

EXTERIOR ELEVATION LEGEND

- A1 MASONRY VENEER RAINSCREEN ASSEMBLY
- A3 WINDOW, ALUMINUM PROFILE, THERMALLY BROKEN FRAME, DUAL GLAZED,  
Max U-value=0.45 for operable windows, Max. U-value=0.38 for fixed windows
- A10 CORNICE AND METAL FLASHING
- A14 EXTERIOR LIGHTING
- A15 WALL MOUNTED ILLUMINATED SIGNAGE
- A20 ROOF OVERFLOW SCUPPER



1 NORTH ELEVATION  
A301 1:150



2 EAST ELEVATION  
A301 1:150

ARCHITECT:  
**PODARIU ARCHITECTS**  
2819614 Ontario Corporation  
3270 Prospect st, Burlington, ON

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GENERAL NOTES:

DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS  
SHOWN. THE CONTRACTOR MUST CHECK ALL  
DRAWINGS AND VERIFY ALL DIMENSIONS ON THE JOB.  
ALL STEEL ANGLES SUPPORTING BRICK VENEER TO  
HAVE MIN. 6" BEARING @ ENDS. TYP.  
ALL STRUCTURAL MEMBERS TO HAVE MIN. REQUIRED  
BEARING.  
ALL ELECTRICAL WORK TO BE COMPLETED AS PER  
O.B.C.  
PROVIDE TWO COATS OF ASPHALT DAMPPROOFING  
TO ALL BELOW GRADE FOUNDATION WALLS.  
PROVIDE APPROVED DRAINAGE LAYER TO  
FOUNDATION WALLS BELOW GRADE.  
ENSURE MIN. 6" HEADROOM CLEARANCE BELOW  
DUCTS / BULKHEADS / BEAMS.  
PROVIDE VENTING TO EXTERIOR FOR ALL  
BATHROOMS & DRYERS. GAS FIREPLACES AND  
RANGE HOODS ARE TO BE VENTED TO EXTERIOR w/  
NON-COMBUSTIBLE AND CORROSION RESISTANT  
DUCTWORK.  
SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR  
LEVEL AND IN EACH BEDROOM. THEY SHALL BE  
INTERCONNECTED AND HAVE A VISUAL SIGNALLING  
COMPONENT. INTERCONNECT CARBON MONOXIDE  
DETECTORS ON BEDROOM FLOORS.  
PROVIDE SOLID BLOCKING IN BATHROOM WALLS FOR  
FUTURE GRAB BAR INSTALLATION.  
NON-LOADBEARING WALLS PARALLEL TO THE FLOOR  
JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH  
THE WALL OR ON BLOCKING BETWEEN THE JOISTS.  
5/8" THICK SHEATHING GLUED & SCREWED UNLESS  
OTHERWISE NOTED.  
INTERIOR DOORS TO BE UNDERCUT 3/4" FOR ROOMS  
WITHOUT A RETURN AIR  
THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE  
FOR GENERAL INFORMATION PURPOSES ONLY.  
DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO  
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ANY RESULTING COSTS DUE TO CONSTRUCTION  
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CONSTRUCTOR.

REGULAR MAINTENANCE IS NECESSARY AND BUDGET  
FOR THE COSTS TO REPAIR OR REPLACE THE CLADDING  
AT THE END OF THE DESIGN SERVICE LIFE OF ITS  
CRITICAL COMPONENTS.

REGULAR MAINTENANCE IS NECESSARY AND BUDGET  
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BY-LAWS.

NOT ISSUED FOR  
CONSTRUCTION

2	CP	SITEPLAN SUBMISSION	2025-05-31
1	CP	DESIGN DEVELOPMENT	2025-05-16
No.	By	Description	Date YY-MM-DD

ISSUANCE SCHEDULE

PROFESSIONAL  
CERTIFICATION

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
FLORINA CRISTINA PODARIU  
LICENCE 9943

CLIENT: **M5V The Lundy Inc.**

PROJECT

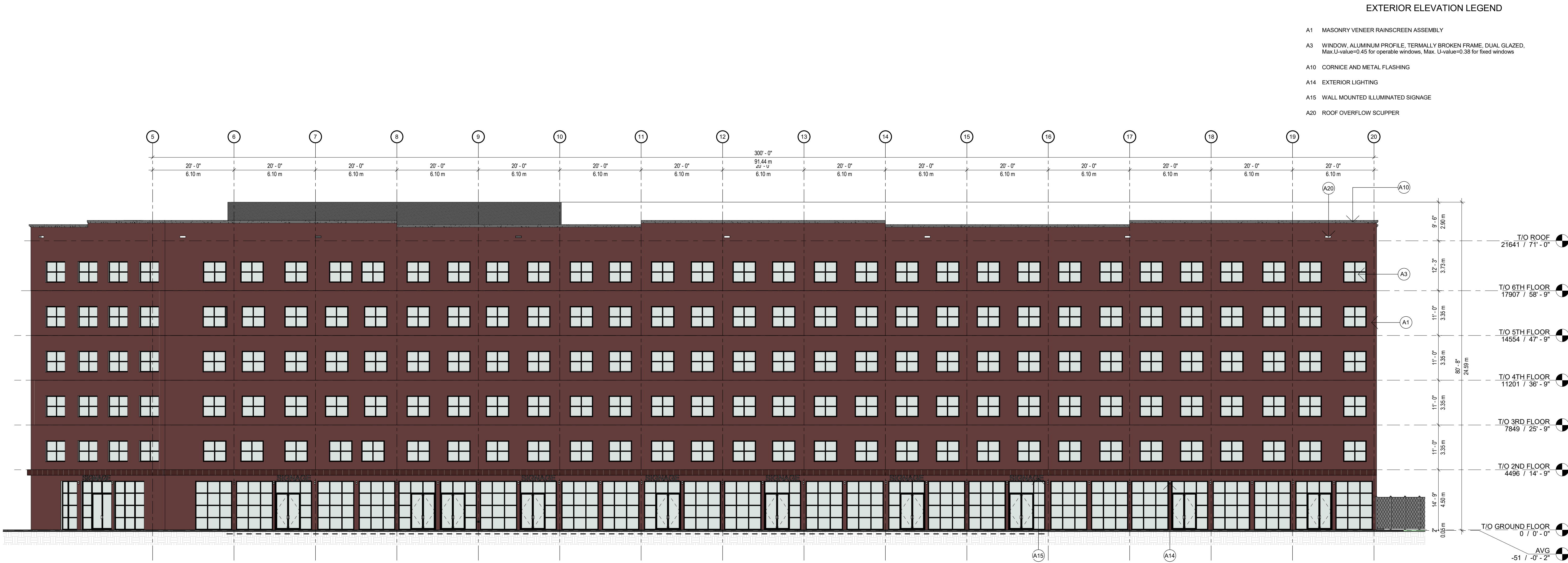
**NIAGARA FALLS  
LUNDY'S LANE MIXED  
USE-RESIDENTIAL**  
8885-8911 Lundy's Lane Niagara Falls, L2H 1H3,  
Ontario, Canada

DRAWING TITLE

**EXTERIOR ELEVATION I**

SCALE:	1:150	SHEET
DRAWN BY:	HH	A301
ISSUE DATE:	2025-05-31	

PLOT DATE: 2025-05-29 6:51:11 PM



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DRAWING TITLE

**EXTERIOR ELEVATION  
II**

SCALE:	1 : 150	SHEET
DRAWN BY:	HH	A302
ISSUE DATE:	2025-05-31	

PLOT DATE: 2025-05-29 6:51:15 PM