

LIST OF DRAWINGS

A001	BUILDING CODE MATRIX, SB 10, EXPOSED BLDG FACE
A100	SITE PLAN
A101	SITE STATISTICS / SITE DETAILS
A102	FIRE SEPARATION PLANS AND SECTION
A200	BASEMENT FLOOR PLAN
A201	GROUND FLOOR PLAN
A202	TYPICAL FLOOR PLAN
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NIAGARA FALLS LUNDY'S LANE MIXED
USE-RESIDENTIAL

8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,
Ontario, Canada

LIST OF CONSULTANTS

ARCHITECT

PODARIU ARCHITECTS
EMAIL:
CRISTINA@PODARIUARCHITECTS.CA
tel: 647-904 5056



PROJECT NO.
2024-11

NIAGARA FALLS LUNDY'S LANE
MIXED USE-RESIDENTIAL

8885-8911 Lundy's Lane Niagara Falls, L2H 1H3, Ontario, Canada

DATE
2025-05-31

ISSUED FOR
SITEPLAN
SUBMISSION



1 East Elev 1

2 East Elev 2

AREA OF EXPOSED BLDG FACE NORTH ELEV = 225.325M
LIMITING DISTANCE = 16.35 m
L/H = 0.64
PERMITD MAX. PERCENTAGE OF OPENINGS = 100%
AREA OF OPENINGS = 41.95 SM
PROPOSED PERCENTAGE OF OPENINGS = 18.6%
NONCOMBUSTIBLE CONSTRUCTION



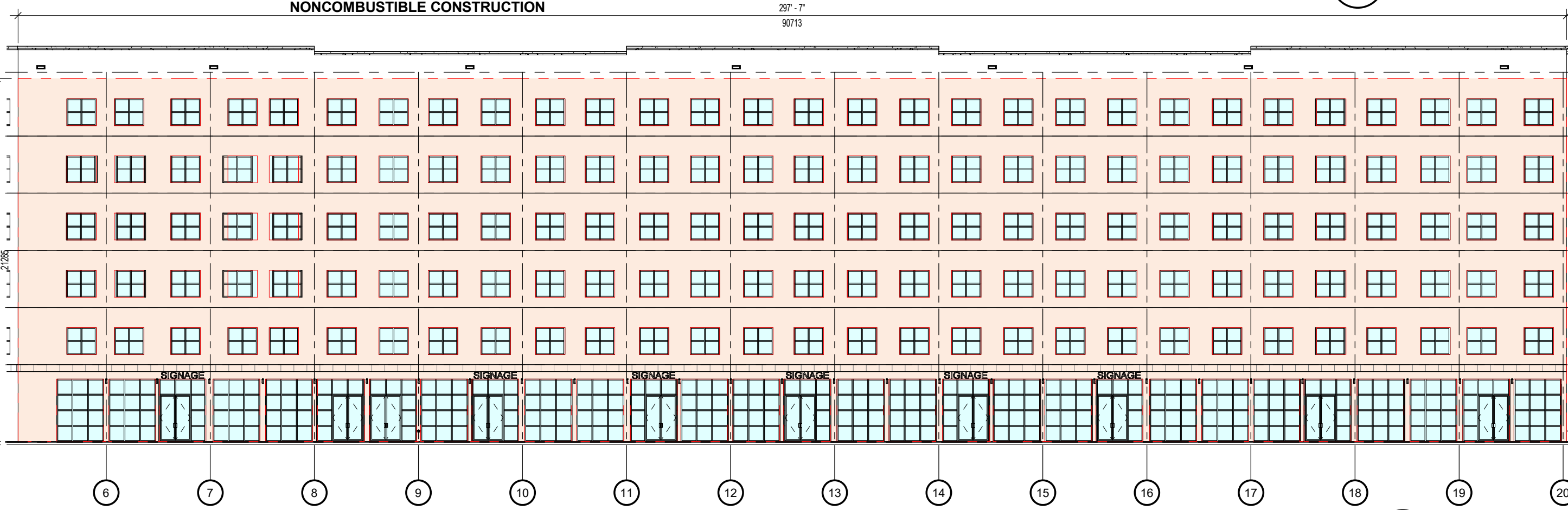
3 North Elev 1

AREA OF EXPOSED BLDG FACE NORTH ELEV = 326.55M
LIMITING DISTANCE = 36.45m
L/H = 0.68
PERMITD MAX. PERCENTAGE OF OPENINGS = 100%
AREA OF OPENINGS = 41.98 SM
PROPOSED PERCENTAGE OF OPENINGS = 12.85%
NONCOMBUSTIBLE CONSTRUCTION



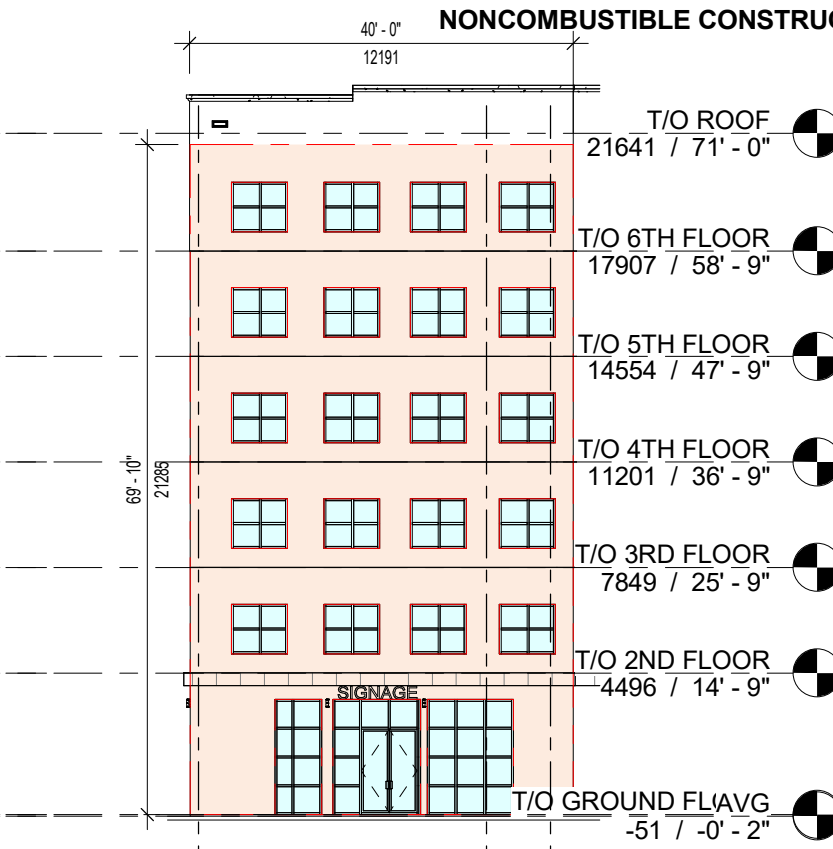
4 North Elev. 2

AREA OF EXPOSED BLDG FACE NORTH ELEV = 1456.5M
LIMITING DISTANCE = 36.45 m
L/H = 3.2
PERMITD MAX. PERCENTAGE OF OPENINGS = 100%
AREA OF OPENINGS = 463.28 SM
PROPOSED PERCENTAGE OF OPENINGS = 31.8%
NONCOMBUSTIBLE CONSTRUCTION



5 South Elev. 1

AREA OF EXPOSED BLDG FACE SOUTH ELEV = 1930.8 SM
LIMITING DISTANCE = 21.2m
L/H = 4.26
PERMITD MAX. PERCENTAGE OF OPENINGS = 100%
AREA OF OPENINGS = 685.2 SM
PROPOSED PERCENTAGE OF OPENINGS = 35.48%
NONCOMBUSTIBLE CONSTRUCTION



6 South Elev. 2

AREA OF EXPOSED BLDG FACE SOUTH ELEV = 259.1 SM
LIMITING DISTANCE = 21.2m
L/H = 0.57
PERMITD MAX. PERCENTAGE OF OPENINGS = 100%
AREA OF OPENINGS = 81.6 SM
PROPOSED PERCENTAGE OF OPENINGS = 31.5%
NONCOMBUSTIBLE CONSTRUCTION



7 West Elev.

AREA OF EXPOSED BLDG FACE WEST ELEV = 867.6 SM
LIMITING DISTANCE = 19m
L/H = 2.05
PERMITD MAX. PERCENTAGE OF OPENINGS = 100%
AREA OF OPENINGS = 286.6 SM
PROPOSED PERCENTAGE OF OPENINGS = 33%
NONCOMBUSTIBLE CONSTRUCTION

OBC DEFINITION: Exposing building face means that part of the exterior wall of a building that faces one direction and is located between ground level and the ceiling of its top storey or, where a building is divided into fire compartments, the exterior wall of a fire compartment that faces one direction.

Ministry of Municipal Affairs SUPPLEMENTARY STANDARD SB-10: ENERGY EFFICIENCY REQUIREMENTS OBC 2012 (2017 AMENDMENT)				THERMAL INSULATION REQUIREMENTS CLIMATE ZONE 5 TABLE SB5.5-5-2017									
OPAQUE ENVELOPE ELEMENTS			NON-RESIDENTIAL				RESIDENTIAL			SEMIHEATED			
			INSULATION MIN. R-VALUE		INSULATION MIN. R-VALUE		INSULATION MIN. R-VALUE						
			REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED					
ROOFS			INSULATION ENTIRELY ABOVE DECK		R-35.0 ci	R-35.0 ci	R-35.0 ci	R-35.0 ci	R-17 ci				
			METAL BUILDING										
			ATTIC & OTHER										
WALLS	ABOVE GRADE	MASS		R-17ci	R-17 ci	R-19 ci	R-18.0 ci						
		METAL BUILDING											
		STEEL FRAME		R-13 +R-15 ci	R-13 +R-15 ci	R-13 +R-15 ci	R-13 +R-15 ci	R-10 ci					
		WOOD FRAMED & OTHER											
	BELOW GRADE	BELOW GRADE WALL		R-15.0 ci	R-15.0 ci	R-15.0 ci	R-15.0 ci	R-7.4 ci	R-10.0 ci				
			MASS		R-16.4 ci	R-16.4 ci	R-18.7 ci	R-18.7 ci	R-7.4 ci				
FLOORS			STEEL JOIST										
			WOOD FRAMED & OTHER										
SLAB-ON-GRADE FLOORS			UNHEATED		R-15 FOR 48"		R-15 FOR 48"		NR		NR		
			HEATED		R-10 FULL SLAB		R-10 FULL SLAB		R-10 FOR 48"				
OPAQUE DOORS			SWINGING		U-0.45	U-0.45	U-0.45	U-0.45	U-0.63				
			NONSWINGING		U-0.45		U-0.45		U-1.31				
FENESTRATION			ASSEMBLY				ASSEMBLY			ASSEMBLY			
			MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC	MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC	MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC		
Vertical Fenestration, 0% - 40% of Wall			NONMETAL FRAMING: ALL		U-0.29	0.40	1.10	U-0.29	U-0.41	NR	NR		
			METAL FRAMING: FIXED		U-0.38			U-0.38					
			METAL FRAMING: OPERABLE		U-0.45			U-0.45					
			METAL FRAMING: ENTRANCE DOOR		U-0.69			U-0.61					
Skylight, 0% - 3% of Roof			ALL TYPES		U-0.45	0.40	NR	U-0.45	0.40	NR	U-0.88	NR	NR

*ci = continuous insulation, *Ls = liner system, *NR = no requirement.

