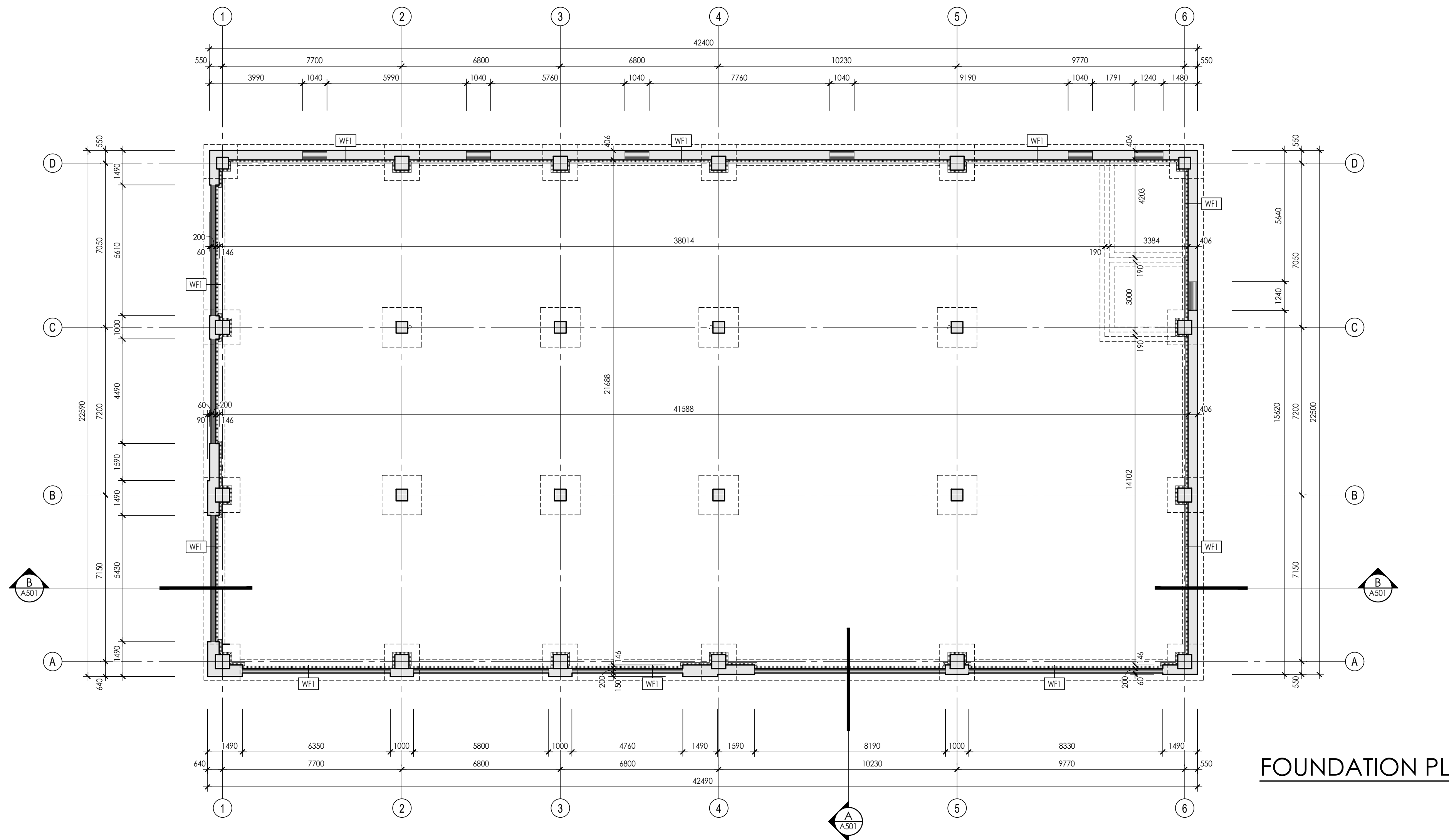


1ST FLOOR PLAN



FOUNDATION PLAN

GENERAL NOTES:

THESE NOTES ARE TYPICAL FOR ALL PLAN SHEETS A201 TO A207 INCLUSIVE

- ALL DIMENSIONS ARE TO FACE OF BLOCK, CAST-IN-PLACE CONCRETE, PRECAST WALL PANEL AND FACE OF STUD UNLESS OTHERWISE NOTED.
- FURR OUT RAIN WATER LEADERS WITH 64mm OR 92mm METAL STUDS AND GYPSUM BOARD TO 200mm ABOVE CEILING LINE. FOR EXACT NUMBER OF RAIN WATER LEADERS AND CHASES REFER TO MECHANICAL DRAWINGS.
- REFER TO PLAN AND SECTION DETAIL DRAWINGS FOR INTERIOR FLOOR, WALL AND ROOF SMOKE SEPARATION DETAILS. GENERAL CONTRACTOR TO IDENTIFY LOCATIONS TYPICAL.
- ALL AREAS DESIGNATED AS MECHANICAL SPACE TO RECEIVE FIRESTOPPING AND DAMPERS AT ALL PENETRATIONS.
- PROVIDE FIRE PROTECTION AT ALL REQUIRED EXPOSED STRUCTURAL STEEL FRAMING. REFER TO OBC PLANS FOR REQUIRED FIRE RESISTANCE RATING AND FIRE PROTECTION ASSEMBLIES FOR TYPE.

