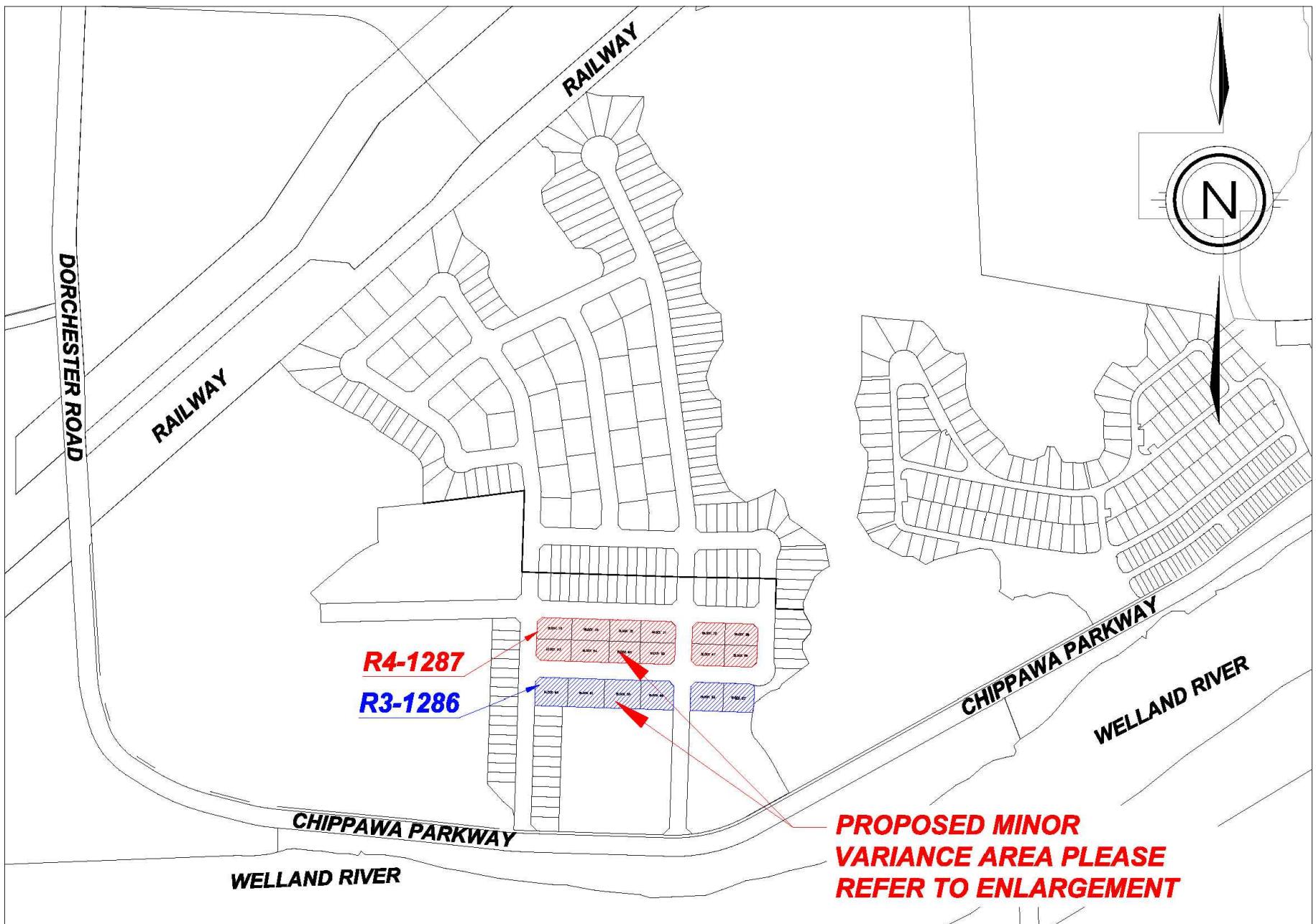


THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA TOWNHOMES DEVELOPMENT WITH A.D.U.

RIVERFRONT PHASE 2 PLAN OF SUBDIVISION:
PARCEL R4-1287 [BLOCK-63 TO 74] &
PARTIAL PARCEL R3-1286 [BLOCK-57 TO 62],
NIAGARA FALLS, ONTARIO



KEY MAP : N.T.S.

