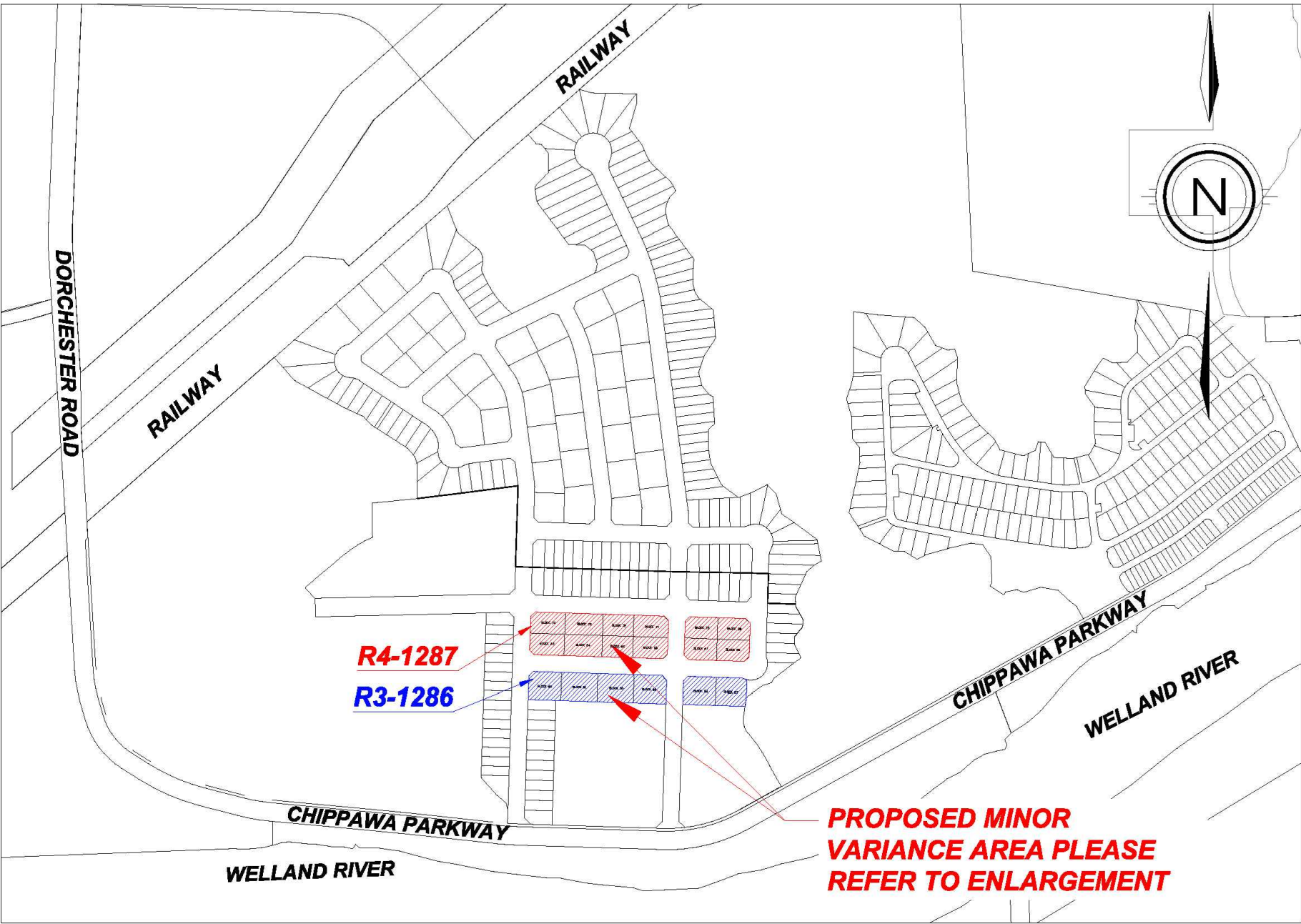


THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA TOWNHOMES DEVELOPMENT WITH A.D.U.

RIVERFRONT PHASE 2 PLAN OF SUBDIVISION:
PARCEL R4-1287 [BLOCK-63 TO 74] &
PARTIAL PARCEL R3-1286 [BLOCK-57 TO 62],
NIAGARA FALLS, ONTARIO



KEY MAP : N.T.S.

