

GENERAL NOTES:

THESE NOTES ARE TYPICAL FOR ALL PLAN SHEETS A201 TO A207 INCLUSIVE

1. ALL DIMENSIONS ARE TO FACE OF BLOCK, CAST-IN-PLACE CONCRETE, PRECAST WALL PANEL AND FACE OF STUD UNLESS OTHERWISE NOTED.
2. FURR OUT RAIN WATER LEADERS WITH 64mm OR 92mm METAL STUDS AND GYPSUM BOARD TO 200mm ABOVE CEILING LINE. FOR EXACT NUMBER OF RAIN WATER LEADERS AND CHASES REFER TO MECHANICAL DRAWINGS.
3. REFER TO PLAN AND SECTION DETAIL DRAWINGS FOR INTERIOR FLOOR, WALL AND ROOF SMOKE SEPARATION DETAILS, GENERAL CONTRACTOR TO IDENTIFY LOCATIONS TYPICAL.
4. ALL AREAS DESIGNATED AS MECHANICAL SPACE TO RECEIVE FIRESSTOPPING AND DAMPERS AT ALL PENETRATIONS.
5. PROVIDE FIRE PROTECTION AT ALL REQUIRED EXPOSED STRUCTURAL STEEL FRAMING. REFER TO O&G PLANS FOR REQUIRED FIRE RESISTANCE RATING AND FIRE PROTECTION ASSEMBLIES FOR TYPE.

These drawings are the property of Architecture Unfolded. The drawing and all associated documents are an instrument of service by the Designer, the drawing and the information contained therein may not be reproduced in whole or in part without the written consent of the Designer.

These Contract Documents are the property of the architect. The architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the architect will provide written graphic and technical information to the Contractor to interpret these Contract Documents. The architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and to perform the work and report any discrepancies with the Contract Documents to the architect before commencing work.

Modifications of existing or proposed mechanical or electrical devices, piping, and fixtures must be indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the architect.

These drawings are not to be used for construction unless noted below as issued for Construction.

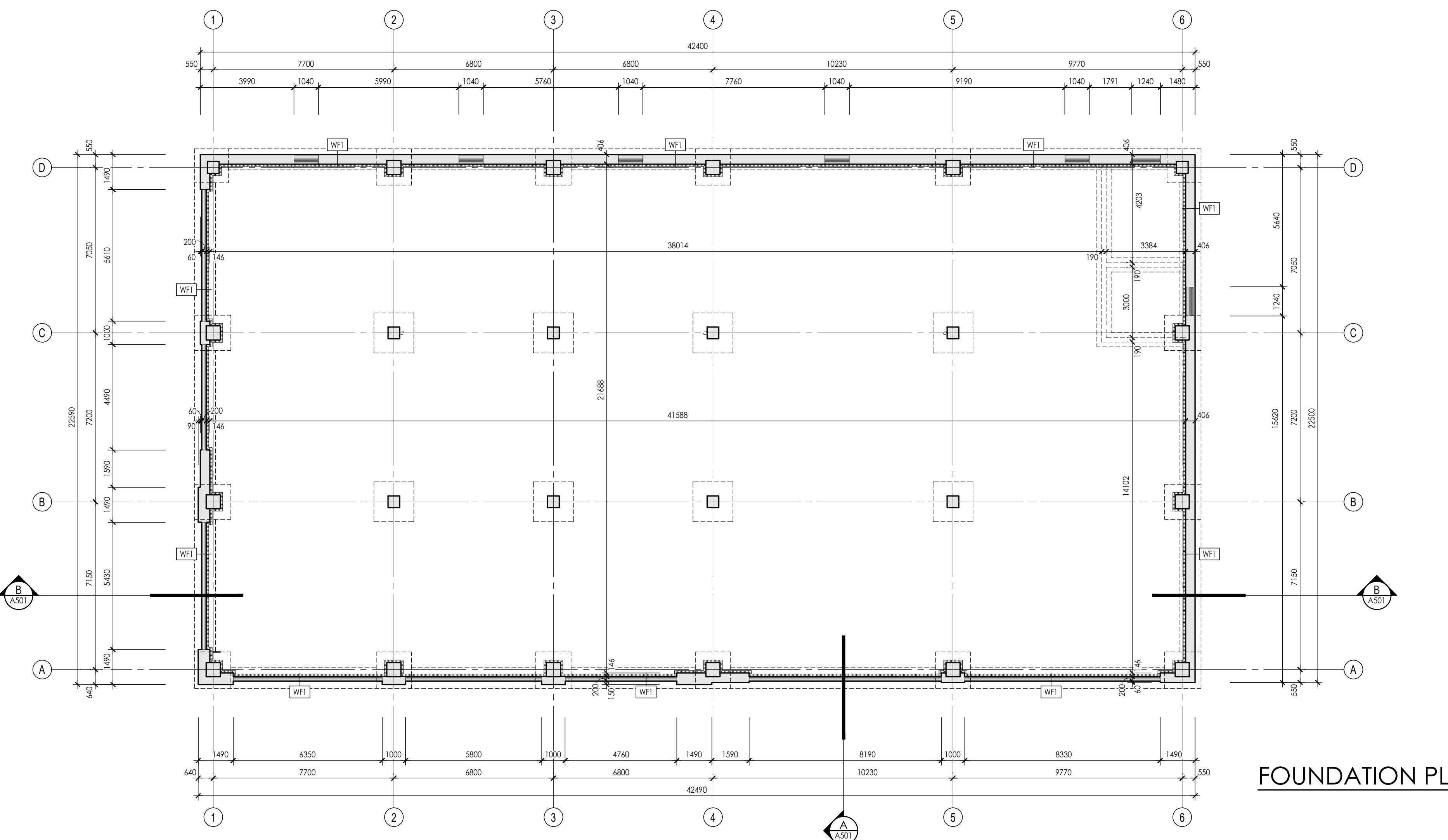
All work to be carried out in conformance with the Code and bylaws of the jurisdiction in which the work is to be performed.