ZONING & SITE STATISTICS

CURRENT ZONE:		R4-1287 (By-law No. 2025-057 - AM-2024-027) BLOCK 63 TO 74 (M-PLAN PHASE 2)		
	DESCRIPTION	REQUIRED	PROPOSED SITE SPECIFICATION	COMPLY

5.(b)	The permitted uses shall be:	For Parcel R4-1287, the uses permitted in the R4 zone and on-street townhouse dwellings		
7	The regulations governing the permitted uses on Parcel R4-1287 shall be:			
(a)	Minimum lot area			
	i. For an on-street townhouse dwelling	137 square metres for each dwelling unit	172.43 square metres (Block-70-B)	YES
(c)	Minimum rear yard depth			
	i. For an on-street townhouse dwelling	4 metres	4.11 metres	YES
(f)	Maximum lot coverage			
	i. For an on-street townhouse dwelling	56%	55.71%	YES
(h)	Number of dwellings on one lot	More than one dwelling on one lot/block	One dwelling unit + One A.D.U.	YES
(i)	Minimum number of parking spaces	1.25 parking space for Primary Unit 97.5 (78X1.25)	98 (78 Garage + 20 Surface)	YES
	1 parking space for A.D.U.	78 (78X1.00)	136 (136 Surface)	
(l)	Maximum width of driveway or parking area in the front yard of a lot			
	i. For a back-to-back townhouse dwelling	Notwithstanding section 4.19.3 (c) of By-law No. 79-200, 50% of the land unit frontage or 6 metres, whichever is less	75.00%	NO
(m)	Minimum yard width or yard depth for a deck from a street or block line			
	i. For a back-to-back townhouse dwelling	0.5 metres	2.54 metres	YES
(n)	Maximum projection of sills, belt courses, cornices, chimney breasts, bay windows, pilasters and similar architectural features and window air conditioning units			
		N/A	N/A	
(o)	Maximum projection of a deck, stairs or roofed-over one storey porch into a required exterior side yard	2.5 metres	N/A	N/A
(p)	The balance of the regulations specified in section 7.8.2 of By-law No. 79-200 for an on-street townhouse.			
7.8.2 (b)	Minimum lot frontage	6 metres for each dwelling unit	7.5 metres (24.61ft.)	YES
7.8.2 (c)	Minimum front yard depth			
	(i) for a dwelling or dwelling unit	3 metres plus any applicable distance specified in section 4.27.1	N/A	N/A
	(ii) for a private garage with driveway access from the front yard	6 metres plus any applicable distance specified in section 4.27.1	6 metres	YES
7.8.2 (e)	Minimum interior side yard width	1.2 metres	1.2 metres	YES
7.8.2 (f)	Minimum exterior side yard width			
	(i) for a dwelling or dwelling unit	3 metres plus any applicable distance specified in section 4.27.1	3.15 metres	YES
	(ii) for a private garage with driveway access from the exterior side yard	6 metres plus any applicable distance specified in section 4.27.1	N/A	N/A
7.8.2 (h)	Maximum height of building or structure	10 metres subject to section 4.7	~ 12 metres	NO
7.8.2 (m)	Minimum landscaped open space	25% of the lot area	22.00%	NO
(q)	For all other permitted uses, the balance of regulations specified for an R4 use.			
7.9.2 (n)	Minimum privacy yard depth for each townhouse dwelling unit, as measured from the exterior rear wall of every dwelling unit (2008-148)	7.5 metres	8.23 metres	YES

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DRAWING LIST

DWG. NO.	TITLE
A-1.0	COVER SHEET
A-2.0	SITE PLAN
A-3.0	ELEVATIONS

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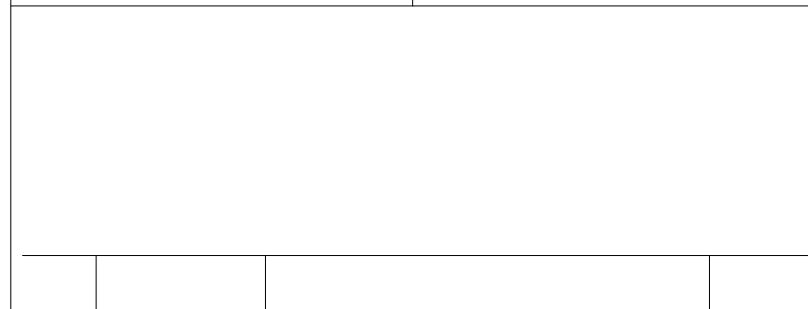
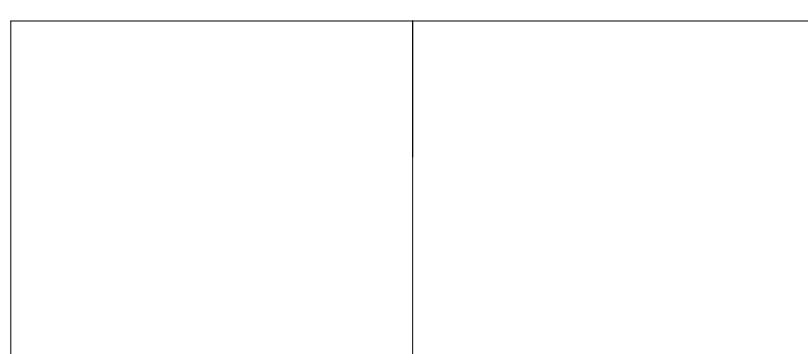
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I. 2025-10-03 ISSUED FOR MINOR VARIANCE

No. Date Version Dwn.