LEGEND

W-1	WALL TYPE : SEE SHEET A901 - CONSTRUCTION ASSEMBLIES	FCRD	FLOW CONTROL ROOF DRAIN - SEE MECHANICAL DRAWINGS
###	DOOR / WINDOW / SCREEN TAG : SEE SHEET A902 - DOOR / SCREEN SCHEDULES AND DETAILS	RWL	RAIN-WATER LEADER - SEE MECH. DWGS.
W-2	ELEVATION TAG	OFRS	PREFIN. METAL OVERFLOW ROOF SCUPPER
SW	STEPPED FOUNDATION WALL	RS	PREFINISHED METAL ROOF SCUPPER
	DROP TOP OF FOUNDATION WALL TO ACCOMMODATE DOOR SILL OR FLOOR SLAB HAUNCH (TYP. -200MM UNLESS NOTED OTHERWISE)	FD	FLOOR DRAIN - SEE MECH. DRAWINGS
	EXTENT OF TAPERED INSULATION: (100 TO 25) CONTINUOUS POLYSTY CLOSED CELL RIGID FOAM BOARD INSULATION	DF	DRINKING FOUNTAIN - SEE MECH. DWGS.
		PB	POWER DOOR PUSH BUTTON - SEE ELECTRICAL DRAWINGS
		AP	ANNUNCIATOR PANEL - SEE ELECT. DWGS.
		INT	INTERCOM PEDESTAL - SEE ELECT. DWGS.
		FHC	FIRE HOSE CABINET - SEE FIRE PROTECTION
		FDC	FIRE DEPARTMENT CONNECTION

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The Designer of these plans and specifications gives no warranty or representation to any party about the constructability of the represented by them. All contractors or subcontractors must satisfy themselves when bidding, and at all times that they can properly construct the work represented by these plans.

notes:

ISSUED FOR MINOR VARIANCE 23-09-2025
ISSUED FOR SITE PLAN APPROVAL 19-05-2025
revisions: dd-mm-yyyy

architectural team :

mark zwicker
rushad dastoor

interior design:

planning:
Upper Canada Consultants

structural:
Van EE Engineering Inc.

electrical:
e-Lumen International Inc.

mechanical:
Aegis Engineering Inc.

landscape:
Adesso Design Inc.

site services:
Upper Canada Consultants

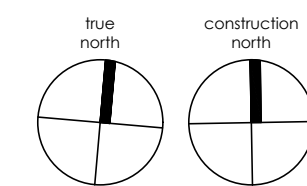
owner:

project:
WARREN WOODS
WARREN WOODS COMMERCIAL BLOCK
Niagara Falls, Ontario - L2H 2Y6

building 1
foundation &
1st floor plan

sep. 12. 2025
1:125
23-29
cbg

date:
scale:
project:
drawing by:



drawing number:
A201



BARRIER FREE DESIGN REQUIREMENTS

Barrier-free entry door assembly notes:

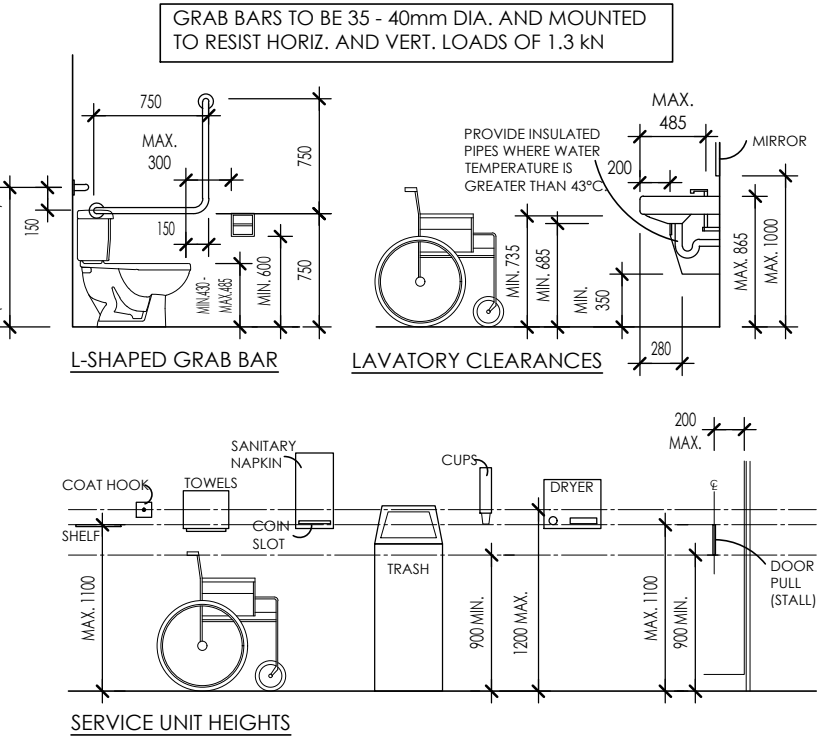
- 1. Ensure a maximum difference in elevation of 13mm to accommodate barrier-free accessibility into the facility at building entries noted to have push buttons. Use designated barrier-free door sill.

Barrier-free accessibility notes:

