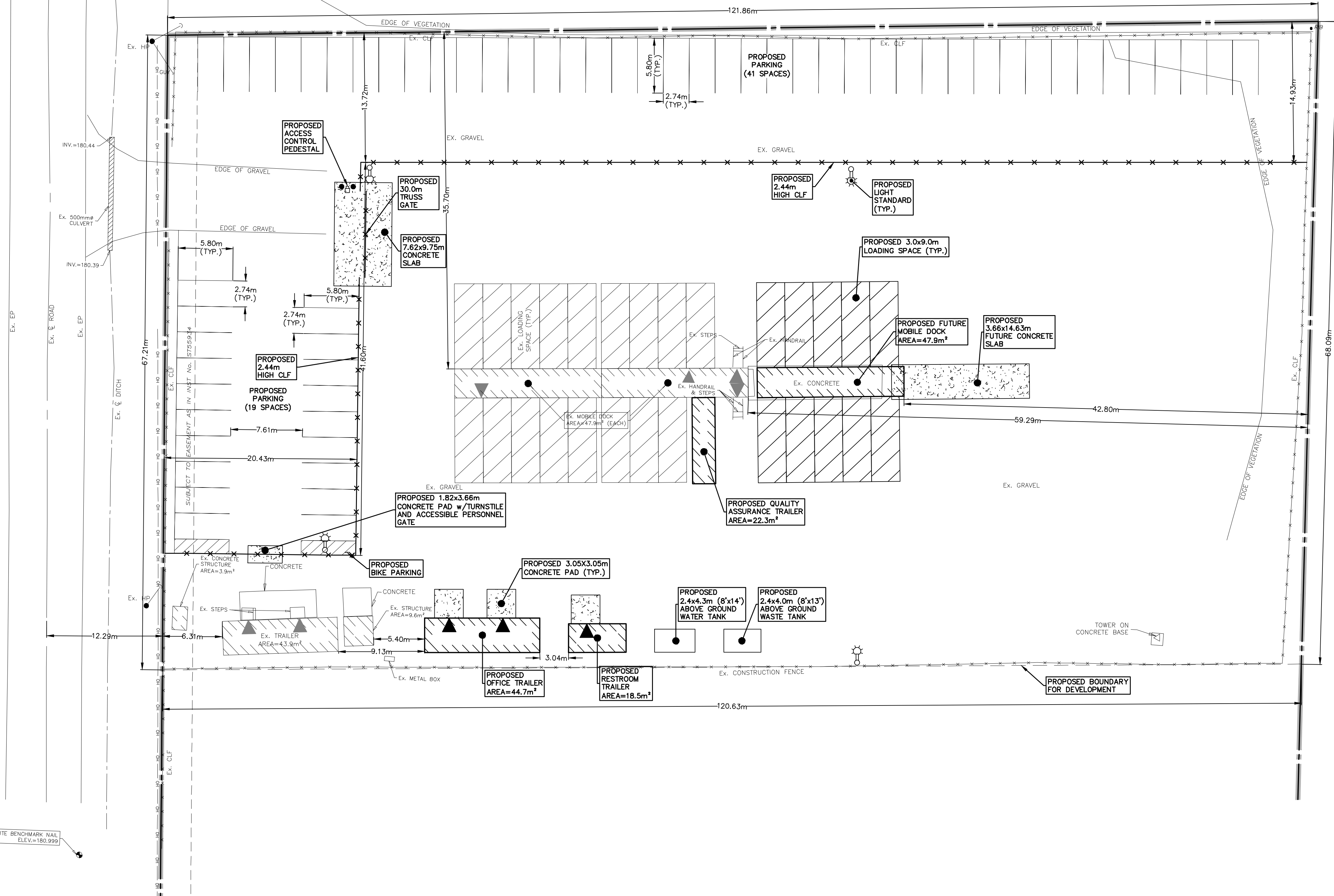


THOROLD TOWN LINE ROAD

LANDS OF ONTARIO HYDRO



SITE BENCHMARK NAIL
ELEV.=180.999

LEGEND OF EXISTING FEATURES

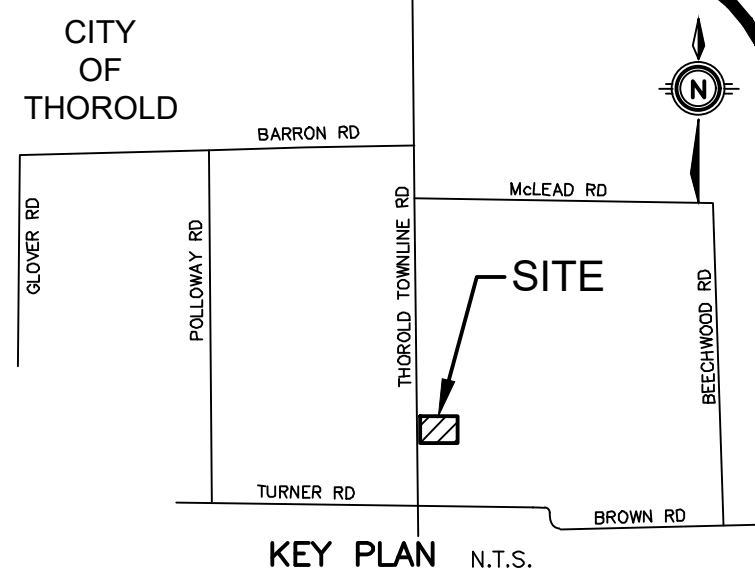
- SITE BOUNDARY
- EASEMENT
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING MAN DOOR

LEGEND OF PROPOSED FEATURES

- PROPOSED BUILDING
- MAN DOOR
- FENCE
- PROP YARD LIGHT
- PROPOSED CONCRETE

ZONING MATRIX

ZONE HI-202	EXISTING	PROPOSED	REQUIREMENT BY ZBL
LOT AREA	8,199.3m ²	8,199.3m ²	4,000.0m ² (MIN.)
LOT FRONTAGE	67.2m	67.2m	30.0m (MIN.)
FRONT YARD SETBACK	-m	NOT APPLICABLE - LANDS SUBJECT TO MINOR VARIANCE DO NOT ABUT BROWN RD	13.0m FROM E OF BROWN RD + 10.0m (MIN.)
LOT COVERAGE	1.9%	3.7%	70.0% (MAX.)
SIDE YARD WIDTH:			
INTERIOR	59.2m	42.8m	3.5m (MIN.)
EXTERIOR	6.3m + 12.3m FROM E OF THOROLD TOWNLINE RD	6.3m + 12.3m FROM E OF THOROLD TOWNLINE RD	7.5m + 13.1m FROM E OF THOROLD TOWNLINE RD (MIN.)