The Designer of these plans and specifications gives no warranty or representation to any party about the constructability of the represented by them, all contractors or subcontractors must satisfy themselves by bidding and of all times that they can properly construct the work represented by these plans.

notes:

LEGEND

	WALL TYPE: SEE SHEET A901 - CONSTRUCTION ASSEMBLIES		FLOW CONTROL ROOF DRAIN - SEE MECHANICAL DRAWINGS
	RAIN-WATER LEADER - SEE MECH. DWGS.		PREFIN. METAL OVERFLOW ROOF SCUPPER
	PREFINISHED METAL ROOF SCUPPER		FLOOR DRAIN - SEE MECH. DRAWINGS
	ELEVATION TAG		DRINKING FOUNTAIN - SEE MECH. DWGS.
	STEPPED FOUNDATION WALL		POWER DOOR PUSH BUTTON - SEE ELECTRICAL DRAWINGS
	DROP TOP OF FOUNDATION WALL TO ACCOMMODATE DOOR SILL OR FLOOR SLAB HAUNCH (TYP. -200MM UNLESS NOTED OTHERWISE)		ANNUNCIATOR PANEL - SEE ELECT. DWGS.
	EXTENT OF TAPERED INSULATION: (100 TO 25) CONTINUOUS POLYISO CLOSED CELL RIGID FOAM BOARD INSULATION		INTERCOM PEDESTAL - SEE ELECT. DWGS.
	FIRE DEPARTMENT CONNECTION		FIRE HOSE CABINET - SEE FIRE PROTECTION



ISSUED FOR MINOR VARIANCE 23-09-2025
ISSUED FOR SITE PLAN APPROVAL 19-05-2025
revisions: dd-mm-yyyy

architectural team :

mark zwicker
rushid dastoor



interior design:

planning: Upper Canada Consultants

structural: Van EE Engineering Inc.

electrical: e-Lumen International Inc.

mechanical: Aegis Engineering Inc.

landscape: Adesso Design Inc.

site services: Upper Canada Consultants

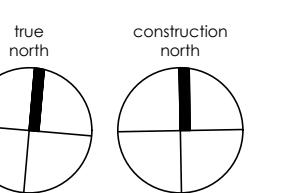
owner:

project:
WARREN WOODS
WARREN WOODS COMMERCIAL BLOCK
Niagara Falls, Ontario - L2H 2Y6

building 1
foundation &
1st floor plan

sep. 12, 2025
1:125
23-29
cbg

date:
scale:
project:
drawn by:



drawing number:
A201