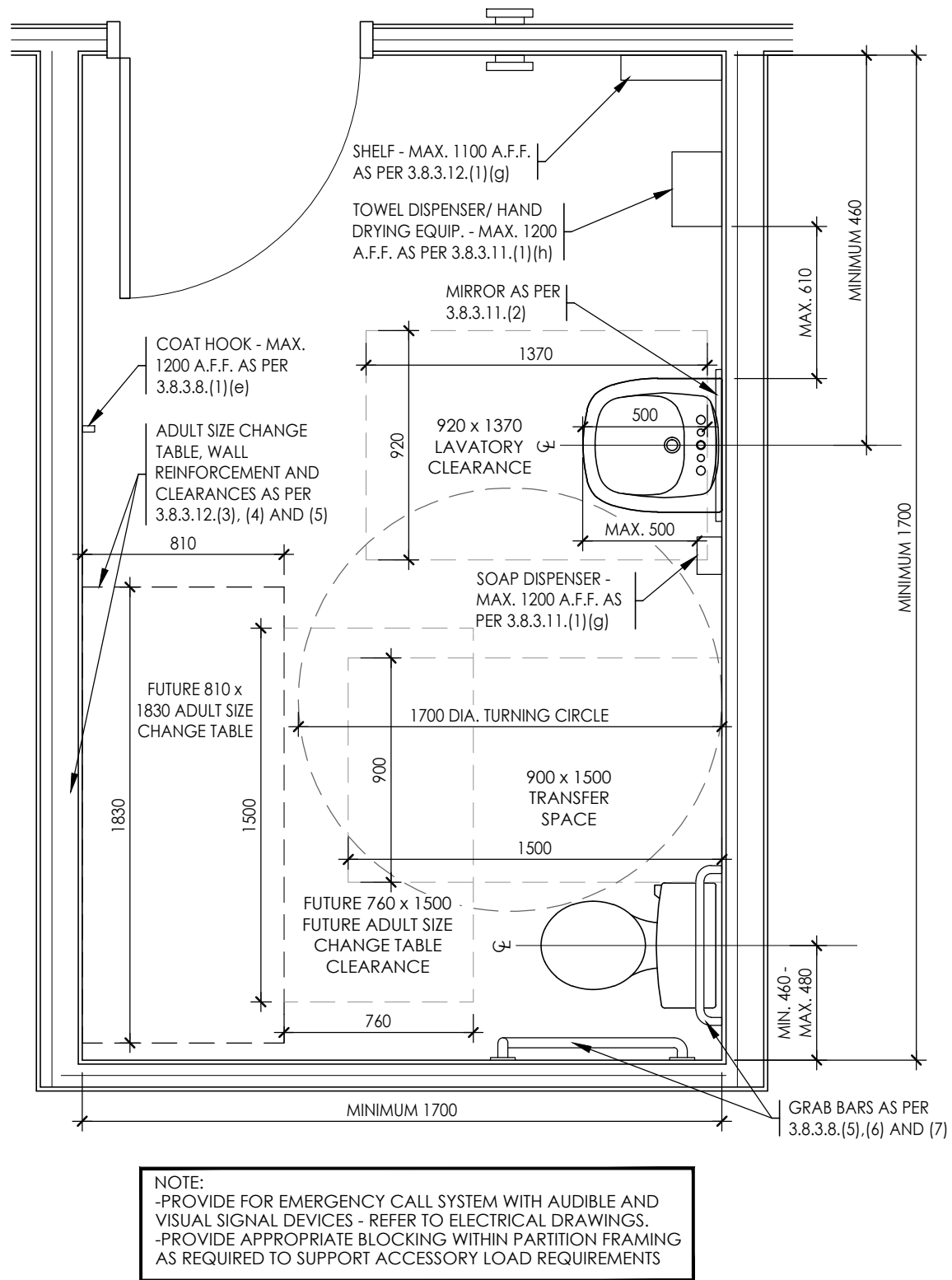
- 1. Work & accessories required to "accessible" washroom:
 - 1. Provide one mirror mounted with its bottom edge not more than 1000mm a.f.f.
 - 2. Insulate waste & hot water supply piping at 1/2 of lavatory where water temperature is greater than 43°C.
 - 3. Wall hung lavatory shall be equipped with approved lever type trim.
 - 4. Mount all fixtures and accessories at max. 1200mm a.f.f.
 - 5. Ensure minimum 600mm clearance from jamb to in-swing of doors.
 - 6. Ensure minimum 300mm clearance from jamb to out-swing of doors.
 - 7. Provide coat hook at 1200mm a.f.f.

- 2. Grab bars to accessible washroom (able to resist a load of at least 1.3kn applied vertically or horizontally):

- 1. Side bar to be 35-40mm s.s. I-shaped with 750mm long horizontal and vertical components mounted with the horizontal component 750mm a.f.f. and the vertical component 150mm in front of the toilet bowl. Provide solid back support for anchors. Provide 50mm clear between bar and wall.
- 2. Back bar to be 35-40mm by 400mm straight s.s. mounted horizontally on wall behind toilet at 840-920mm a.f.f. or 150mm above top of tank. Provide solid back support for anchors. Provide 50mm clear between bar and wall.