SB10 ZONE 5
1/4" = 1'-0"

PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY

Name of Practice 2819614 ONTARIO CORPORATION - PODARIU ARCHITECTS		O.Reg. 163/24		LAST CODE AMENDMENT O.Reg. 447/24	
Address 1 180 Westvale Drive, Ontario, N2T1C2		Project Type New Construction		[A] 1.3.3.2	
Address 2		Major Occupancy Classification OCCUPANCY		USE 3.1.2	
Contact CRISTINA PODARIU		C Residential		Residential Units	
Name of Project NIAGARA FALLS LUNDY'S LANE MIXED USE-RESIDENTIAL		A2 Other assembly occupancies		Commercial Space at Ground Floor	
Location/Address 8885-8911 Lundy's Lane, Niagara Falls, L2H 1H3		F3 Low Hazard Industrial		Under Ground Storage Garage	
Date 2025-05-30		NO		[If Yes, provide explanation below, add lines as necessary]	
3.00 BUILDING CODE VERSION		O.Reg. 163/24		LAST CODE AMENDMENT O.Reg. 447/24	
3.01 PROJECT TYPE		New Construction		[A] 1.3.3.2	
3.02 MAJOR OCCUPANCY CLASSIFICATION		OCCUPANCY		USE 3.1.2	
		C Residential		Residential Units	
		A2 Other assembly occupancies		Commercial Space at Ground Floor	
		F3 Low Hazard Industrial		Under Ground Storage Garage	
3.03 SUPERIMPOSED MAJOR OCCUPANCIES		NO		[If Yes, provide explanation below, add lines as necessary]	
3.04 BUILDING AREA (m²)		DESCRIPTION		EXISTING NEW TOTAL [A] 1.4.1.2	
		New Building		0.00 2131.30 2,131.3	
		TOTAL		2,131.3 2,131.3	
3.05 GROSS AREA (m²)		DESCRIPTION		EXISTING NEW TOTAL [A] 1.4.1.2	
		6 Storeys Building		13939.90 13,939.9	
		TOTAL		13,939.9 13,939.9	
3.06 MEZZANINE AREA (m²)		DESCRIPTION		MEZZ TYPE EXISTING N/A NEW N/A TOTAL 3.2.1.1	
		TOTAL		-	
3.07 BUILDING HEIGHT		6 STOREYS ABOVE GRADE		24.53 (m) ABOVE GRADE [A] 1.4.1.2 & 3.2.1.1	
		1 STOREYS BELOW GRADE		3.2.1.1	
3.08 HIGH BUILDING		No		3.2.6	
3.09 NUMBER OF STREETS/ FIREFIGHTER ACCESS		2 STREET(S)		3.2.2.10 & 3.2.5	
3.10 BUILDING CLASSIFICATION (SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY)		3.2.2.49 Group C, up to 6 Storeys, Sprinklered, Noncombustible Construction		3.2.2.20-83	
		3.2.2.24 Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered			
		3.2.2.84 Group F, Division 3, up to 6 Storeys, Sprinklered			
3.11 SPRINKLER SYSTEM		Required PROVIDED: Entire Building		3.2.1.5 & 3.2.2.17, 3.2.2.18, 3.2.4.8, to 3.2.4.10 and 3.2.5.13	
		DESCRIBE The Building has an automatic sprinkler system electrically supervised, an annunciator will be installed next to main entrance.			
3.12 STANDPIPE SYSTEM		Required		3.2.5.8, 3.2.9	
3.13 FIRE ALARM SYSTEM		Required		TYPE PROVIDED Two Stage 3.2.4	
3.14 WATER SERVICE/ SUPPLY IS ADEQUATE		Yes		3.2.5.7	
3.15 CONSTRUCTION TYPE		BASED ON 3.2.2.49		3.2.2.20-83	
		RESTRICTIONS Noncombustible Required			
		ACTUAL Noncombustible		HEAVY TIMBER CONSTRUCTION 3.2.1.4	
3.16 IMPORTANCE CATEGORY		Normal		4.1.2.1 (3), 74.1.2.1.9	
3.17 SEISMIC CATEGORY		SEISMIC CATEGORY -		4.1.8.4 (1)	
		SITE CLASS -		74.1.8.5-8	
		SEISMIC DESIGN REQUIRED FOR Table 4.1.8.18, Items 6 to 22: Required		4.1.8.18 (2)	
		REASON FOR REQUIREMENT NEITHER SC1 NOR SC2			
3.18 OCCUPANT LOAD		FLOOR LEVEL/AREA		OCCUPANCY TYPE	
		Basement		Parking	
		Ground Floor		Commercial space, amenities	
		2nd Floor		Residential Units	
		3rd Floor		Residential Units	
		4th Floor		Residential Units	
		5th Floor		Residential Units	
		6th Floor		Residential Units	
		TOTAL		403	
3.19 BARRIER-FREE DESIGN		Yes		Universal Washroom at Ground Level, and 15% units are Barrier-Free	
		BARRIER-FREE ENTRANCES 2		Main entrance from Lundy's lane and back entrance to be Barrier-Free	
3.20 HAZARDOUS SUBSTANCES		-		3.3.1.2 & 3.3.1.19	
3.21 REQUIRED FIRE RESISTANCE RATINGS		HORIZONTAL ASSEMBLY		RATING (H) SUPPORTING ASSEMBLY (H) NONCOMBUSTIBLE IN LIEU OF RATING?	
		STOREYS BELOW GRADE		1.00 1.00 YES	
		FLOORS OVER BASEMENT		1.00 1.00 YES	
		FLOORS		1.00 1.00 YES	
		MEZZANINE		-	
		ROOF		-	
3.22 SPATIAL SEPARATION		EXPOSING BUILDING FACE (m²)		L.D. (m) L/H OR HL % UPO PERMITTED /ACTUAL REQUIRED FRR (H) CONSTRUCTION TYPE CLADDING TYPE 3.2.3.	
		NORTH 326.5+1456		36.45 0.88; 3.2 100% /31.8% - Noncombustible Req'd Noncombustible Req'd	
		SOUTH 1930+259.1		21.00 4.26; 0.57 100% /22% - Noncombustible Req'd Noncombustible Req'd	
		EAST 225.3+442.3		3.89 0.64; 0.97 22% /8.14% - Noncombustible Req'd Noncombustible Req'd	
		WEST 867.6		19.00 2.05 100%/33% - Noncombustible Req'd Noncombustible Req'd	
3.23 PLUMBING FIXTURE REQUIREMENTS		RATIO: MALE/FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE		3.7.4, 3.8.2.3, Tables 3.8.2.3.A, and 3.8.2.3.B	
		FLOOR LEVEL OR AREA		OCCUPANT LOAD (PERSONS) OBC SENTENCE WATER CLOSETS REQUIRED WATER CLOSETS PROVIDED BARRIER-FREE WATER CLOSETS REQUIRED/ PROVIDED UNIVERSAL WASHROOMS REQUIRED/ PROVIDED	
		In accordance with 3.7.4.5, Plumbing Fixtures for dwelling units. The Assembly Occupancy will be provided with the minimum required numbers of rough-ins for future fit-up of spaces.			
3.24 ENERGY EFFICIENCY		COMPLIANCE PATH: CLIMATE ZONE: 5		DEGREE DAYS BELOW 18 C: 3600 SB-1 Table 2	
3.25 SOUND TRANSMISSION DESIGN		IS THERE MORE THAN 1 DWELLING UNIT IN THE BUILDING?: YES		NOTES: OPTION IMPLEMENTED: Min. STC rating of 50 based on SB-3 and 9.11.1.4	
3.26 ALTERNATIVE SOLUTIONS				[A] 2.1.1, and [C] 2.1	
3.27 NOTES					

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3270 Prospect st, Burlington, ON

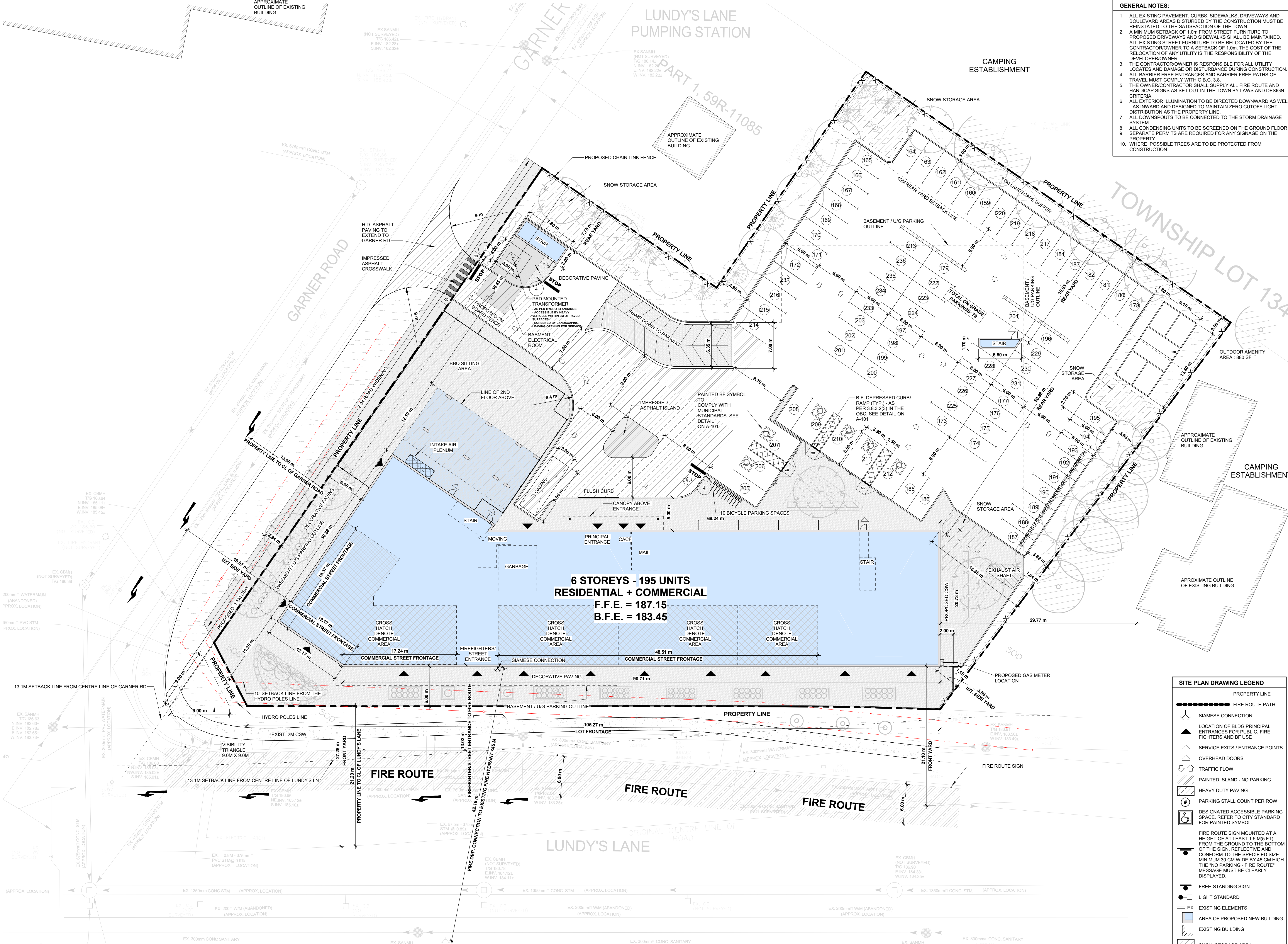
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GENERAL NOTES:
DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS SHOWN. THE CONTRACTOR MUST CHECK ALL DRAWINGS AND VERIFY ALL DIMENSIONS ON THE JOB. ALL STEEL ANGLES SUPPORTING BRICK VENEER TO HAVE MIN. 6" BEARING @ ENDS. TYP.
ALL STRUCTURAL MEMBERS TO HAVE MIN. REQUIRED BEARING.
ALL ELECTRICAL WORK TO BE COMPLETED AS PER O.B.C.
PROVIDE TWO COATS OF ASPHALT DAMPROOFING TO ALL BELOW GRADE FOUNDATION WALLS.
PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS BELOW GRADE.
ENSURE MIN. 6" HEADROOM CLEARANCE BELOW DUCTS / BULKHEADS / BEAMS.
PROVIDE VENTING TO EXTERIOR FOR ALL BATHROOMS & DRYERS. GAS FIREPLACES AND RANGE HOODS ARE TO BE VENTED TO EXTERIOR w/ NON-COMBUSTIBLE AND CORROSION RESISTANT DUCTWORK.
SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AND IN EACH BEDROOM. THEY SHALL BE INTERCONNECTED AND HAVE A VISUAL SIGNALING COMPONENT. INTERCONNECT CARBON MONOXIDE DETECTORS ON BEDROOM FLOORS.
PROVIDE SOLID BLOCKING IN BATHROOM WALLS FOR FUTURE GRAB BAR INSTALLATION.
NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS. 5/8" THICK SHEATHING GLUED & SCREWED UNLESS OTHERWISE NOTED.
INTERIOR DOORS TO BE UNDERCUT 3/4" FOR ROOMS WITHOUT A RETURN AIR.
THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.