REAR YARD DEPTH	35.7m	35.7m	7.5m (MIN.)
BUILDING HEIGHT		3.9m (FUTURE MOBILE DOCK)	30.0m (MAX.)
BUILDING AREA (GROUND FLOOR AREA)	149.2m ²	306.5m ²	
TOTAL PARKING AREA SPACES	0	60 SPACES	WAREHOUSE=1 PER 90.0m ² ; (143.7/90.0) 2 SPACE OFFICE=1 PER 25.0m ² ; (110.9/25) 5 SPACES OTHER USES=1 PER 40.0m ² ; (819.9/40) 2 SPACES TOTAL = 9 SPACES
TOTAL LOADING SPACES	18	27	300.0m ² - 3,700.0m ² =1
LANDSCAPE OPEN SPACE	GREATER THAN 50.0% OF REQUIRED FRONT YARD	GREATER THAN 50.0% OF REQUIRED FRONT YARD	50.0% OF REQUIRED FRONT YARD AND 50.0% OF THE REQUIRED EXTERIOR SIDE YARD (MIN.)
BICYCLE PARKING SPACES	0	2	1 PER 500.0m ² OF FLOOR AREA FOR NON-RESIDENTIAL USES (254.6/500) 1 SPACE
FENCE SETBACK		13.7m	21.0m FROM ANY BOUNDARY (MIN.)
FENCE HEIGHT	2.44m	2.44m	2.44m (MIN.)