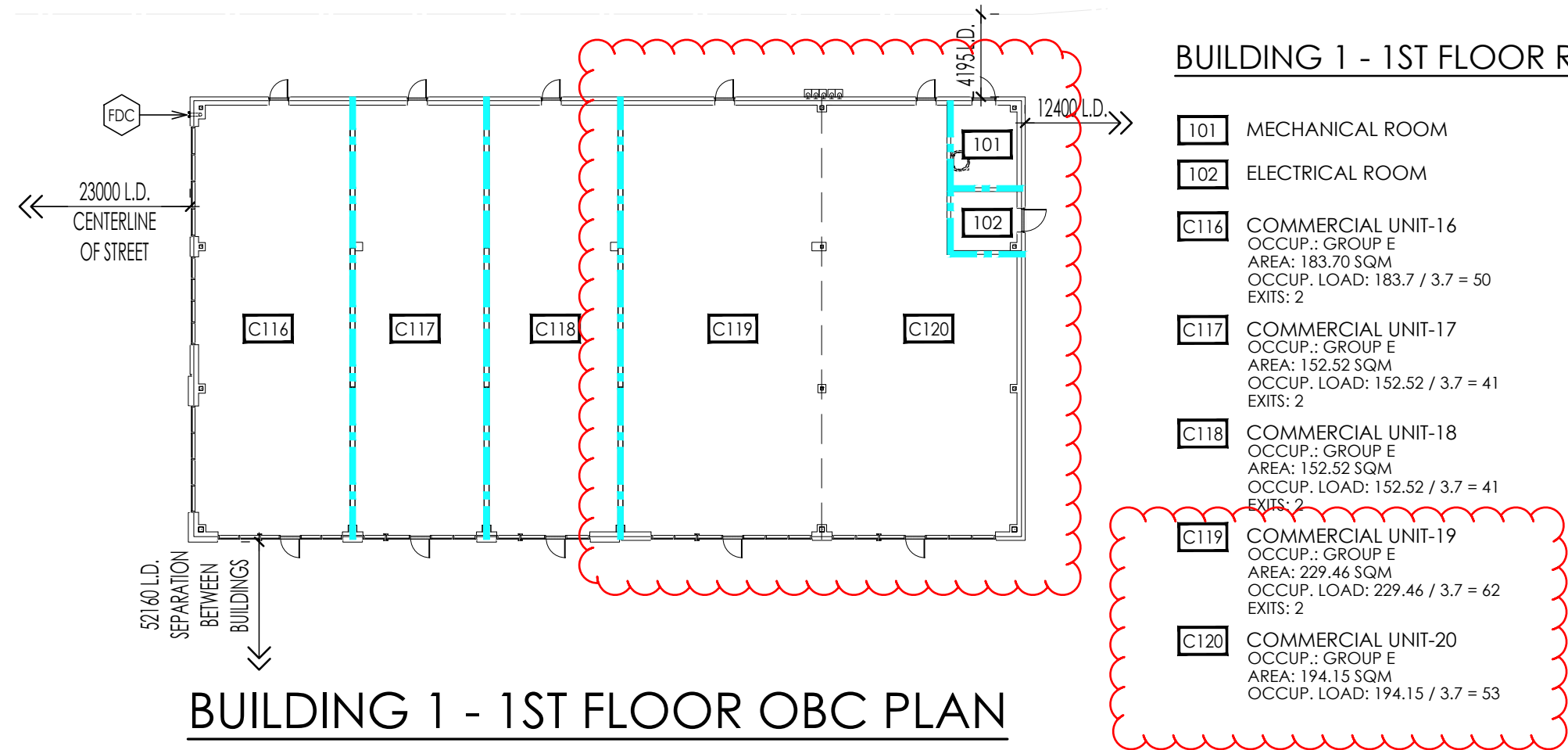
UNIVERSAL BARRIER FREE WASHROOM LAYOUT GUIDE



NOTE: PROVIDE FOR EMERGENCY CALL SYSTEM WITH AUDIBLE AND VISUAL SIGNAL DEVICES - REFER TO ELECTRICAL DRAWINGS. PROVIDE APPROPRIATE BLOCKING WITHIN PARTITION FRAMING AS REQUIRED TO SUPPORT ACCESSORY LOAD REQUIREMENTS

OBC MATRIX - Building 1 - Mercantile											
Ontario Building Code Data Matrix					OBC Reference						
1	Project Description: Building 1 - Mercantile WARREN WOODS COMMERCIAL BLOCK Location: __ GARNER RD, NIAGARA FALLS, ONTARIO		<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration		<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 <input type="checkbox"/> Part 11	2.1.1.	2.1.1.	11.1 to	11.4		
2	Major Occupancy(s): Group E					3.1.2.1.(1)	9.10.2.				
3	Building Area (m²): Existing: N/A New: 956.72 Total: 956.72					[A] 1.1.3.2.	[A] 1.1.3.2.				
4	Gross Area (m²): Existing: N/A New: 956.72 Total: 956.72					[A] 1.1.3.2.	[A] 1.1.3.2.				
5	Number of Storeys: Above Grade: 1 Below Grade: 0					3.2.1.1. & [A] 1.1.3.2.	2.1.1.3.				
6	Height of Building (m): 5.350m (U/S ROOF DECK)										
7	Number of Streets / Access Routes: 2					3.2.2.10. & 3.2.5.5.	9.10.19.				
8	Building Classification: 3.2.2.62 - E, UP TO 2 STOREYS, SPRINKLERED					3.2.2.20-83	9.10.4.				
9	Sprinkler System Proposed:		<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required			3.2.2.20-83 3.2.1.5. 3.2.2.17.	9.10.8.				
10	Standpipe Required:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9.					
11	Fire Alarm Required:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4.	9.10.17.2.				
12	Water Service / Supply is Adequate:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7.	N/A				
13	High Building:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6.	N/A				
14	Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both					3.2.2.20-83	9.10.6.				
15	Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both										
15	Mezzanine(s) Area (m²): N/A					3.2.1.1.(3)-(8)	9.10.4.1.				
16	Occupant Load: <input checked="" type="checkbox"/> m² / person <input checked="" type="checkbox"/> Design of Building					3.1.17.1.	9.9.1.3.				
Group E		Occupancy: Mercantile E	Load: 9.3m²/person	POSTED = SEE ROOM LGND.							
		Restaurant E	Load: 4.4m²/person	POSTED = 60							
17	Barrier-free Design:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.8.	9.5.2.				
18	Hazardous Substances:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2.(1) & 3.3.1.19.(1)	9.10.1.3.(4)				
19	Required Fire Resistance Rating (FRR)	Group E	Horizontal Assemblies		Listed Design No. or Description (SB-2)	3.2.2.20-83 & 3.2.1.4.		9.10.8. 9.10.9. 9.10.9.4.(2)			
FRR (Hours)											
Floor			45 MIN.	ULC - See Const. Assemblies							
Roof			N/A								
			Mezz.	N/A							
20	Spatial Separation - Construction of Exterior Walls:					3.2.3.	9.10.14.				
	Walls	Area of EBF (m²)	L/D. (m)	L/H Ratio	Permitted U.O.3 (%)	Proposed U.O.3 (%)	FRR (Hours)	Listed Design or Description	Comb. Cladding	Comb. Cladding	Non-Comb. Cladding
	North (E)	226.84	4.195	-	14%	11.45(5.1%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	East (E)	120.38	12.4	-	84%	7.69(6.4%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	South (E)	227.32	26.08	-	100%	147.09(64.8%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	West (E)	120.86	23.00	-	100%	68.33(56.6%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21	Other Items:										