REGULAR MAINTENANCE IS NECESSARY AND BUDGET FOR THE COSTS TO REPAIR OR REPLACE THE CLADDING AT THE END OF THE DESIGN SERVICE LIFE OF ITS CRITICAL COMPONENTS.

REGULAR MAINTENANCE IS NECESSARY AND BUDGET



- GENERAL NOTES:**
- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN.
 - A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF THE RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
 - THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION. PROPERTY.
 - ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
 - THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN BY LAWS AND DESIGN CRITERIA.
 - ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
 - ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
 - ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
 - SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
 - WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.

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CREDIT NOTES:
THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH FILES 1552022-042 & 20208-1000 PREPARED BY THE LAROCQUE GROUP O.L.S./PROJECT CONSULTANTS/LAND MANAGEMENT DATED JUNE 2023 AND S. LLEWELLYN & ASSOCIATES LIMITED CONSULTING ENGINEERS DATED JANUARY 2022

2819614 ONTARIO CORP - PODARIU ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.

LEGAL LAND DESCRIPTION:
LOT: TOWNSHIP LOT 139
(GEOGRAPHIC TOWNSHIP OF STAMFORD)
CITY OF NIAGARA FALLS
REGIONAL MUNICIPALITY OF NIAGARA

SURVEYOR'S INFO:
1. COMPANY NAME: S. LLEWELLYN & ASSOCIATES LIMITED CONSULTING ENGINEERS
Address: 3228 SOUTH SERVICE RD, SUITE #105 EAST WING, BURLINGTON, ON, L7N 3H8 Phone: 9056316978
E-mail: info@sllewellyn.ca
2. COMPANY NAME: THE LAROCQUE GROUP O.L.S./PROJECT CONSULTANTS/LAND MANAGEMENT
Address: 121 YMAN STREET ST. CATHARINES, ONTARIO/ 6385 COLBORNE STREET, NIAGARA FALLS, ONTARIO
Phone: 905-688-1413 / 905-358-8400
www.larocquegroup.ca

THE PLAN IS COMPILED AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY.
CONCEPT IS PRELIMINARY AND NOT REVIEWED BY THE CITY.

ABBREVIATIONS

B	BOLLARD
BALC	BALCONY
BF	BARRIER FREE
BFFE	BASEMENT FFE
CD	CURB DEPRESSION
CSW	CONCRETE SIDEWALK
EX	EXISTING
H.D.	HEAVY DUTY PAVEMENT
L.D.	LIGHT DUTY PAVEMENT
PFH	PROPOSED FIRE HYDRANT
FFE	FINISHED FLOOR ELEVATION
FI	FIRE HYDRANT
FRS	FIRE ROUTE SIGN
FYSB	FRONT YARD BUILDING SETBACK
GFA	GROSS FLOOR AREA
HDP	HEAVY DUTY PAVING
ISYSB	INTERIOR SIDE YARD SETBACK
LAND	LANDSCAPE
LDP	LIGHT DUTY PAVING
LB	LIGHT BOLLARD
LS	LIGHT STANDARD
PROV	PROVIDED
REQD	REQUIRED
RYSB	REAR YARD BUILDING SETBACK
SDWK	SIDEWALK
TWSI	Tactile Walking Surface Indicators
TBD	TO BE DETERMINED
TBR	TO BE REMOVED
UP	UTILITY POLE

KEY PLAN - NTS

NOT ISSUED FOR CONSTRUCTION

2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-16

No. By Description Date YY-MM-DD

ISSUANCE SCHEDULE

SITE PLAN DRAWING LEGEND

- PROPERTY LINE
- FIRE ROUTE PATH
- SIAMSESE CONNECTION
- LOCATION OF BLDG PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BF USE
- SERVICE EXITS / ENTRANCE POINTS
- OVERHEAD DOORS
- TRAFFIC FLOW
- PAINTED ISLAND - NO PARKING
- HEAVY DUTY PAVING
- PARKING STALL COUNT PER ROW
- DESIGNATED ACCESSIBLE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL
- FIRE ROUTE SIGN MOUNTED AT A HEIGHT OF AT LEAST 1.5 M (5 FT) FROM THE GROUND TO THE BOTTOM OF THE SIGN. REFLECTIVE AND CONFORM TO THE SPECIFIED SIZE. MINIMUM 30 CM WIDE BY 45 CM HIGH. THE "NO PARKING - FIRE ROUTE" MESSAGE MUST BE CLEARLY DISPLAYED.
- FREE-STANDING SIGN
- LIGHT STANDARD
- EXISTING ELEMENTS
- AREA OF PROPOSED NEW BUILDING
- EXISTING BUILDING
- SNOW STORAGE AREA
- FIRE ROUTE

CLIENT: M5V The Lundy Inc.

PROJECT

NIAGARA FALLS LUNDY'S LANE MIXED USE-RESIDENTIAL
8885-8911 Lundy's Lane Niagara Falls, L2H 1H3, Ontario, Canada

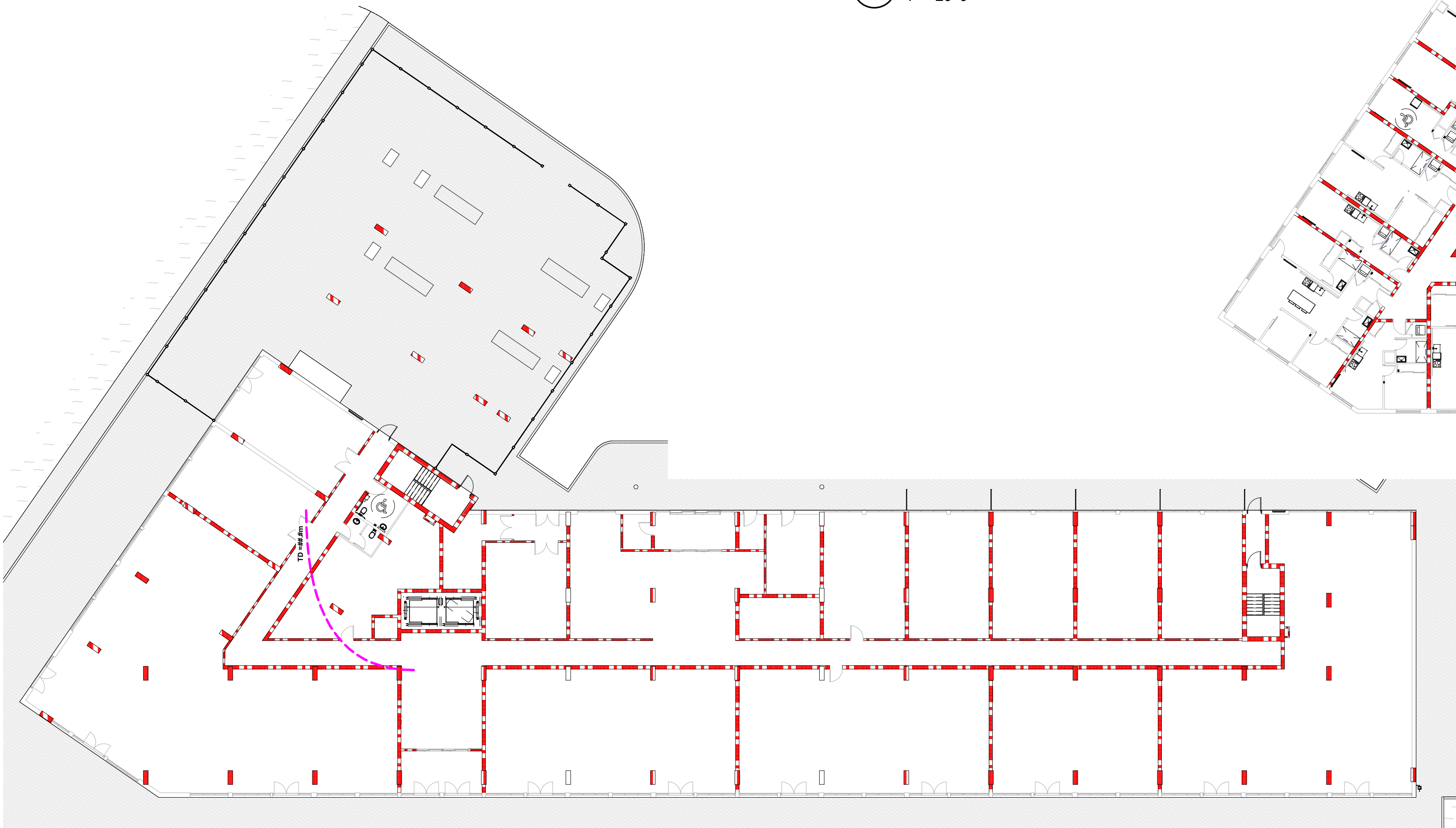
DRAWING TITLE

SITE PLAN

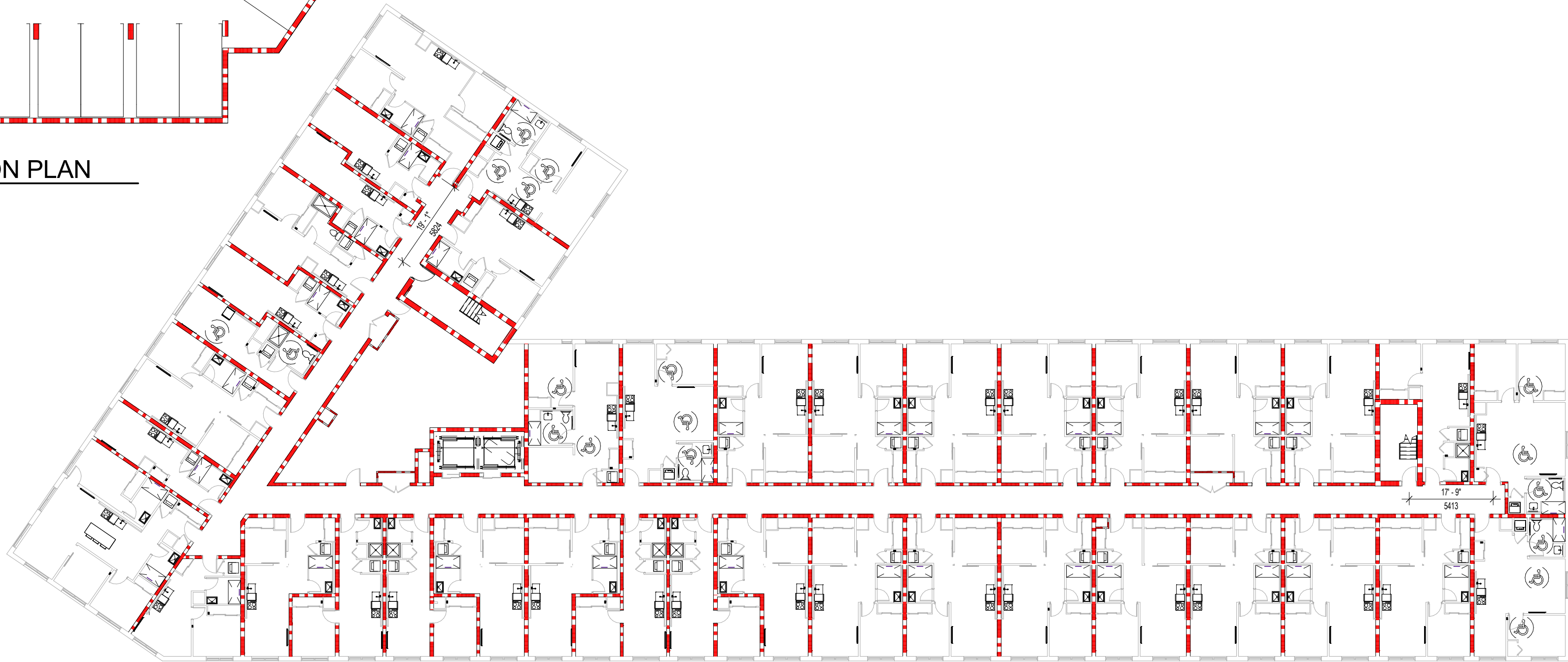
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DRAWN BY:	HH	A100
ISSUE DATE:	2025-05-31	