| DRAWING LIST | | |
|---------------|-------|-------------|
| DWG. NO. | | TITLE |
| ARCHITECTURAL | A-1.0 | COVER SHEET |
| | A-2.0 | SITE PLAN |
| | A-3.0 | ELEVATIONS |

| ZONING & SITE STATISTICS | | | | |
|--------------------------|--|--|--|--|
|--------------------------|--|--|--|--|

| CURRENT ZONE: | | R4-1287 (By-law No. 2025-057 - AM-2024-027) BLOCK 63 TO 74 (M-PLAN PHASE 2) | | |
|---------------|-------------|--|-----------------------------|--------|
| | DESCRIPTION | REQUIRED | PROPOSED SITE SPECIFICATION | COMPLY |

| | | | | |
|-----------|---|--|--|-----|
| 5.(b) | The permitted uses shall be: | For Parcel R4-1287, the uses permitted in the R4 zone and on-street townhouse dwellings | | |
| 7 | The regulations governing the permitted uses on Parcel R4-1287 shall be: | | | |
| (a) | Minimum lot area | | | |
| | i. For an on-street townhouse dwelling | 137 square metres for each dwelling unit | 172.43 square metres (Block-70-B) | YES |
| (c) | Minimum rear yard depth | | | |
| | i. For an on-street townhouse dwelling | 4 metres | 4.11 metres | YES |
| (f) | Maximum lot coverage | | | |
| | i. For an on-street townhouse dwelling | 56% | 55.71% | YES |
| (h) | Number of dwellings on one lot | More than one dwelling on one lot/block | One dwelling unit + One A.D.U. | YES |
| (i) | Minimum number of parking spaces | 1.25 parking space for Primary Unit 97.5 (78X1.25) 1 parking space for A.D.U. 78 (78X1.00) | 98 (78 Garage + 20 Surface) 136 (136 Surface) | YES |
| (l) | Maximum width of driveway or parking area in the front yard of a lot | | | |
| | i. For a back-to-back townhouse dwelling | Notwithstanding section 4.19.3 (c) of By-law No. 79-200, 50% of the land unit frontage or 6 metres, whichever is less | 75.00% | NO |
| (m) | Minimum yard width or yard depth for a deck from a street or block line | | | |
| | i. For a back-to-back townhouse dwelling | 0.5 metres | 2.54 metres | YES |
| (n) | Maximum projection of sills, belt courses, cornices, chimney breasts, bay windows, pilasters and similar architectural features and window air conditioning units | Notwithstanding section 4.14 (a) of By-law No. 79-200, sills, belt courses, cornices, chimney breasts, bay windows, pilasters and similar architectural features and window air conditioning units may project into any required yard a distance of not more than 0.6 metres | N/A | N/A |
| (o) | Maximum projection of a deck, stairs or roofed-over one storey porch into a required exterior side yard | 2.5 metres | N/A | N/A |
| (p) | The balance of the regulations specified in section 7.8.2 of By-law No. 79-200 for an on-street townhouse. | | | |
| 7.8.2 (b) | Minimum lot frontage | | | |
| | (v) for an on-street townhouse dwelling | 6 metres for each dwelling unit | 7.5 metres (24.61ft.) | YES |
| 7.8.2 (c) | Minimum front yard depth | | | |
| | (i) for a dwelling or dwelling unit | 3 metres plus any applicable distance specified in section 4.27.1 | N/A | N/A |
| | (ii) for a private garage with driveway access from the front yard | 6 metres plus any applicable distance specified in section 4.27.1 | 6 metres | YES |
| 7.8.2 (e) | Minimum interior side yard width | 1.2 metres | 1.2 metres | YES |
| 7.8.2 (f) | Minimum exterior side yard width | | | |
| | (i) for a dwelling or dwelling unit | 3 metres plus any applicable distance specified in section 4.27.1 | 3.15 metres | YES |
| | (ii) for a private garage with driveway access from the exterior side yard | 6 metres plus any applicable distance specified in section 4.27.1 | N/A | N/A |
| 7.8.2 (h) | Maximum height of building or structure | 10 metres subject to section 4.7 | ~ 12 metres | NO |
| 7.8.2 (m) | Minimum landscaped open space | 25% of the lot area | 22.00% | NO |
| (q) | For all other permitted uses, the balance of regulations specified for an R4 use. | | | |
| 7.9.2.(n) | Minimum privacy yard depth for each townhouse dwelling unit, as measured from the exterior rear wall of every dwelling unit (2008-148) | 7.5 metres | 8.23 metres | YES |

| ZONING & SITE STATISTICS | | | | |
|--------------------------|--|--|--|--|
|--------------------------|--|--|--|--|

| CURRENT ZONE: | | R3-1286 (By-law No. 2025-057 - AM-2024-027) BLOCK 57 TO 62 (M-PLAN PHASE 2) | | |
|---------------|-------------|--|-----------------------------|--------|
| | DESCRIPTION | REQUIRED | PROPOSED SITE SPECIFICATION | COMPLY |