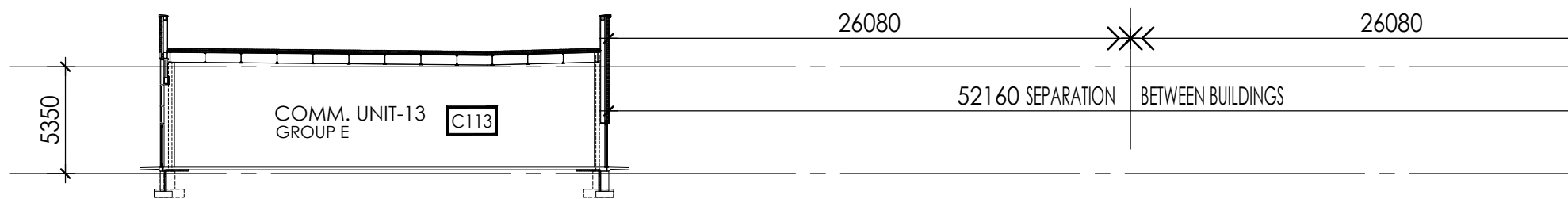
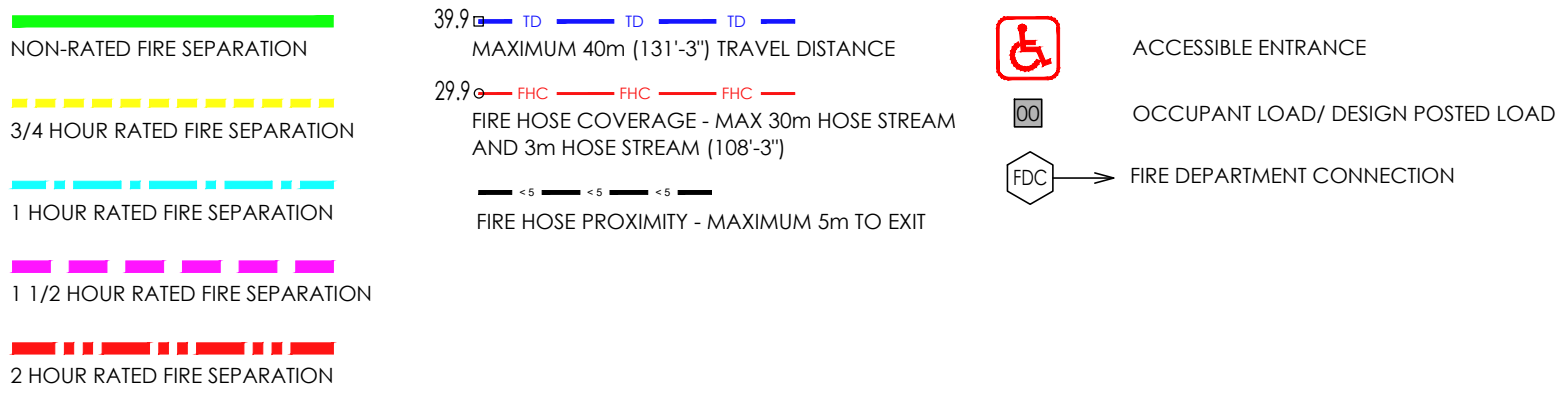
OBC MATRIX - Building 2 - Mercantile/ Office											
Ontario Building Code Data Matrix					OBC Reference						
1	Project Description: Building 2 - Mercantile / Office WARREN WOODS COMMERCIAL BLOCK Location: __ GARNER RD, NIAGARA FALLS, ONTARIO		<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration		<input checked="" type="checkbox"/> Part 3 2.1.1.	<input type="checkbox"/> Part 9 2.1.1.	<input type="checkbox"/> Part 11 11.1 to 11.4				
2	Major Occupancy(s): Group E subsidiary occupancies GROUP D				3.1.2.1.(1) 9.10.2.						
3	Building Area (m²): Existing: N/A New: 1,936.35 Total: 1,936.35				[A] 1.1.3.2.		[A] 1.1.3.2.				
4	Gross Area (m²): Existing: N/A New: 3,322.10 Total: 3,322.10				[A] 1.1.3.2.		[A] 1.1.3.2.				
5	Number of Storeys: Above Grade: 2 Below Grade: 0				3.2.1.1. & [A] 1.1.3.2.		2.1.1.3.				
6	Height of Building (m): 9.5m (U/S ROOF DECK)				3.2.2.10. & 3.2.2.5.		9.10.19.				
7	Number of Streets / Access Routes: 2				3.2.2.20-83		9.10.4.				
8	Building Classification: 3.2.2.60 GROUP E, 3.2.2.54 GROUP D, UP TO 3 STOREYS, SPRINKLERED				3.2.2.20-83		9.10.4.				
9	Sprinkler System Proposed:		<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required		3.2.2.20-83 3.2.1.5. 3.2.2.17.		9.10.8.				
10	Standpipe Required:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.9.						
11	Fire Alarm Required:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4.		9.10.17.2.				
12	Water Service / Supply is Adequate:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.		N/A				
13	High Building:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.		N/A				
14	Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both				3.2.2.20-83		9.10.6.				
15	Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both				3.2.1.1.(3)-(8)		9.10.4.1.				
16	Mezzanine(s) Area (m²): N/A				3.2.1.1.(3)-(8)		9.10.4.1.				
16	Occupant Load: <input checked="" type="checkbox"/> m² / person <input checked="" type="checkbox"/> Design of Building				3.1.17.1.		9.9.1.3.				
Group D Occupancy: Office					Load: 4.4m²/person POSTED = SEE ROOM LGND.						
Personal services shop					Load: 4.4m²/person POSTED = SEE ROOM LGND.						
Group E Occupancy: Mercantile E					Load: 9.3m²/person POSTED = 20 persons						
Restaurant E					Load: 4.4m²/person POSTED = 60 persons						
17	Barrier-free Design:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.8.		9.5.2.				
18	Hazardous Substances:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2.(1) & 3.3.1.19.(1)		9.10.1.3.(4)				
19	Required Fire Resistance Rating (FRR)		Group D Horizontal Assemblies FRR (Hours) Floor 45 MIN. Roof N/A Mezz. N/A		Listed Design No. or Description (SB-2) ULC - See Const. Assemblies		3.2.2.20-83 & 3.2.1.4.		9.10.8. 9.10.9. 9.10.9.4.(2)		
			Group E Supporting Members FRR (Hours) Floor 45 MIN. Roof TERRACE - 45 MIN. Mezz. N/A		Listed Design No. or Description (SB-2) ULC - See Const. Assemblies						
20	Spatial Separation - Construction of Exterior Walls:				3.2.3.		9.10.14.				
	Walls	Area of EBF (m²)	L/D. (m)	L/H Ratio	Permitted U.O.3 (%)	Proposed U.O.3 (%)	FRR (Hours)	Listed Design or Description	Comb. Const. Comb. Cladding	Comb. Const. Comb. Cladding	Non-Comb. Const. Non-Comb. Cladding
	North (E/D)	106.58	26.08	-	100%	73.05(68.3%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	East (E/D)	95.67	12.00	-	100%	10.18(10.6%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	South (E/D)	693.42	38.88	-	100%	34.08(51%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	West (E/D)	355.80	23.05	-	100%	20.73(54.4%)	-	-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21	Other Items:										