1 BASEMENT FIRE SEPARATION PLAN
1" = 20'-0"



2 GROUND FLOOR FIRE SEPARATION PLAN
1" = 20'-0"



3 TYPICAL FLOOR FIRE SEPARATION PLAN
1" = 20'-0"

FIRE SEPARATION LEGEND

- 1 HR FIRE RESISTANCE RATING
- 2 HR FIRE RESISTANCE RATING
- 0 HR SMOKE SEAL
- STANDPIPE HOSE LENGTH
= 98.4 FT(30M MAX) + 9.8 FT(3M)
HOSE STREAM
- MAX. TRAVEL DISTANCE
LENGTH = 45M (147'-6")

FIRE SEPARATIONS HAVING A FIRE RESISTANCE RATING

1 HR - SUITE DEMISING WALLS
45MIN - CORRIDOR WALLS AT SUITES
1 HR - EXIT STAIRS
1 HR - SERVICE & ELECTRICAL ROOMS
1 HR - FLOORS
1 HR - COLUMNS & BEAMS SUPPORTING FLOOR ASSEMBLY
0 HR - ROOF

PROVIDE FIRE STOP CAULKING AT TOP, BOTTOM AND PERIMETER OF GYPSUM BOARD AT FIRE RATED PARTITIONS IN ACCORDANCE WITH UL DESIGN.

FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS & LOAD BEARING STRUCTURAL STEEL FOR CLARITY. REFER TO WALL ASSEMBLIES.

GENERAL NOTES:

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SHOWN. THE CONTRACTOR MUST CHECK ALL
DRAWINGS AND VERIFY ALL DIMENSIONS ON THE JOB.
ALL STEEL ANGLES SUPPORTING BRICK VENEER TO
HAVE MIN. 6" BEARING @ ENDS, TYP.
ALL STRUCTURAL MEMBERS TO HAVE MIN. REQUIRED
BEARING.
ALL ELECTRICAL WORK TO BE COMPLETED AS PER
O.B.C.
PROVIDE TWO COATS OF ASPHALT DAMPROOFING
TO ALL BELOW GRADE FOUNDATION WALLS.
PROVIDE APPROVED DRAINAGE LAYER TO
FOUNDATION WALLS BELOW GRADE.
ENSURE MIN. 6'-0" HEADROOM CLEARANCE BELOW
DUCTS / BULKHEADS / BEAMS.
PROVIDE VENTING TO EXTERIOR FOR ALL
BATHROOMS & DRYERS. GAS FIREPLACES AND
RANGE HOODS ARE TO BE VENTED TO EXTERIOR w/
NON-COMBUSTIBLE AND CORROSION RESISTANT
DUCTWORK.
SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR
LEVEL AND IN EACH BEDROOM. THEY SHALL BE
INTERCONNECTED AND HAVE A VISUAL SIGNALLING
COMPONENT. INTERCONNECT CARBON MONOXIDE
DETECTORS ON BEDROOM FLOORS.
PROVIDE SOLID BLOCKING IN BATHROOM WALLS FOR
FUTURE GRAB BAR INSTALLATION.
NON-LOADBEARING WALLS PARALLEL TO THE FLOOR
JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH
THE WALL OR ON BLOCKING BETWEEN THE JOISTS.
5/8" THICK SHEATHING GLUED & SCREWED UNLESS
OTHERWISE NOTED.
INTERIOR DOORS TO BE UNDERCUT 3/4" FOR ROOMS
WITHOUT A RETURN AIR.
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ANY RESULTING COSTS DUE TO CONSTRUCTION
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REGULAR MAINTENANCE IS NECESSARY AND BUDGET
FOR THE COSTS TO REPAIR OR REPLACE THE CLADDING
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NOT ISSUED FOR
CONSTRUCTION

2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-16
No.	By	Description	Date YY-MM-DD

ISSUANCE SCHEDULE

PROJECT N

PROFESSIONAL
CERTIFICATION
OF
ARCHITECTS
OF
ONTARIO
FLORINA CRISTINA PODARIU
LICENCE
8843

CLIENT: M5V The Lundy Inc.

PROJECT

NIAGARA FALLS
LUNDY'S LANE MIXED
USE-RESIDENTIAL
8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,
Ontario, Canada

DRAWING TITLE

FIRE SEPARATION
PLANS AND SECTION

SCALE:	As indicated	SHEET
DRAWN BY:	Author	A102
ISSUE DATE:	2025-05-31	

DEVELOPMENT STATISTICS (LUNDY'S LANE)				
	SM	SF	ACRES	%
GROSS SITE AREA	9,261.8	99,693.3	2.289	
ROAD WIDENING (2.94m)	255.4	2,748.9	0.063	
NEW GROSS SITE AREA	9,006.4	96,944.5	2.226	100%
LANDSCAPING AREAS	490.2	5,276.9	0.121	5.4%
LANDSCAPE DECORATIVE PAVING	401.1	4,317.5	0.099	4.5%
TOTAL LANDSCAPE OPEN SPACE	891.4	9,594.4	0.220	9.9%
ASPHALT AREA	3,488.5	37,550.1	0.862	38.7%
MISC (CURBS WALKWAYS ETC.)	2,311.7	24,882.7	0.571	25.7%
GROUND (Bldg Outline) (Lot coverage)	2,131.3	22,940.7	0.527	23.7%
STAIRS AND AIR SHAFTS	45.0	484.3	0.011	0.5%
EXPOSED RAMP	138.6	1,492.2	0.034	1.5%
TOTAL LOT COVERAGE	2,314.9	24,917.2	0.572	25.7%
GROSS CONSTRUCTION AREA (GCA)	13,939.9	150,047.7	3.445	154.8%
GROSS CONSTRUCTION AREA WITH U/G PARKING AREA	20,282.8	218,322.0	5.012	

TOTAL SALEABLE AREA CALCULATION			
TOTAL DWELLING AREA	9,975.4	107,373.8	
TOTAL COMMERCIAL AREA	807.1	8,687.1	
TOTAL SALEABLE AREA	10,782.4	116,060.9	

PARKING CALCULATION				
TOTAL PARKING REQUIRED AS PER NEW	SM/UNITS	RATIO	PER	TOTAL
Residential - UNIT	195	1.1		215
COMMERCIAL - SM	807.1	29.0	1	28
Shared btw commercial and residential				-7
TOTAL REQUIRED 4.19.1				236
PROPOSED PARKING RATES				TOTAL
U/G PARKING				158
ON GRADE PARKING				79
TOTAL PARKING PROVIDED				237
PARKING SURPLUS				1
LOADING		REQ'D	PROV.	COMPLY
4.20 (Floor Area of Building or Structure Over 300 sq. m but not exceeding 3,700 sq. m)		1	1	YES
ACCESSIBLE PARKING ZONING BY-LAW		REQ'D	PROV.	COMPLY
REQUIRED (201-1000) = 2+2%		7	7	YES
BICYCLE PARKING		REQ'D	PROV.	COMPLY
RESIDENTIAL(.05 / UNIT)		98	98	YES
RETAIL COMMERCIAL - (1/500 SM) - BIKE ROOM		2	2	YES
TOTAL		100	100	YES

STATISTICS/TOTAL							
BUILDING HEIGHT		GROSS CONSTRUCTION AREA (GCA)					
FLOOR LEVELS	FLOOR HEIGHT	GFA SM	GFA SF	AMENITY AREA (SM)	AMENITY AREA (SF)	TOTAL SALEABLE AREA - RESEIDENTIAL (SM)	TOTAL SALEABLE AREA - RESEIDENTIAL (SF)
P1	-3.51	6342.9	68,274.3				
1	4.50	2131.3	22,940.7	1,090.4	11,737.0		
2	3.35	2361.7	25,421.4	107.5	1,157.1	1,995.1	21,474.8
3	3.35	2361.7	25,421.4	107.5	1,157.1	1,995.1	21,474.8
4	3.35	2361.7	25,421.4	107.5	1,157.1	1,995.1	21,474.8
5	3.35	2361.7	25,421.4	107.5	1,157.1	1,995.1	21,474.8
6	3.73	2361.7	25,421.4	107.5	1,157.1	1,995.1	21,474.8
PARAPET	2.90						
	24.53 BLDG. HEIGHT	13939.9	150,047.7	1,627.9	17,522.6	9,975.4	107,373.8
		TOTAL GCA		11.68%		71.56%	
		20282.8	218322.03				
		TOTAL CONSTRUCTION AREA WITH U/G PARKING AREA		AVG AMENITY AREA PER UNIT (SF)	89.9		

UNIT BREAKDOWN								
FLOOR LEVELS	1 BDRM	1 BDRM ACC	2 BDRM	2 BDRM ACC	3 BDRM	STUDIO	STUDIO ACC	TOTAL /FLOOR
P1								
1								
2	12	4	16	1	1	4	1	39
3	12	4	16	1	1	4	1	39
4	12	4	16	1	1	4	1	39
5	12	4	16	1	1	4	1	39
6	12	4	16	1	1	4	1	39
TOTAL UNITS	60	20	80	5	5	20	5	195
	80		85		25			
	30.8%	10.3%	41.0%	2.6%	2.6%	10.3%	2.6%	
	41.0%		43.6%		2.6%	12.8%		
15% ACC					30			
	1 BDRM	1 BDRM ACC	2 BDRM	2 BDRM ACC	3 BDRM	STUDIO	STUDIO ACC	
AVERAGE UNIT SIZE (SF)	942.8	621.4	1332.5	726.1	949.1	331.2	336.9	

ZONING MATRIX - ZONING BY-LAW No. 79-200 and BY-LAW No. 2024-30			
ZONED: TOURIST COMMERCIAL ZONE (rezoned as per by-law No. 2024-30)			
Permitted Uses - TC	REQ'D (SM/M)	PROV.(SM/M)	COMPLY
Residential + Commercial		13,939.9	YES
TOTAL FLOOR AREA		807.1	
TOTAL COMMERCIAL AREA		72%	
% OF TOTAL FLOOR AREA USED FOR DWELLING UNITS	92%	72%	YES
Table 8.6.2	REQ'D (SM/M)	PROV.(SM/M)	
(a) Min. Lot Frontage (Lundy's Lane)	6	105.27	YES
(b) MIN. FRONT YARD (From the centerline of the original road allowance Lundy's Lane)	13.1	MAX 27.28 m AT GRADE AND UPPER LEVELS MIN 21.10 m AT GRADE AND UPPER LEVELS MAX 24.48 m for BASEMENT MIN 16.63 m for BASEMENT	YES
(c.i) MIN. REAR YARD (where any part of the building is used for residential purpose)	10	50.98	YES
(c.ii) MIN. REAR YARD (where no part of the building is used for residential purposes)	3	19.93m EXIT STAIR BLDG. 7.75m EXIST STAIR BLDG.	YES
(d.i) MIN. INTERIOR SIDE YARD (EAST) (Abutting	3	N.A.	N.A.
(d.ii) MIN. INTERIOR SIDE YARD (EAST) (Not Abutting Res,In, OS zones)	N/A	3.89m at GRADE and UPPER FLOORS 1.24m for BASEMENT	YES
(e) MIN. EXTERIOR SIDE YARD (WEST) (from the original centerline of Garner Road)	13.1	19.07m at GRADE and ABOVE GRADE 15.44m for BASEMENT	YES
(f) Max. Lot Coverage	70%	25.7%	YES
(g) Max Buidling Height (as per by-law No. 2024-30)	36.5	24.53	YES
(k) Max floor area for each retail store	400	343	YES
(i) Max total floor area for all retail stores per property	3530	807	YES
PARKING STANDARDS			
PARKING STALL (4.19)	2.75 x 6.0		
ACC.PARKING - DBL LOADED	3.9 x 6.0		
BICYCLE PARKING	1.8 x 0.60 / 1.2X0.6 FOR VERTICAL PARKING		
LOADING STALL DIMENSION	3.0 x 9.0 X 4.0		
MANOUEVERING WITHOUT PARKING	6		
MANOUEVERING DRIVE AISLE (4.19) WITHIN PARKING (ON SURFACE)	6.9		
MANOUEVERING DRIVE AISLE (4.19) - WITHIN PARKING (BUILDING)	6.3		

