

EXTERIOR ELEVATION LEGEND

- A1 MASONRY VENEER RAINSCREEN ASSEMBLY
- A3 WINDOW, ALUMINUM PROFILE, THERMALLY BROKEN FRAME, DUAL GLAZED, Max U-value=0.45 for operable windows, Max. U-value=0.38 for fixed windows
- A10 CORNICE AND METAL FLASHING
- A14 EXTERIOR LIGHTING
- A15 WALL MOUNTED ILLUMINATED SIGNAGE
- A20 ROOF OVERFLOW SCUPPER



1 NORTH ELEVATION
A301 1:150



2 EAST ELEVATION
A301 1:150



cristina@podariuarchitects.ca
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GENERAL NOTES:

DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS SHOWN. THE CONTRACTOR MUST CHECK ALL DRAWINGS AND VERIFY ALL DIMENSIONS ON THE JOB. ALL STEEL ANGLES SUPPORTING BRICK VENEER TO HAVE MIN. 6" BEARING @ ENDS. TYP. ALL STRUCTURAL MEMBERS TO HAVE MIN. REQUIRED BEARING.
ALL ELECTRICAL WORK TO BE COMPLETED AS PER I.O.B.C.
PROVIDE TWO COATS OF ASPHALT DAMPPROOFING TO ALL BELOW GRADE FOUNDATION WALLS.
PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS BELOW GRADE.
ENSURE MIN. 6" HEADROOM CLEARANCE BELOW DUCTS / BULKHEADS / BEAMS.
PROVIDE VENTING TO EXTERIOR FOR ALL BATHROOMS & DRYERS. GAS FIREPLACES AND RANGE HOODS ARE TO BE VENTED TO EXTERIOR w/ NON-COMBUSTIBLE AND CORROSION RESISTANT DUCTWORK.
SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AND IN EACH BEDROOM. THEY SHALL BE INTERCONNECTED AND HAVE A VISUAL SIGNALLING COMPONENT. INTERCONNECT CARBON MONOXIDE DETECTORS ON BEDROOM FLOORS.
PROVIDE SOLID BLOCKING IN BATHROOM WALLS FOR FUTURE GRAB BAR INSTALLATION.
NON-LOADBEARING WALLS PARALLEL TO THE FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS. 5/8" THICK SHEATHING GLUED & SCREWED UNLESS OTHERWISE NOTED.
INTERIOR DOORS TO BE UNDERCUT 3/4" FOR ROOMS WITHOUT A RETURN AIR.
THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.
REGULAR MAINTENANCE IS NECESSARY AND BUDGET FOR THE COSTS TO REPAIR OR REPLACE THE CLADDING AT THE END OF THE DESIGN SERVICE LIFE OF ITS CRITICAL COMPONENTS.
REGULAR MAINTENANCE IS NECESSARY AND BUDGET FOR THE COSTS TO REPAIR OR REPLACE OTHER ELEMENTS (LIKE FLOORING, CEILINGS, WALL COVERINGS, WINDOWS, DOORS, PLUMBING FIXTURES, ELECTRICAL COMPONENTS AND FIXTURES, ETC) AT THE END OF THEIR DESIGN SERVICE LIFE.
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NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date YY-MM-DD
2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-16

ISSUANCE SCHEDULE



CLIENT: **M5V The Lundy Inc.**

PROJECT
**NIAGARA FALLS
LUNDY'S LANE MIXED
USE-RESIDENTIAL**
8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,
Ontario, Canada

DRAWING TITLE
EXTERIOR ELEVATION I

SCALE: 1:150	SHEET
DRAWN BY: HH	A301
ISSUE DATE: 2025-05-31	

PLOT DATE: 2025-05-29 6:51:11 PM

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1 SOUTH ELEVATION - LUNDY'S LANE
A302 1 : 150



2 WEST ELEVATION - GARNER ROAD
A302 1 : 150

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2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-10

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CLIENT: **M5V The Lundy Inc.**

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