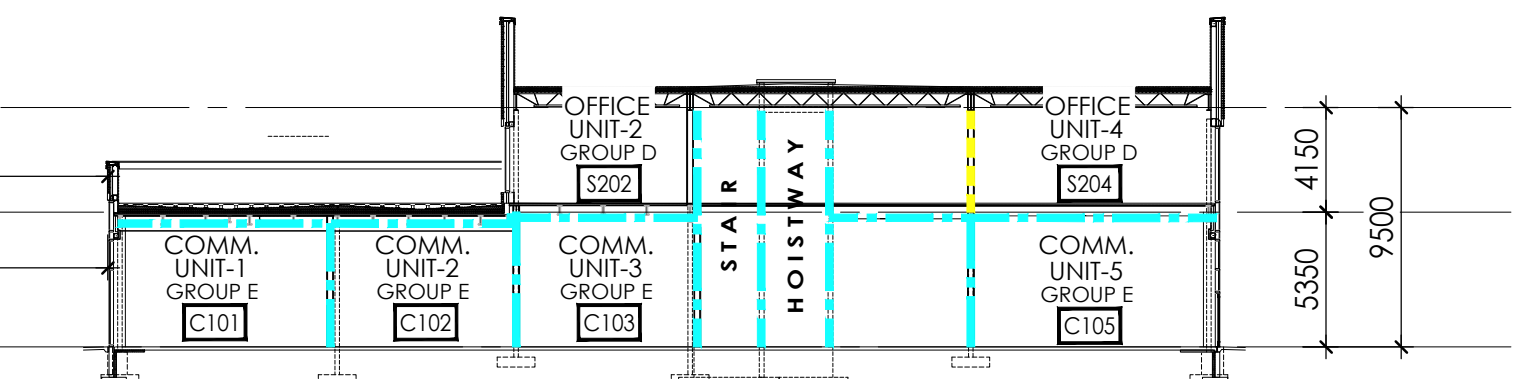
BUILDING 1 - 1ST FLOOR ROOM LEGEND

- 101 MECHANICAL ROOM
- 102 ELECTRICAL ROOM
- C116 COMMERCIAL UNIT-16
OCCUP.: GROUP E
AREA: 183.70 SQM
OCCUP. LOAD: 183.7 / 3.7 = 50
EXITS: 2
- C117 COMMERCIAL UNIT-17
OCCUP.: GROUP E
AREA: 152.52 SQM
OCCUP. LOAD: 152.52 / 3.7 = 41
EXITS: 2
- C118 COMMERCIAL UNIT-18
OCCUP.: GROUP E
AREA: 152.52 SQM
OCCUP. LOAD: 152.52 / 3.7 = 41
EXITS: 2
- C119 COMMERCIAL UNIT-19
OCCUP.: GROUP E
AREA: 229.46 SQM
OCCUP. LOAD: 229.46 / 3.7 = 62
EXITS: 2
- C120 COMMERCIAL UNIT-20
OCCUP.: GROUP E
AREA: 194.15 SQM
OCCUP. LOAD: 194.15 / 3.7 = 53