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RIVERFRONT PHASE 2
CITY OF NIAGARA FALLS

DRAWING TITLE: **COVER SHEET**

DRAWN BY: DATE:

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PROJECT NO.: DRAWING NO.:

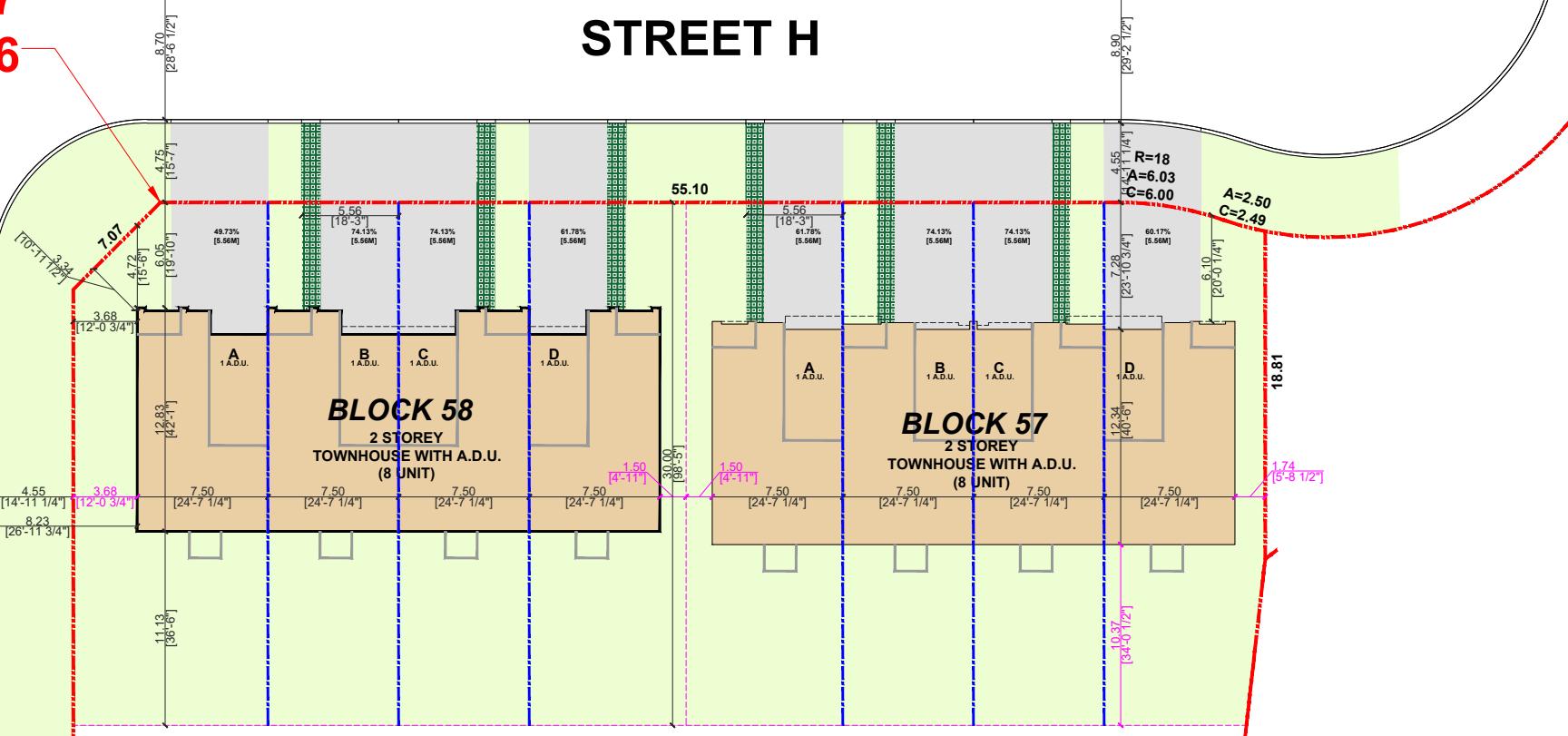
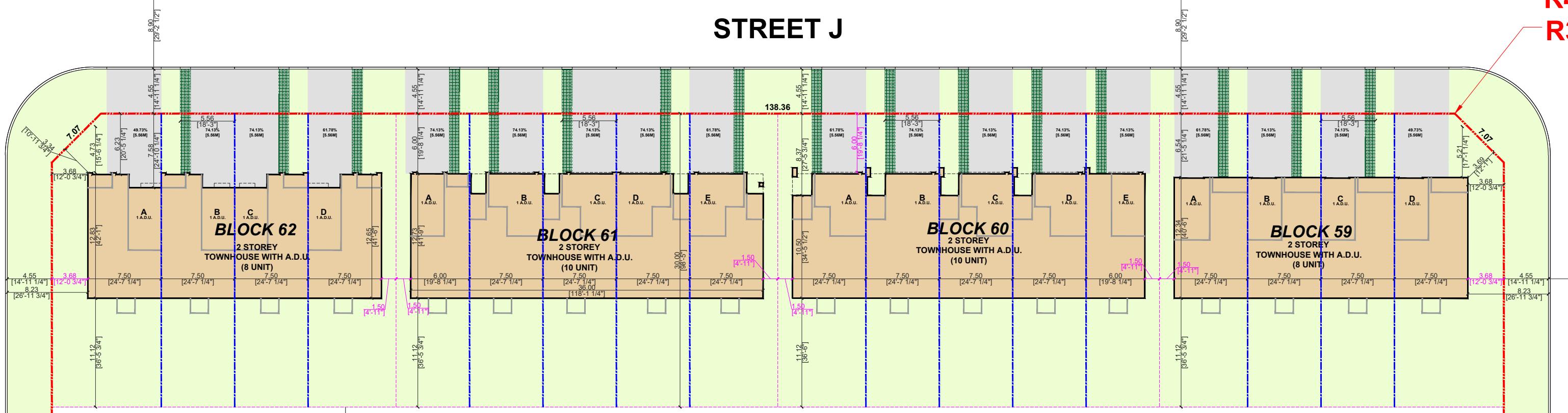
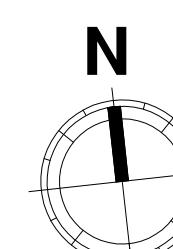
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MINOR VARIANCE:
MAXIMUM WIDTH OF DRIVEWAY OR PARKING AREA IN FRONT YARD OF LOT
REQUIRED : 60% OF THE LAND UNIT FRONTAGE OR 6 METRES, WHICHEVER IS LESS
PROPOSED : 75% OF THE LAND UNIT FRONTAGE