Under By-law 79-200, Gross Floor Area is defined as:

“The total floor area, measured between the outside of exterior walls, virtual walls or between the outside of exterior walls or virtual walls and the centre line of party walls dividing the building from another building, of

GROUND FLOOR LIVE/WORK AREA			
Number	Name	Area	Area sm
1	LIVE/WORK AREA TBD	617.6 SF	57.38 m²
2	LIVE/WORK AREA TBD	617.2 SF	57.34 m²
3	LIVE/WORK AREA TBD	616.6 SF	57.28 m²
4	LIVE/WORK AREA TBD	616.6 SF	57.28 m²
5	LIVE/WORK AREA TBD	630.5 SF	58.57 m²
Grand total: 5		3098.4 SF	287.85 m²

GROUND FLOOR COMMERCIAL AREA			
Number	Name	Area	Area sm
1	COMMERCIAL	3694.4 SF	343.22 m²
2	COMMERCIAL	1872.2 SF	173.94 m²
3	COMMERCIAL	1872.2 SF	173.94 m²
4	COMMERCIAL	1248.2 SF	115.96 m²
Grand total: 4		8687.0 SF	807.05 m²

TYPICAL FLOOR PLAN EFFICIENCY			
Name	Area (ft²)	Area (m²)	Floor Efficiency
Common area	2778 ft²	258.1 m²	11%
Saleable area	22641 ft²	2103.4 m²	89%

STATISTICS RESIDENTIAL												
FLOOR LEVELS	GFA (TOTAL RESIDENTIAL)		MECHANICAL		ELECTRICAL		STAIR		ELEVATOR		CORRIDOR	
	GFA SM	GFA SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF
2	1995.1	21474.8	2.2	23.9	3.5	37.8	27.1	291.33	15.6	167.7	205.2	2208.6
3	1995.1	21474.8	2.2	23.9	3.5	37.8	27.1	291.33	15.6	167.7	205.2	2208.6
4	1995.1	21474.8	2.2	23.9	3.5	37.8	27.1	291.33	15.6	167.7	205.2	2208.6
5	1995.1	21474.8	2.2	23.9	3.5	37.8	27.1	291.33	15.6	167.7	205.2	2208.6
6	1995.1	21474.8	2.2	23.9	3.5	37.8	27.1	291.33	15.6	167.7	205.2	2208.6
TOTAL	9975.4	107373.8	11.1	119.5	17.6	189.0	135.3	1456.7	77.9	838.6	1025.9	11043.0

STATISTICS COMMERCIAL																
FLOOR LEVELS	GFA (TOTAL COMMERCIAL)		MECHANICAL		GARBAGE		STAIR		ELEVATOR		CORRIDOR		ADMIN		MOVING	
	GFA SM	GFA SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF
1	807.1	8687.0	8.7	94.2	44.5	478.9	27.1	291.3	15.6	167.7	300.3	3232.2	20.8	223.7	21.7	233.9
TOTAL	807.1	8687.0	8.7	94.2	44.5	478.9	27.1	291.3	15.6	167.7	300.3	3232.2	20.8	223.7	21.7	233.9

STATISTICS PARKING																		
FLOOR LEVELS	GFA (TOTAL)		MECHANICAL		ELECTRICAL		STAIR		ELEVATOR		DRIVEWAY		BIKE STORAGE		PARKING		SECURITY ROOM	
	GFA SM	GFA SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF
P1	6342.9	68274.3	137.0	1474.2	67.1	721.8	55.9	602.1	15.6	167.7	2326.9	25046.3	117.5	1264.3	2613.9	28135.8	13.1	140.9
TOTAL	6342.9	68274.3	137.0	1474.2	67.1	721.8	55.9	602.1	15.6	167.7	2326.9	25046.3	117.5	1264.3	2613.9	28135.8	13.1	140.9

GROUND FLOOR AMENITIES		
NAME	AREA SM	AREA SF
AMEN-FITNESS ROOM	289.8	3119.4
AMEN-MAIL/PARCELS	25.4	272.9
AMEN-PARTY ROOM	63.1	679.7
AMEN-PET WASH	6.6	70.6
AMEN-THEATER ROOM	61.4	661.0
AMENITY AREA TBD	71.8	772.7
AMENITY - OUTDOOR	572.3	6160.7
TOTAL: 7	1090.4	11737.0

TYPICAL FLOOR SUITES AREA			
Number	Name	Area	Area (sm)
206-506	1BDRM	496.7 SF	46.14 m²
212-512	1BDRM	424.0 SF	39.39 m²
230-530	1BDRM	471.8 SF	43.84 m²
214-514	1BDRM A	447.4 SF	41.57 m²
215-515	1BDRM A	447.4 SF	41.57 m²
218-518	1BDRM A	445.9 SF	41.43 m²
219-519	1BDRM A	447.4 SF	41.57 m²
202-502	1BDRM ACC	605.4 SF	56.24 m²
228-528	1BDRM ACC	636.3 SF	59.12 m²
238-538	1BDRM ACC	619.6 SF	57.56 m²
239-539	1BDRM ACC	624.3 SF	57.99 m²
213-513	1BDRM B	487.3 SF	45.27 m²
216-516	1BDRM B	484.6 SF	45.02 m²
217-517	1BDRM B	486.1 SF	45.16 m²
220-520	1BDRM B	484.6 SF	45.02 m²
201-501	1BDRM TYPE F	499.3 SF	46.39 m²
209-509	2BDRM	622.4 SF	57.62 m²
221-521	2BDRM	621.4 SF	57.73 m²
222-522	2BDRM	621.4 SF	57.73 m²
223-523	2BDRM	621.4 SF	57.73 m²
224-524	2BDRM	621.4 SF	57.73 m²
225-525	2BDRM	621.4 SF	57.73 m²
226-526	2BDRM	621.4 SF	57.73 m²
227-527	2BDRM	621.4 SF	57.73 m²
231-531	2BDRM	629.1 SF	58.45 m²
232-532	2BDRM	619.6 SF	57.56 m²
233-533	2BDRM	619.6 SF	57.56 m²
234-534	2BDRM	619.6 SF	57.56 m²
235-535	2BDRM	619.6 SF	57.56 m²
236-536	2BDRM	619.6 SF	57.56 m²
237-537	2BDRM	619.6 SF	57.56 m²
229-529	2BDRM ACC	726.1 SF	67.46 m²
203-503	2BDRM TYPE B	711.2 SF	66.07 m²
211-511	3BDRM	949.1 SF	88.18 m²
204-504	STUDIO	333.6 SF	30.99 m²
205-505	STUDIO	332.0 SF	30.85 m²
207-507	STUDIO	347.6 SF	32.29 m²



1 BASEMENT - FLOOR PLAN
A200 1 : 200

ARCHITECT:
PODARIU ARCHITECTS
2819614 Ontario Corporation
3270 Prospect st, Burlington, ON

cristina@podariuarchitects.ca

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ALL ELECTRICAL WORK TO BE COMPLETED AS PER O.B.C.

PROVIDE TWO COATS OF ASPHALT DAMPROOFING TO ALL BELOW GRADE FOUNDATION WALLS.

PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS BELOW GRADE.

ENSURE MIN. 6" HEADROOM CLEARANCE BELOW DUCTS / BULKHEADS / BEAMS.

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ISSUANCE SCHEDULE

PROJECT N

PROFESSIONAL CERTIFICATION

ONTARIO ASSOCIATION OF ARCHITECTS

FLORINA CRISTINA PODARIU
LICENCE 9843

CLIENT: M5V The Lundy Inc.

PROJECT

**NIAGARA FALLS
LUNDY'S LANE MIXED
USE-RESIDENTIAL**
8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,
Ontario, Canada

DRAWING TITLE

**BASEMENT FLOOR
PLAN**

SCALE:	1 : 200	SHEET
DRAWN BY:	HH	A200
ISSUE DATE:	2025-05-31	

GFA: 6342.9 SM
68274.3 SF

PLOT DATE: 2025-05-29 6:50:30 PM

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1	CP	DESIGN DEVELOPMENT	2025-05-16
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ISSUANCE SCHEDULE

PROJECT N



PROFESSIONAL
CERTIFICATION



CLIENT: **M5V The Lundy Inc.**

PROJECT

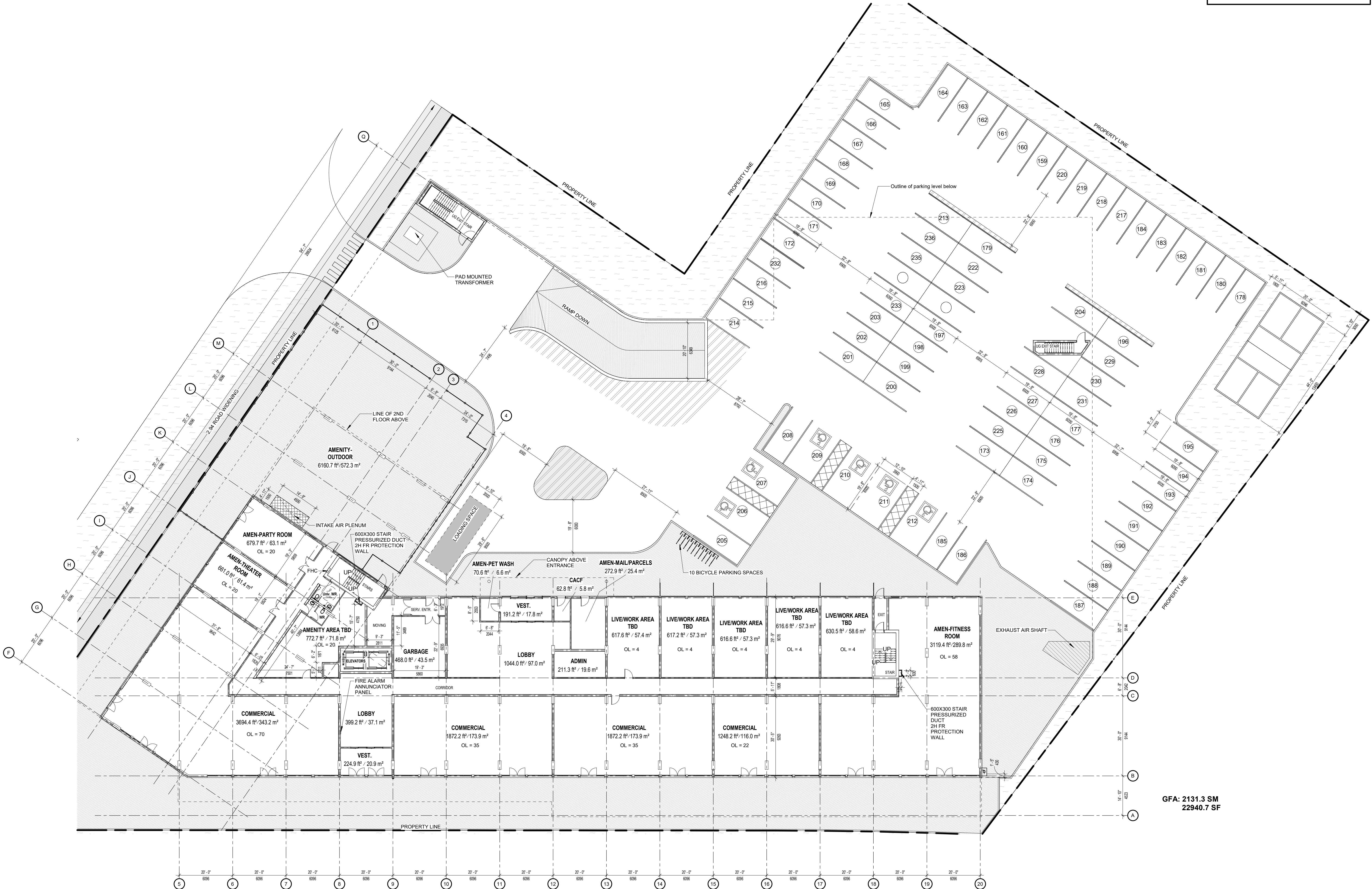
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8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,
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DRAWING TITLE