GEODETIC BM ELEV. = 183.750m
ELEVATIONS ARE REFERRED TO THE GEODETIC VERTICAL DATUM (CGVD-1928/1978) AND ARE DERIVED FROM BENCHMARK NO. 00119673579, HAVING A PUBLISHED ELEVATION OF 183.75
SITE BENCHMARK ELEV. = 180.999m
SITE BENCHMARK IS AS SHOWN ON THE FACE OF THE PLAN.

NOTE TO CONTRACTOR :
DO NOT SCALE DRAWINGS.
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

- NOTE:**
- PROPERTY LINE IS APPROXIMATE ONLY AND SHOULD NOT BE USED FOR DETERMINING SETBACKS OR LAYOUT.
 - EXISTING TOPOGRAPHICAL INFORMATION PROVIDED BY MTE CONSULTANTS INC.
 - THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C2.1.

8.		
7.		
6.		
5.		
4.		
3.		
2.	ISSUED FOR ZBA	JRA 2025-08-29
1.	ISSUED FOR MINOR VARIANCE	JRA 2025-08-07
NO. REVISION		BY YYYY-MM-DD



Engineers, Scientists, Surveyors

905-639-2552

CLIENT

N. SANI LTD.

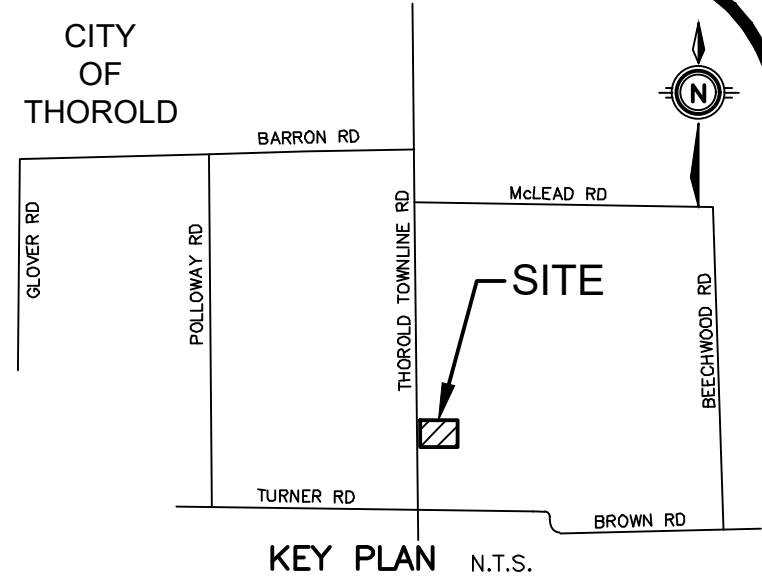