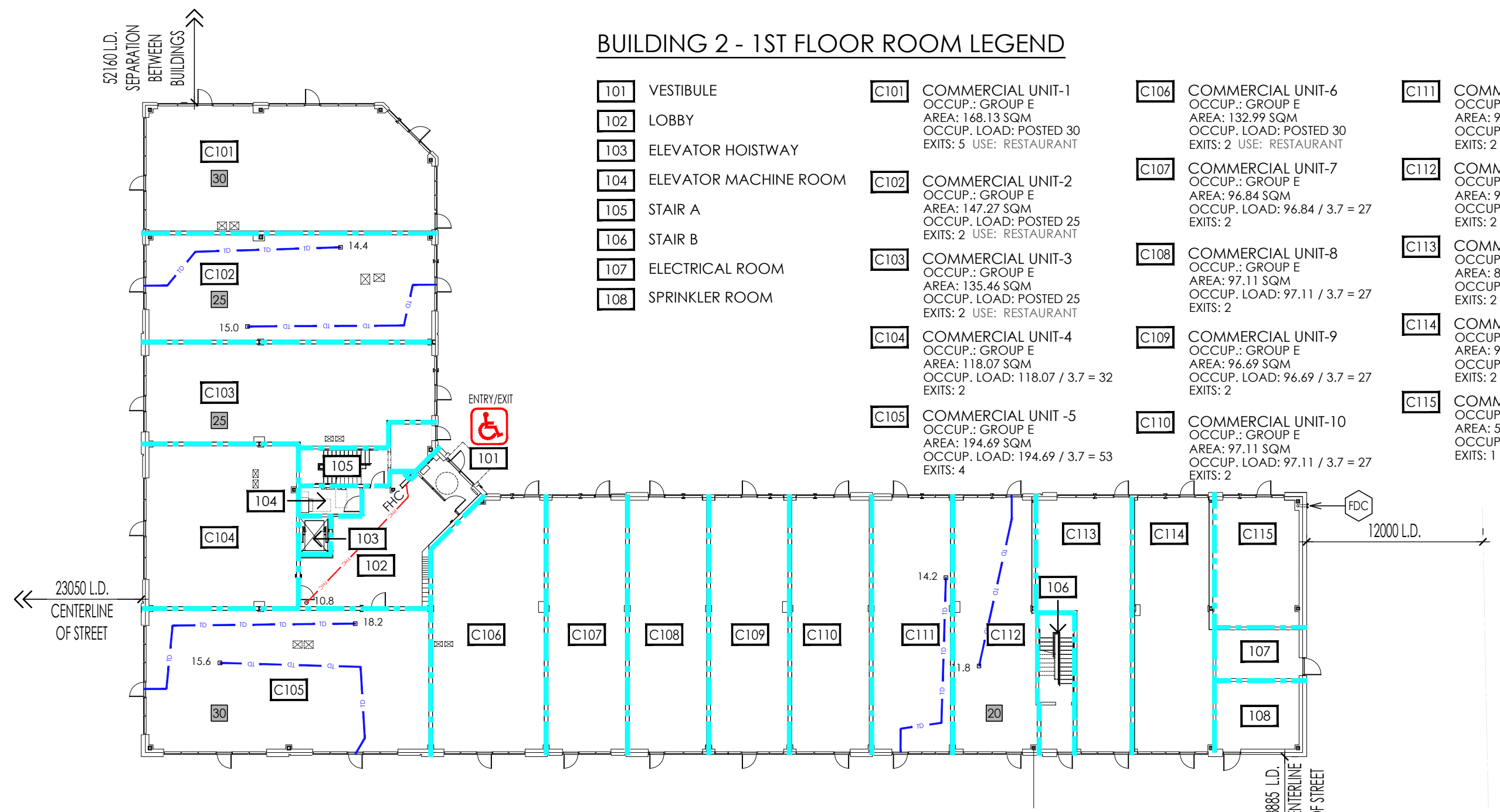
LEGEND



BUILDING 1 - SCHEMATIC SECTION



BUILDING 2 - SCHEMATIC SECTION



BUILDING 2 - 1ST FLOOR ROOM LEGEND

- 101 VESTIBULE
- 102 LOBBY
- 103 ELEVATOR HOISTWAY
- 104 ELEVATOR MACHINE ROOM
- 105 STAIR A
- 106 STAIR B
- 107 ELECTRICAL ROOM
- 108 SPRINKLER ROOM
- C101 COMMERCIAL UNIT-1
OCCUP.: GROUP E
AREA: 168.13 SQM
OCCUP. LOAD: POSTED 30
EXITS: 5 USE: RESTAURANT
- C102 COMMERCIAL UNIT-2
OCCUP.: GROUP E
AREA: 96.84 SQM
OCCUP. LOAD: POSTED 25
EXITS: 2 USE: RESTAURANT
- C103 COMMERCIAL UNIT-3
OCCUP.: GROUP E
AREA: 147.27 SQM
OCCUP. LOAD: POSTED 25
EXITS: 2 USE: RESTAURANT
- C104 COMMERCIAL UNIT-4
OCCUP.: GROUP E
AREA: 135.46 SQM
OCCUP. LOAD: POSTED 25
EXITS: 2 USE: RESTAURANT
- C105 COMMERCIAL UNIT-5
OCCUP.: GROUP E
AREA: 118.07 SQM
OCCUP. LOAD: POSTED 25
EXITS: 2 USE: RESTAURANT
- C106 COMMERCIAL UNIT-6
OCCUP.: GROUP E
AREA: 132.99 SQM
OCCUP. LOAD: POSTED 30
EXITS: 2
- C107 COMMERCIAL UNIT-7
OCCUP.: GROUP E
AREA: 96.84 SQM
OCCUP. LOAD: 96.84 / 3.7 = 27
EXITS: 2
- C108 COMMERCIAL UNIT-8
OCCUP.: GROUP E
AREA: 97.11 SQM
OCCUP. LOAD: 97.11 / 3.7 = 27
EXITS: 2
- C109 COMMERCIAL UNIT-9
OCCUP.: GROUP E
AREA: 96.69 SQM
OCCUP. LOAD: 96.69 / 3.7 = 27
EXITS: 2
- C110 COMMERCIAL UNIT-10
OCCUP.: GROUP E
AREA: 97.11 SQM
OCCUP. LOAD: 97.11 / 3.7 = 27
EXITS: 2
- C111 COMMERCIAL UNIT-11
OCCUP.: GROUP E
AREA: 96.87 SQM
OCCUP. LOAD: 96.87 / 3.7 = 27
EXITS: 2
- C112 COMMERCIAL UNIT-12
OCCUP.: GROUP E
AREA: 98.51 SQM
OCCUP. LOAD: POSTED 20
EXITS: 2 USE: RESTAURANT
- C113 COMMERCIAL UNIT-13
OCCUP.: GROUP E
AREA: 89.36 SQM
OCCUP. LOAD: 89.36 / 3.7 = 25
EXITS: 2
- C114 COMMERCIAL UNIT-14
OCCUP.: GROUP E
AREA: 94.53 SQM
OCCUP. LOAD: 94.53 / 3.7 = 26
EXITS: 2
- C115 COMMERCIAL UNIT-15
OCCUP.: GROUP E
AREA: 88.36 SQM
OCCUP. LOAD: 88.36 / 3.7 = 16
EXITS: 1