GROUND FLOOR PLAN

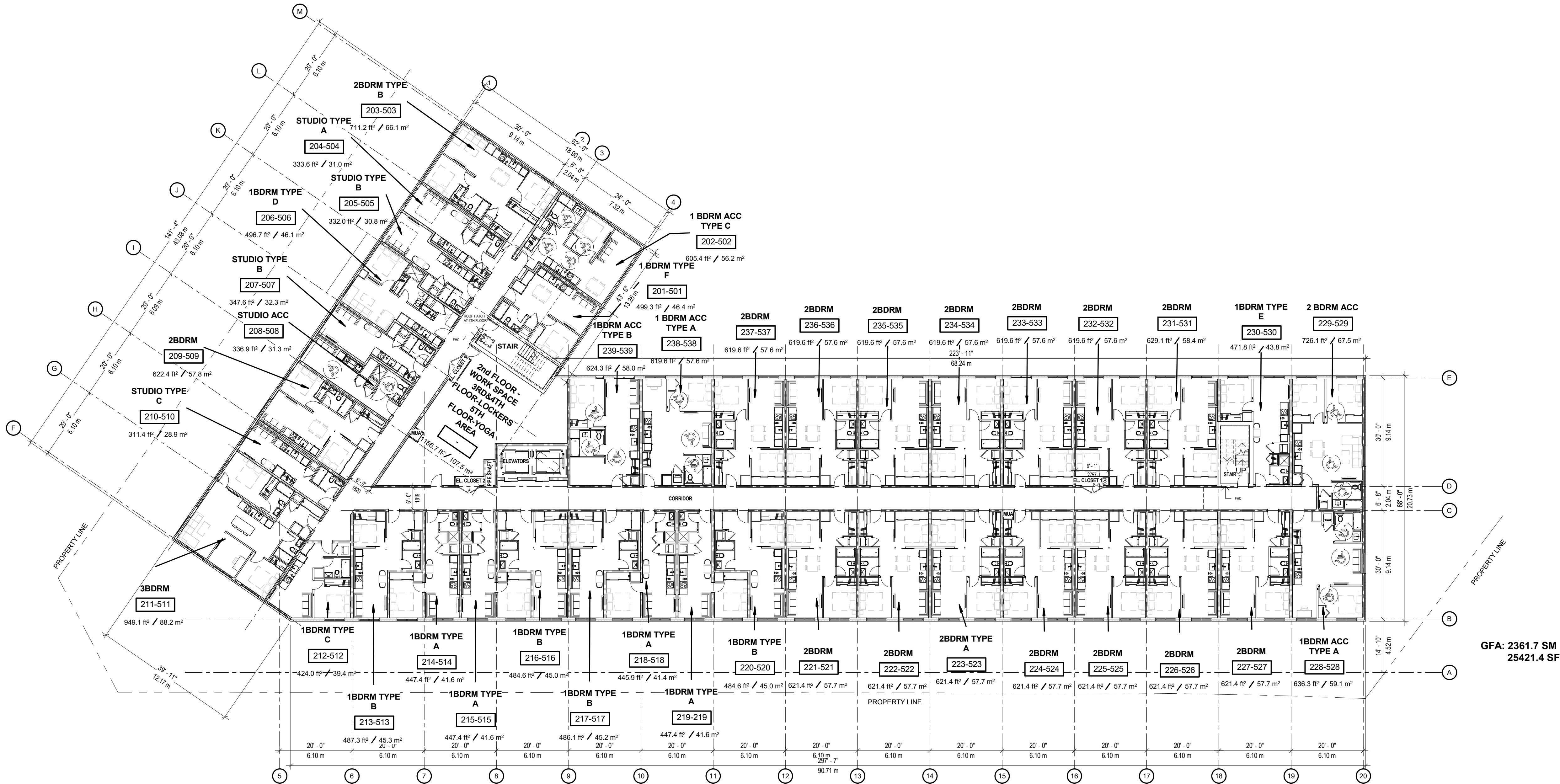
SCALE:	1:200	SHEET
DRAWN BY:	HH	A201
ISSUE DATE:	2025-05-31	



GFA: 2131.3 SM
22940.7 SF

1 T/O GROUND FLOOR
A201 1 : 200

PLOT DATE: 2025-05-30 12:48:56 AM




GFA: 2361.7 SM
25421.4 SF

1 TYPICAL FLOOR PLAN (2nd-6th)
A202 1:200

ARCHITECT:
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2819614 Ontario Corporation
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PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS BELOW GRADE.

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No.	By	Description	Date YY-MM-DD
2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-16

ISSUANCE SCHEDULE



PROJECT N
TRUE N



PROFESSIONAL
CERTIFICATION

ONTARIO ASSOCIATION
OF ARCHITECTS

FLORINA CRISTINA PODARIU
LICENCE 9843

CLIENT: M5V The Lundy Inc.

PROJECT

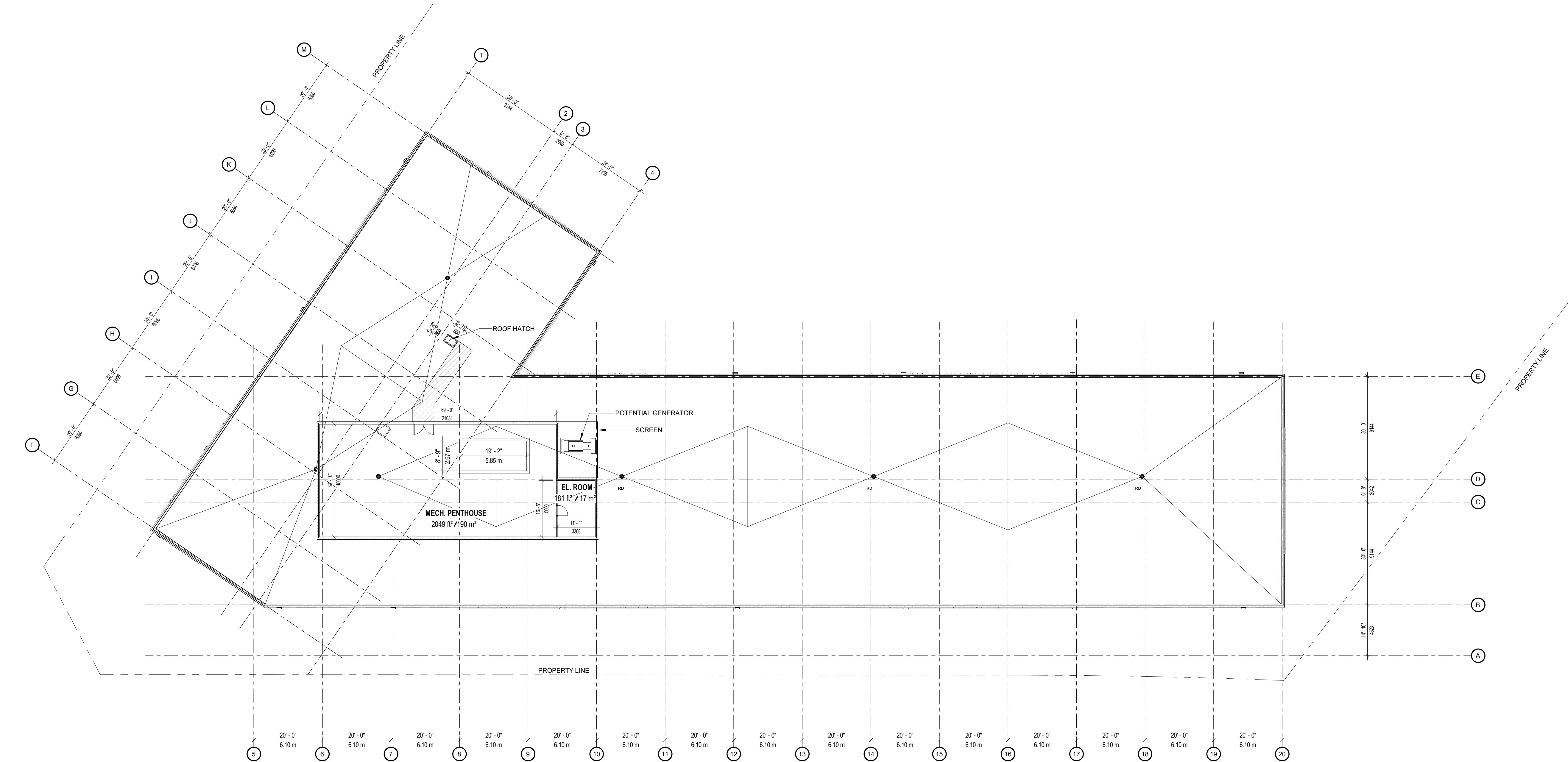
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LUNDY'S LANE MIXED
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DRAWING TITLE

TYPICAL FLOOR PLAN

SCALE:	1:200	SHEET
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ISSUE DATE:	2025-05-31	

PLOT DATE: 2025-05-30 1:44:42 PM



1 T/O ROOF
A203 1 : 200

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LICENCE 9943

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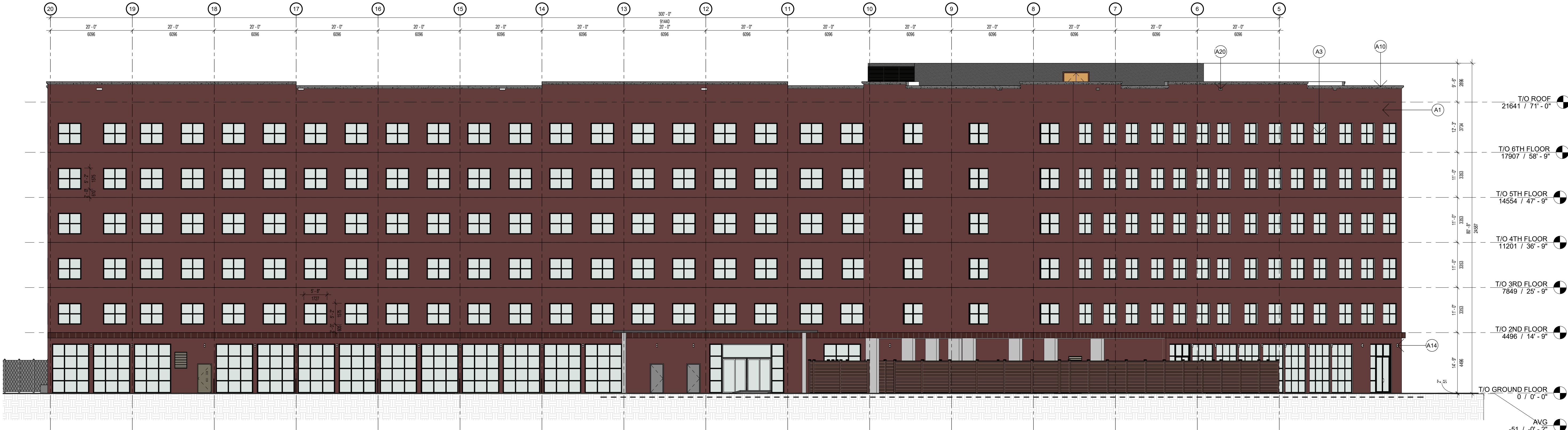
DRAWING TITLE
ROOF PLAN