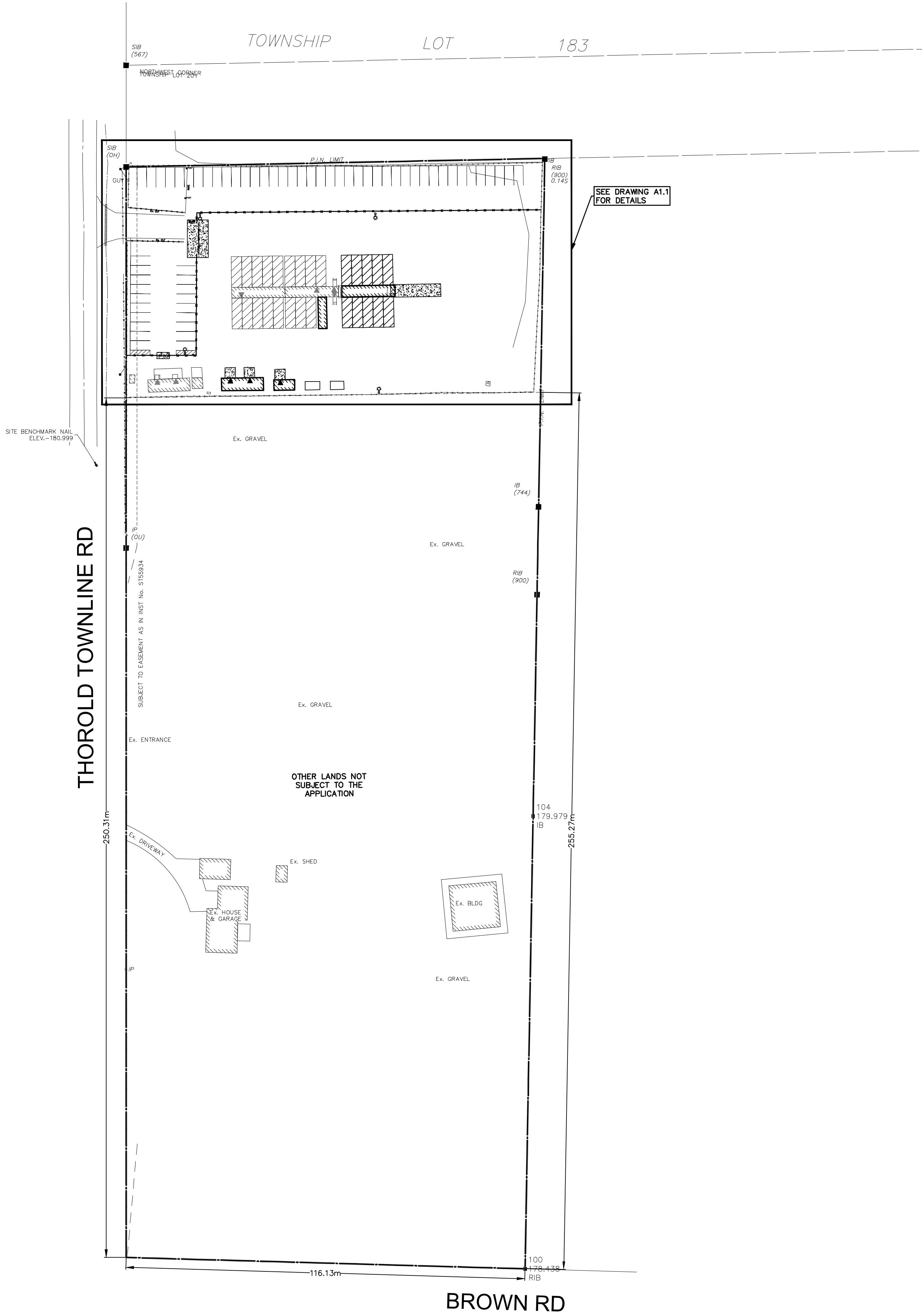
11655 LETELIER MONTREAL, QC

PROJECT
**FEDEX NIAGARA FALLS
MOBILE TRAILER**

7972 THOROLD TOWNLINE ROAD NIAGARA FALLS, ON
DRAWING

SITE PLAN

Project Manager	J.ASZTALOS	Project No.	60760-001
Design By	CKM	Checked By	JRA
Drawn By	AXF	Checked By	JRA
Surveyed By	MTE	Drawing No.	
Date	Aug.05/25	A1.1	
Scale	1:250	Sheet 1 of 2	



GEODETIC BM ELEV. = 183.750m
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No.	REVISION	BY YYYY-MM-DD



Engineers, Scientists, Surveyors

905-639-2552

CLIENT

N. SANI LTD.

11655 LETELLIER MONTREAL, QC

PROJECT

FEDEX NIAGARA FALLS
MOBILE TRAILER
7972 THOROLD TOWNLINE ROAD NIAGARA FALLS, ON

DRAWING

OVERALL
SITE PLAN

Project Manager	J.ASZTALOS	Project No.	60760-001
Design By	CKM	Checked By	JRA
Drawn By	AXF	Checked By	JRA
Surveyed By	MTE	Drawing No.	A1.2
Date	Aug.05/25	Scale	1:750
Scale	1:750	Sheet	2 of 2