| | | | | |
|-----------|---|--|---|-----|
| 6 | The regulations governing the permitted uses on Parcel R3-1286 shall be: | | | |
| (a) | Minimum rear yard depth | | | |
| | ii. For an on-street townhouse dwelling | 6 metres | 10.37 metres | YES |
| (b) | Maximum projection of sills, belt courses, cornices, chimney breasts, bay windows, pilasters and similar architectural features and window air conditioning units | Notwithstanding section 4.14 (a) of By-law No. 79-200, sills, belt courses, cornices, chimney breasts, bay windows, pilasters and similar architectural features and window air conditioning units may project into any required yard a distance of not more than 0.6 metres | N/A | N/A |
| (c) | Maximum projection of a deck, stairs or roofed-over one storey porch into a required exterior side yard | 2.5 metres | N/A | N/A |
| (d) | The balance of the regulations specified for an R3 use | | | |
| 7.8.2 (a) | Minimum lot area | | | |
| | (iii) for an on-street townhouse dwelling | 160 square metres for each dwelling unit | 225 square metres (Block-62-B) | YES |
| 7.8.2 (b) | Minimum lot frontage | | | |
| | (v) for an on-street townhouse dwelling | 6 metres for each dwelling unit | 7.5 metres (24.61ft.) | YES |
| 7.8.2 (c) | Minimum front yard depth | | | |
| | (i) for a dwelling or dwelling unit | 3 metres plus any applicable distance specified in section 4.27.1 | N/A | N/A |
| | (ii) for a private garage with driveway access from the front yard | 6 metres plus any applicable distance specified in section 4.27.1 | 6.00 metres | YES |
| 7.8.2 (e) | Minimum interior side yard width | 1.2 metres | 1.5 metres | YES |
| 7.8.2 (f) | Minimum exterior side yard width | | | |
| | (i) for a dwelling or dwelling unit | 3 metres plus any applicable distance specified in section 4.27.1 | 3.68 metres | YES |
| | (ii) for a private garage with driveway access from the exterior side yard | 6 metres plus any applicable distance specified in section 4.27.1 | N/A | N/A |
| 7.8.2 (g) | Maximum lot coverage | 55% | 41.83% | |
| 7.8.2 (h) | Maximum height of building or structure | 10 metres subject to section 4.7 | ~ 12 metres | NO |
| 7.8.2 (i) | Maximum number of dwellings on one lot | 1 only | One dwelling unit + One A.D.U. | YES |
| 7.8.2 (k) | Parking and access requirements | In accordance with section 4.19.1 | 3 parking spaces per unit (2 surface parking & 1 garage unit) | YES |
| 7.8.2 (l) | Accessory buildings and accessory structures | In accordance with sections 4.13 and 4.14 | N/A | N/A |
| 7.8.2 (m) | Minimum landscaped open space | 25% of the lot area | 39.36% | YES |

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ELECTRICAL CONSULTANT

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| No. | Date | Version | Dwn. |

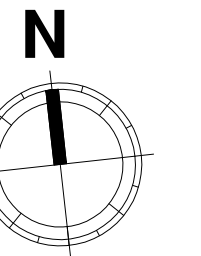
PROJECT:
**TOWNHOMES
DEVELOPMENT WITH
A.D.U.**
RIVERFRONT PHASE 2
CITY OF NIAGARA FALLS

DRAWING TITLE:
COVER SHEET

DRAWN BY: DATE:

CHECKED BY: SCALE:

