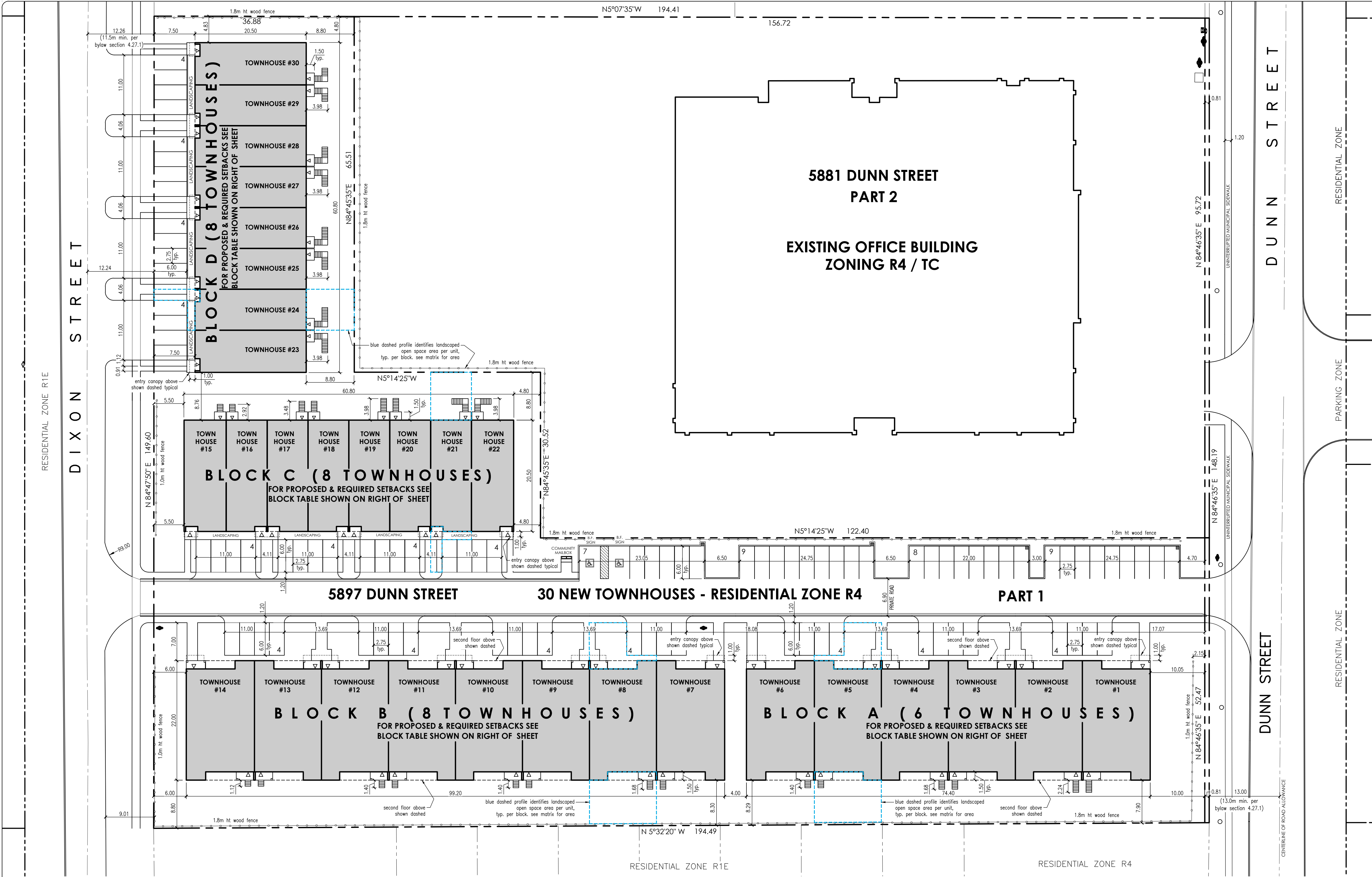




SITE DESCRIPTION: PART 1 (5897 DUNN ST.)					
DEVELOPMENT PROPOSAL		4 TOWNHOUSE BLOCKS COMPRISING OF 30 TOWNHOUSES			
PROJECT NAME		DUNN STREET RESIDENTIAL DEVELOPMENT			
OWNER		1984351 ONTARIO LIMITED			
LEGAL DESCRIPTION: PART 1					
LEGAL DESCRIPTION		PART 1, PART OF BLOCK 41, PLAN 1			
MUNICIPALITY		CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA			
		SITE PLAN PREPARED ON SURVEY PROVIDED BY J.D. BARNES DATED MARCH 27, 2023			
ZONING MATRIX: PART 1					
SITE REQUIREMENTS AS OUTLINED PER CITY OF NIAGARA FALLS ZONING BYLAW No. 79-200 AND SITE SPECIFIC BY-LAW No. 2022-64 (R4-1166)					
DESCRIPTION		R4-1166 ZONE REQUIREMENTS			
ZONING	ON-STREET TOWNHOUSE DWELLING AND TOWNHOUSE DWELLINGS				
MINIMUM LOT FRONTAGE	30m				
MIN. FRONT YARD	5.5m FROM DIXON ST AND 10m FROM DUNN ST				
MIN. INTERIOR SIDE YARD	4.8m IN PLACES AND 5m IN OTHERS				
MIN. REAR YARD	7.5m				
MAX. BUILDING HEIGHT	10m				
MIN. FENCING	1.8m FENCE ALONG INTERIOR LOT LINES				
MAX. DECK PROJECTION	3.5m INTO SIDE YARD, 4.0m INTO PRIVACY YARD				
MAX. ARCHITECTURAL PROJECTION	2.5m INTO FRONT YARD				
MIN. PRIVACY YARD	7.5m				
MINIMUM LOT AREA PER TOWNHOUSE	250 sq.m.				
MIN. LANDSCAPED AREA	45 sq.m. PER UNIT				
SITE STATISTICS: PART 1					
DESCRIPTION		R4-1166 REQUIREMENTS	PROPOSED		
PROPOSED BUILDING COVERAGE		45% MAX.	43% (6312 sq.m.)		
PROPOSED PAVING AREA		NONE	21% (3130 sq.m.)		
PROPOSED LANDSCAPE AREA		9%	36% (5457 sq.m.)		
TOTAL SITE AREA			100% (14899 sq.m.)		
PARKING REQUIREMENTS: PART 1					
REQUIRED			PROPOSED		
1.4 PARKING SPACES PER TOWNHOUSE X 30 TOWNHOUSES =			42 SPACES		
BARRIER FREE PARKING - 4% OF REQUIRED SPACES =			2 SPACES		
TOTAL			44 SPACES		
			93 SPACES		
BLOCK A			BLOCK B		
DESCRIPTION	REQUIRED	PROPOSED	DESCRIPTION	REQUIRED	PROPOSED
FRONT YARD SETBACK	10.0m	22.6m	FRONT YARD SETBACK	10.0m	11.9m
REAR YARD SETBACK	7.5m	7.9m	REAR YARD SETBACK	7.5m	8.3m
INTERIOR SIDE YARD SETBACK	N/A.	N/A.	INTERIOR SIDE YARD SETBACK	N/A.	N/A.