MINOR VARIANCE:
MAXIMUM HEIGHT OF BUILDING OR STRUCTURE
REQUIRED : 10 METRES
PROPOSED : ~12 METRES

MINOR VARIANCE:
MINIMUM LANDSCAPED OPEN SPACE AREA
REQUIRED : 25% OF THE LOT AREA
PROPOSED : 22.00% OF THE LOT AREA

BLOCK	PRIMARY UNIT	A.D.U.	TOTAL
57	4	4	8
58	4	4	8
59	4	4	8
60	5	5	10
61	5	5	10
62	4	4	8
63	4	4	8
64	5	5	10
65	5	5	10
66	4	4	8
67	4	4	8
68	4	4	8
69	4	4	8
70	4	4	8
71	4	4	8
72	5	5	10
73	5	5	10
74	4	4	8
TOTAL UNITS	78	78	156

PARKING REQUIREMENTS	REQUIRED PARKING	PROPOSED PARKING
1.25 PARKING SPACE FOR PRIMARY UNIT	97.5 (78X1.25)	98 (78 Garage + 20 Surface)
1 PARKING SPACES FOR A.D.U.	78 (78X1.00)	136 (136 Surface)
TOTAL PARKING	175.5	234

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LEGEND	
	PROPERTY LINE
	ELEVATION, UNSUPPORTED CANOPIES, OPEN BALCONIES PROJECTION LINE
	DECK PROJECTION

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 CHECKED BY: RP SCALE: 1:10
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1
ELEVATION
A-3.0

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PROJECT: **TOWNHOMES
DEVELOPMENT WITH
A.D.U.**
RIVERFRONT PHASE 2
CITY OF NIAGARA FALLS

DRAWING TITLE: **ELEVATION**

DRAWN BY: DH DATE:

CHECKED BY: RP SCALE: 1:2

PROJECT NO.: DRAWING NO.:

A-3.0