BUILDING 2 - 2ND FLOOR ROOM LEGEND

- 201 ELEVATOR HOISTWAY
- 202 STAIR A
- 203 CORRIDOR
- 204 ELECTRICAL ROOM
- 205 VESTIBULE
- 206 CORRIDOR
- 207 WASHROOM
- 208 WASHROOM
- 209 JANITORS CLOSET
- S201 OFFICE UNIT-1
OCCUP.: GROUP D
AREA: 73.86 SQM
OCCUP. LOAD: 73.86 / 9.3 = 8
- S202 OFFICE UNIT-2
OCCUP.: GROUP D
AREA: 59.98 SQM
OCCUP. LOAD: 59.98 / 9.3 = 7
- S203 OFFICE UNIT-3
OCCUP.: GROUP D
AREA: 87.99 SQM
OCCUP. LOAD: 87.99 / 9.3 = 10
- S204 OFFICE UNIT-4
OCCUP.: GROUP D
AREA: 94.59 SQM
OCCUP. LOAD: 94.59 / 9.3 = 11
- S205 OFFICE UNIT-5
OCCUP.: GROUP D
AREA: 75.26 SQM
OCCUP. LOAD: 75.26 / 9.3 = 9
- S206 OFFICE UNIT-6
OCCUP.: GROUP D
AREA: 60.35 SQM
OCCUP. LOAD: 60.35 / 9.3 = 7
- S207 OFFICE UNIT-7
OCCUP.: GROUP D
AREA: 101.03 SQM
OCCUP. LOAD: 101.03 / 9.3 = 11
- S208 OFFICE UNIT-8
OCCUP.: GROUP D
AREA: 51.40 SQM
OCCUP. LOAD: 51.40 / 9.3 = 6
- S209 OFFICE UNIT-9
OCCUP.: GROUP D
AREA: 51.43 SQM
OCCUP. LOAD: 51.43 / 9.3 = 6
- S210 OFFICE UNIT-10
OCCUP.: GROUP D
AREA: 51.18 / 9.3 = 6
- S211 OFFICE UNIT-11
OCCUP.: GROUP D
AREA: 51.28 SQM
OCCUP. LOAD: 51.28 / 9.3 = 6
- S212 OFFICE UNIT-12
OCCUP.: GROUP D
AREA: 51.11 SQM
OCCUP. LOAD: 51.11 = 6
- S213 OFFICE UNIT-13
OCCUP.: GROUP D
AREA: 51.21 SQM
OCCUP. LOAD: 51.21 / 9.3 = 6
- S214 OFFICE UNIT-14
OCCUP.: GROUP D
AREA: 51.11 SQM
OCCUP. LOAD: 51.11 / 9.3 = 6
- S215 OFFICE UNIT-15
OCCUP.: GROUP D
AREA: 65.01 / 9.3 = 7
- S216 OFFICE UNIT-16
OCCUP.: GROUP D
AREA: 58.66 SQM
OCCUP. LOAD: 58.66 / 9.3 = 7
- S217 OFFICE UNIT-17
OCCUP.: GROUP D
AREA: 47.24 SQM
OCCUP. LOAD: 47.25 / 9.3 = 6

BUILDING 2 - 2ND FLOOR OBC PLAN

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These drawings are not to be used for construction unless noted below as "Issued for Construction".

All work to be carried out in conformance with the Code and bylaws of the authorities having jurisdiction.

The Designer of these plans and specifications gives no warranty or representation to any party about the constructability of the represented by them, all contractors or subcontractors must satisfy themselves when bidding, and of all times that they can properly construct the work represented by these plans.

notes:

ISSUED FOR MINOR VARIANCE 23-09-2025
ISSUED FOR SITE PLAN APPROVAL 19-05-2025
revisions: dd-mm-yyyy

architectural team :

mark zwicker
rushad dastoor

interior design:

planning:
Upper Canada Consultants

structural:
Van EE Engineering Inc.

electrical:
e-Lumen International Inc.

mechanical:
Aegis Engineering Inc.

landscape:
Adesso Design Inc.

site services:
Upper Canada Consultants

owner:

project:
WARREN WOODS
WARREN WOODS COMMERCIAL BLOCK
Niagara Falls, Ontario - L2H 2T6

building 1 & 2
obc matrix and plans

sep. 12, 2025

as shown