PROJECT NO.: DRAWING NO.:
A-1.0



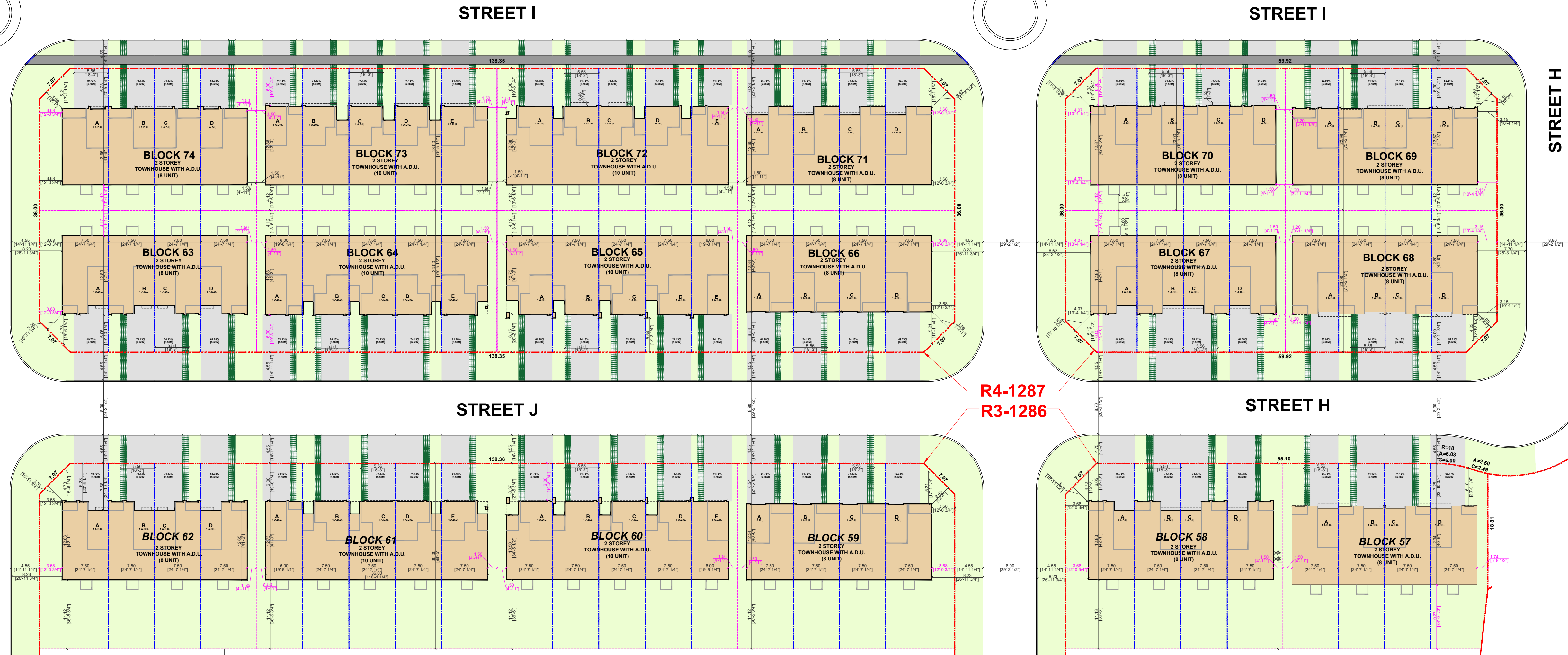
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| No. | Date | Version | Dwn. |

PROJECT: **TOWNHOMES
DEVELOPMENT WITH
A.D.U.**
RIVERFRONT PHASE 2
CITY OF NIAGARA FALLS

DRAWING TITLE: **SITE PLAN**




| | |
|----------------|-------------|
| DRAWN BY: DH | DATE: |
| CHECKED BY: RP | SCALE: 1:10 |
| | DRAWING NO. |

A-2.0



| BLOCK | PRIMARY UNIT | A.D.U. | TOTAL |
|--------------------|--------------|-----------|------------|
| 57 | 4 | 4 | 8 |
| 58 | 4 | 4 | 8 |
| 59 | 4 | 4 | 8 |
| 60 | 5 | 5 | 10 |
| 61 | 5 | 5 | 10 |
| 62 | 4 | 4 | 8 |
| 63 | 4 | 4 | 8 |
| 64 | 5 | 5 | 10 |
| 65 | 5 | 5 | 10 |
| 66 | 4 | 4 | 8 |
| 67 | 4 | 4 | 8 |
| 68 | 4 | 4 | 8 |
| 69 | 4 | 4 | 8 |
| 70 | 4 | 4 | 8 |
| 71 | 4 | 4 | 8 |
| 72 | 5 | 5 | 10 |
| 73 | 5 | 5 | 10 |
| 74 | 4 | 4 | 8 |
| TOTAL UNITS | 78 | 78 | 156 |

| PARKING REQUIREMENTS | REQUIRED PARKING | PROPOSED PARKING |
|--|-------------------|--------------------------------|
| 1.25 PARKING SPACE FOR PRIMARY UNIT | 97.5 (78X1.25) | 98 (78 Garage + 20 Surface) |
| 1 PARKING SPACES FOR A.D.U. | 78 (78X1.00) | 136 (136 Surface) |
| TOTAL PARKING | 234 | 234 |

| LEGEND | |
|---|---|
|  | PROPERTY LINE |
|  | ELEVATION, UNSUPPORTED CANOPIES, OPEN BALCONIES PROJECTION LINE |
|  | DECK PROJECTION |

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A-3.0

ELEVATION



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| No. | Date | Version | Dwn. |

PROJECT:
**TOWNHOMES
DEVELOPMENT WITH
A.D.U.**
RIVERFRONT PHASE 2
CITY OF NIAGARA FALLS

DRAWING TITLE:
ELEVATION

DRAWN BY: DH

DATE:

CHECKED BY: RP

SCALE: 1:2

PROJECT NO.:

DRAWING NO.:

A-3.0