SCALE: 1 : 200	SHEET
DRAWN BY: HH	A203
ISSUE DATE: 2025-05-31	

PLOT DATE: 2025-05-29 6:51:08 PM

EXTERIOR ELEVATION LEGEND

- A1 MASONRY VENEER RAINSCREEN ASSEMBLY
- A3 WINDOW, ALUMINUM PROFILE, THERMALLY BROKEN FRAME, DUAL GLAZED,
Max U-value=0.45 for operable windows, Max. U-value=0.38 for fixed windows
- A10 CORNICE AND METAL FLASHING
- A14 EXTERIOR LIGHTING
- A15 WALL MOUNTED ILLUMINATED SIGNAGE
- A20 ROOF OVERFLOW SCUPPER



1 NORTH ELEVATION
A301 1:150



2 EAST ELEVATION
A301 1:150

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FLORINA CRISTINA PODARIU
LICENCE 9943

CLIENT: **M5V The Lundy Inc.**

PROJECT

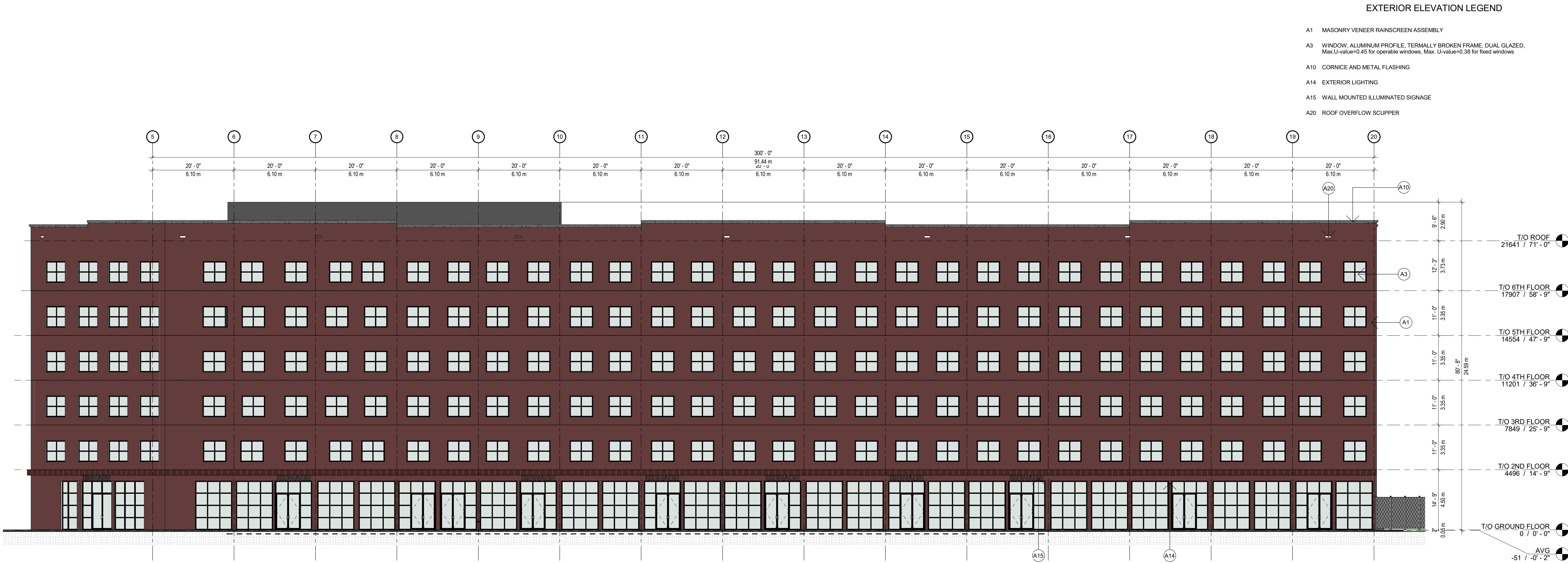
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LUNDY'S LANE MIXED
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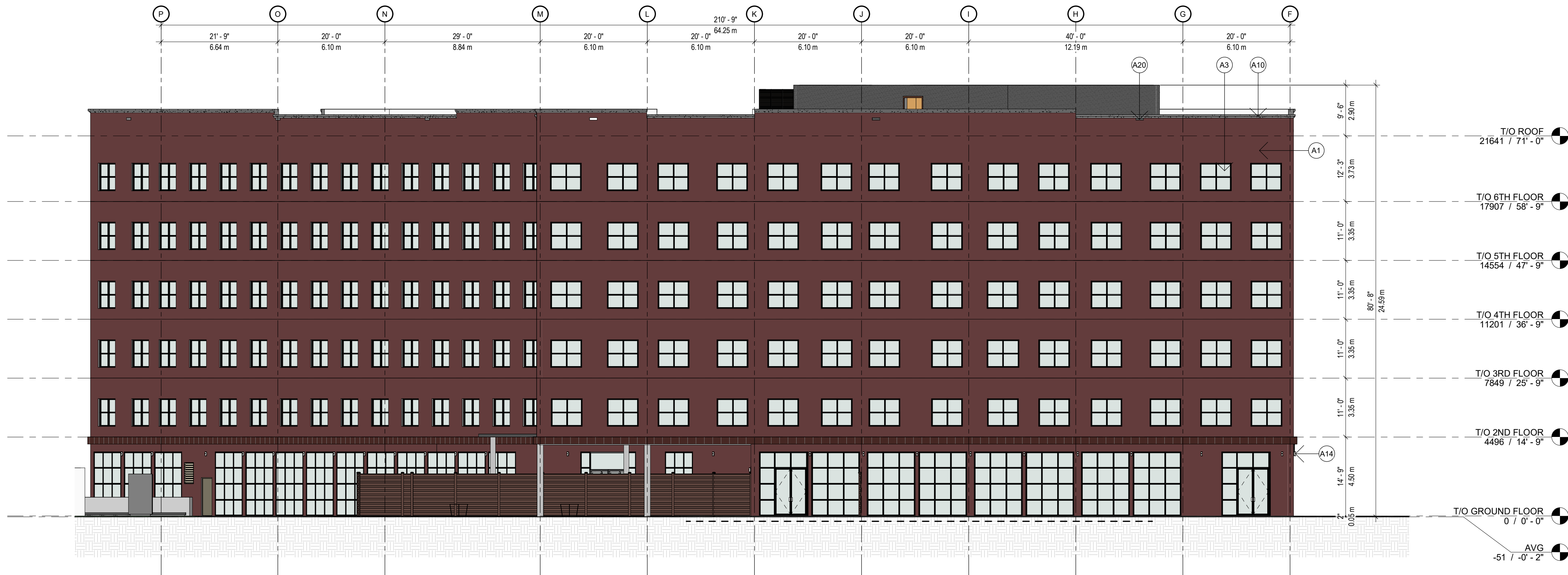
EXTERIOR ELEVATION I

SCALE:	1:150	SHEET
DRAWN BY:	HH	A301
ISSUE DATE:	2025-05-31	

PLOT DATE: 2025-05-29 6:51:11 PM



1 SOUTH ELEVATION - LUNDY'S LANE
A302 1:150



2 WEST ELEVATION - GARNER ROAD
A302 1:150

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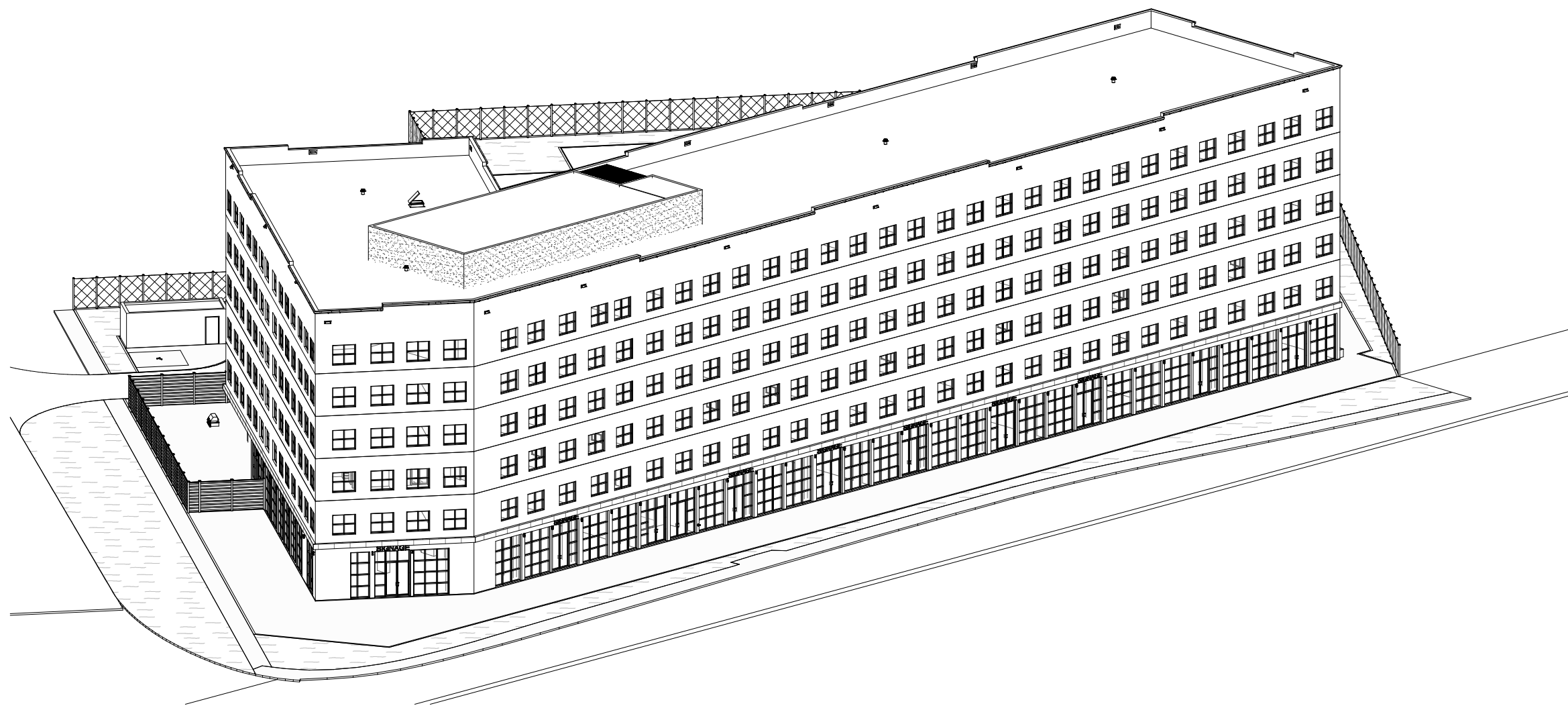
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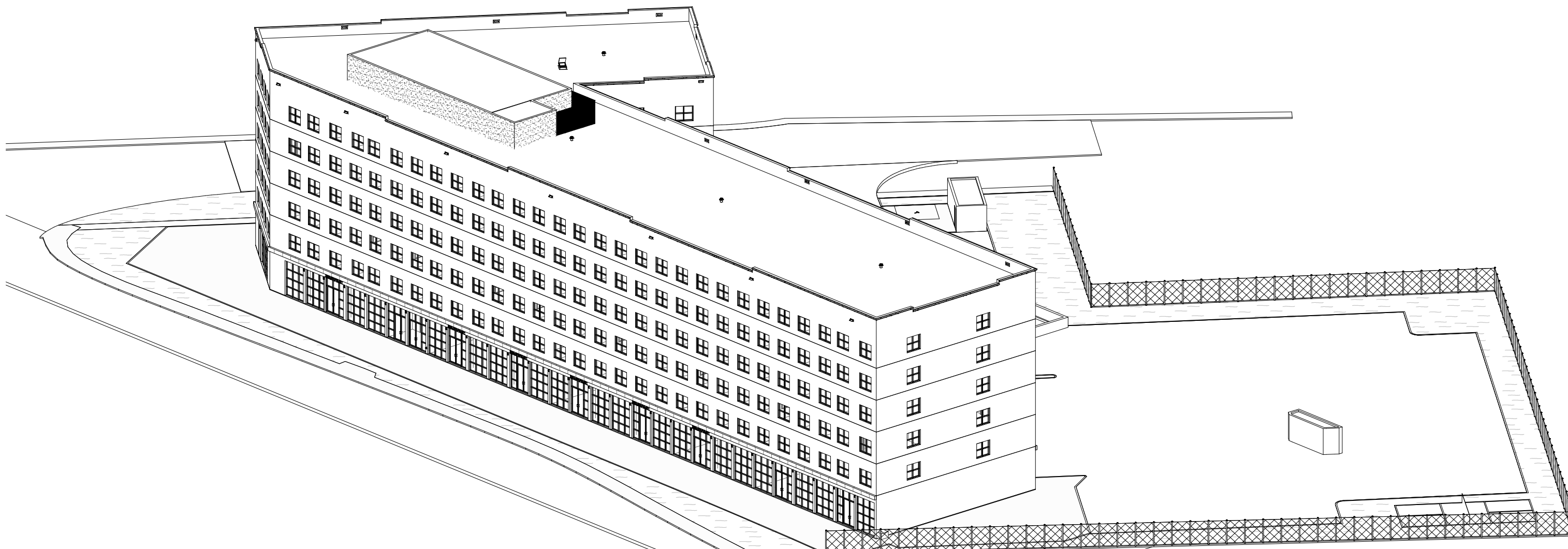
**EXTERIOR ELEVATION
II**

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ISSUE DATE:	2025-05-31	

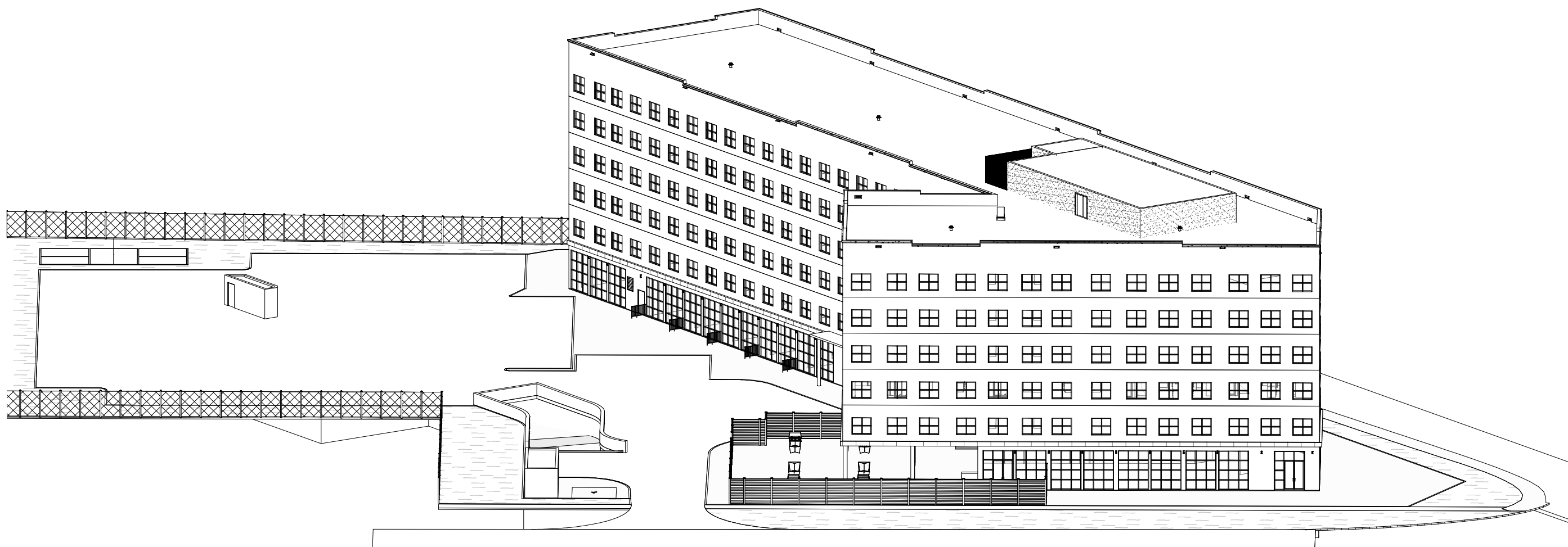
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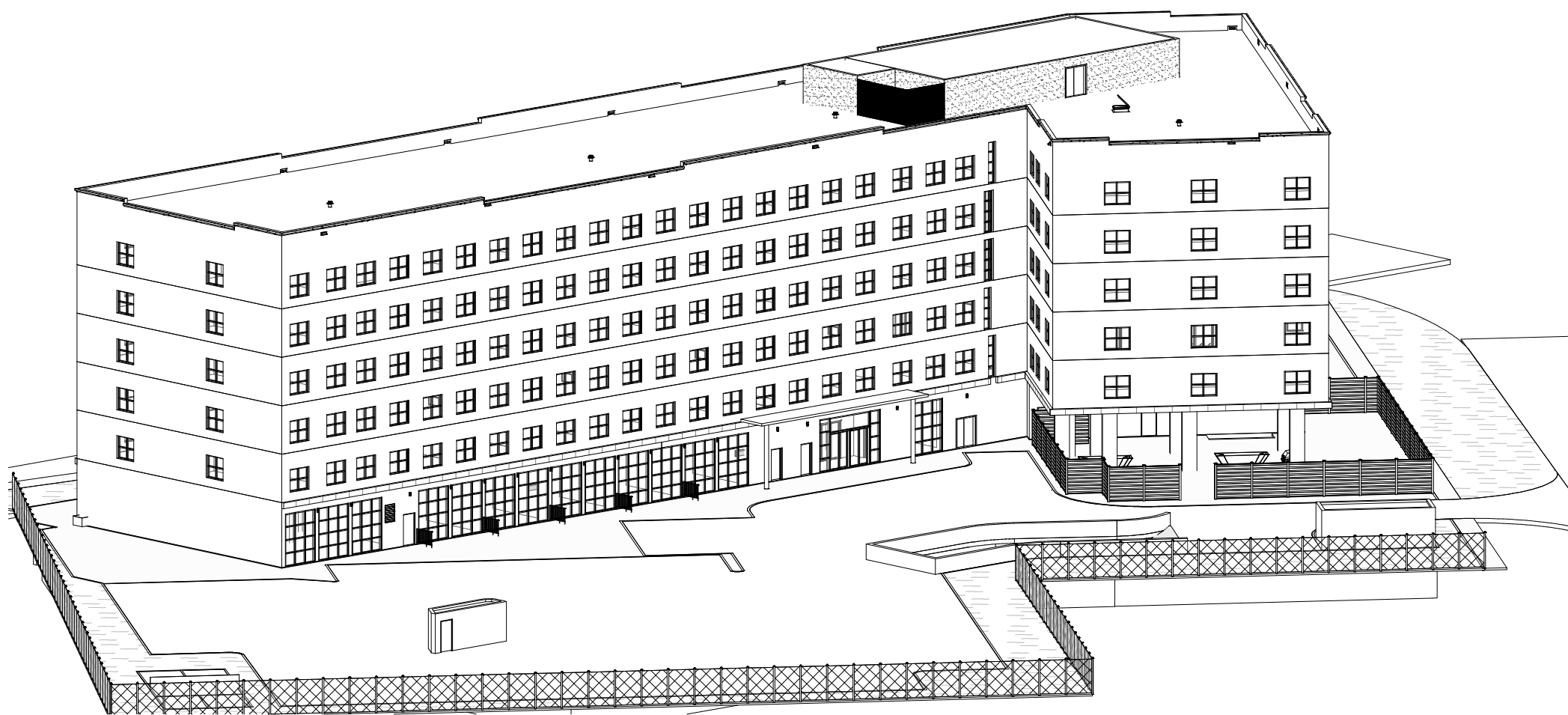
1 ISO 01
A305



2 ISO 02
A305




4 ISO 04
A305



3 ISO 03
A305

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ISOMETRIC VIEWS

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AT THE END OF THE DESIGN SERVICE LIFE OF ITS
CRITICAL COMPONENTS.

REGULAR MAINTENANCE IS NECESSARY AND BUDGET
FOR THE COSTS TO REPAIR OR REPLACE OTHER
ELEMENTS (LIKE FLOORING, CEILINGS, WALL COVERINGS,
WINDOWS, DOORS, PLUMBING FIXTURES, ELECTRICAL
COMPONENTS AND FIXTURES, ETC) AT THE END OF
THEIR DESIGN SERVICE LIFE.


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NOT ISSUED FOR
CONSTRUCTION

2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-16
No.	By	Description	Date YY-MM-DD

ISSUANCE SCHEDULE

PROFESSIONAL
CERTIFICATION


FLORINA CRISTINA PODARIU
LICENSE 9843

CLIENT: M5V The Lundy Inc.

PROJECT
NIAGARA FALLS
LUNDY'S LANE MIXED
USE-RESIDENTIAL
8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,
Ontario, Canada


DRAWING TITLE
PERSPECTIVE VIEWS

SCALE:	SHEET
DRAWN BY: HH	A306
ISSUE DATE: 2025-05-31	

PLOT DATE: 2025-05-29 6:51:28 PM



ARCHITECT:
PODARIU ARCHITECTS
2819614 Ontario Corporation
3270 Prospect st, Burlington, ON


cristina@podariuarchitects.ca

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ONTARIO CORPORATION

GENERAL NOTES:

DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS
SHOWN. THE CONTRACTOR MUST CHECK ALL
DRAWINGS AND VERIFY ALL DIMENSIONS ON THE JOB.
ALL STEEL ANGLES SUPPORTING BRICK VENEER TO
HAVE MIN. 6" BEARING @ ENDS. TYP.
ALL STRUCTURAL MEMBERS TO HAVE MIN. REQUIRED
BEARING.
ALL ELECTRICAL WORK TO BE COMPLETED AS PER
O.B.C.
PROVIDE TWO COATS OF ASPHALT DAMPROOFING
TO ALL BELOW GRADE FOUNDATION WALLS.
PROVIDE APPROVED DRAINAGE LAYER TO
FOUNDATION WALLS BELOW GRADE.
ENSURE MIN. 6'-0" HEADROOM CLEARANCE BELOW
DUCTS / BULKHEADS / BEAMS.
PROVIDE VENTING TO EXTERIOR FOR ALL
BATHROOMS & DRYERS. GAS FIREPLACES AND
RANGE HOODS ARE TO BE VENTED TO EXTERIOR w/
NON-COMBUSTIBLE AND CORROSION RESISTANT
DUCTWORK.
SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR
LEVEL AND IN EACH BEDROOM. THEY SHALL BE
INTERCONNECTED AND HAVE A VISUAL SIGNALLING
COMPONENT. INTERCONNECT CARBON MONOXIDE
DETECTORS ON BEDROOM FLOORS.
PROVIDE SOLID BLOCKING IN BATHROOM WALLS FOR
FUTURE GRAB BAR INSTALLATION.
NON-LOADBEARING WALLS PARALLEL TO THE FLOOR
JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH
THE WALL OR ON BLOCKING BETWEEN THE JOISTS.
5/8" THICK SHEATHING GLUED & SCREWED UNLESS
OTHERWISE NOTED.
INTERIOR DOORS TO BE UNDERCUT 3/4" FOR ROOMS
WITHOUT A RETURN AIR.
THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE
FOR GENERAL INFORMATION PURPOSES ONLY.
DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO
BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER
AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE
REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS.
ANY RESULTING COSTS DUE TO CONSTRUCTION
WITHOUT REVIEWED & APPROVED SHOP DRAWINGS
SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR
CONSTRUCTOR.

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