EXTERIOR SIDE YARD SETBACK	4.5m	10.0m	EXTERIOR SIDE YARD SETBACK	4.5m	6.0m
MAXIMUM LOT COVERAGE	45%	5.68%	MAXIMUM LOT COVERAGE	45%	7.57%
MAXIMUM HEIGHT OF BUILDING	10.0m	10.915m	MAXIMUM HEIGHT OF BUILDING	10.0m	10.915m
NUMBER OF STOREYS		3	NUMBER OF STOREYS		3
MAXIMUM PROJ. ARCH. FEATURE	2.5m	1.0m	MAXIMUM PROJ. ARCH. FEATURE	2.5m	1.0m
GROUND FLOOR AREA		1,638.8 sq.m.	GROUND FLOOR AREA		2,182.4 sq.m.
TOTAL FLOOR AREA		4,910.4 sq.m.	TOTAL FLOOR AREA		6,547.2 sq.m.
WIDTH OF BUILDING		22.0m	WIDTH OF BUILDING		22.0m
LENGTH OF BUILDING		74.4m	LENGTH OF BUILDING		92.2m
LANDSCAPED OPEN SPACE AREA PER UNIT	45 sq.m.	176.3 sq.m.	LANDSCAPED OPEN SPACE AREA PER UNIT	45 sq.m.	179.5 sq.m.
BLOCK C			BLOCK D		
DESCRIPTION	REQUIRED	PROPOSED	DESCRIPTION	REQUIRED	PROPOSED
FRONT YARD SETBACK	10.0m	11.9m	FRONT YARD SETBACK	5.5m	7.5m
REAR YARD SETBACK	7.5m	8.8m	REAR YARD SETBACK	7.5m	8.8m
INTERIOR SIDE YARD SETBACK	4.8m	4.8m	INTERIOR SIDE YARD SETBACK	4.8m	4.8m
EXTERIOR SIDE YARD SETBACK	4.5m	5.5m	EXTERIOR SIDE YARD SETBACK	N/A.	N/A.
MAXIMUM LOT COVERAGE	45%	4.32%	MAXIMUM LOT COVERAGE	45%	4.32%
MAXIMUM HEIGHT OF BUILDING	10.0m	10.915m	MAXIMUM HEIGHT OF BUILDING	10.0m	10.915m
MAXIMUM PROJ. ARCH. FEATURE	2.5m	1.0m	MAXIMUM PROJ. ARCH. FEATURE	2.5m	1.0m
NUMBER OF STOREYS		3	NUMBER OF STOREYS		3
GROUND FLOOR AREA		1,246.4 sq.m.	GROUND FLOOR AREA		1,246.4 sq.m.
TOTAL FLOOR AREA		3,739.2 sq.m.	TOTAL FLOOR AREA		3,739.2 sq.m.
WIDTH OF BUILDING		20.5m	WIDTH OF BUILDING		20.5m
LENGTH OF BUILDING		60.8m	LENGTH OF BUILDING		60.8m
LANDSCAPED OPEN SPACE AREA PER UNIT	45 sq.m.	92.3 sq.m.	LANDSCAPED OPEN SPACE AREA PER UNIT	45 sq.m.	91.3 sq.m.

KEYPLAN

ORIENTATION

SEAL

DO NOT SCALE OFF DRAWINGS

ISSUED

DATE

1. MINOR VARIANCE

2. MINOR VARIANCE R1

3. MINOR VARIANCE R2

2025-06-03

2025-06-10

2025-07-03

CHAPMAN MURRAY ASSOCIATES ARCHITECTS INC.

NIAGARA FALLS, ONTARIO

PHONE : (905) 354-1674

FAX : (905) 354-2940

EMAIL : cm@chapmanmurray.com

COMMISSION TITLE:

Blocks A, B, C, & D of Proposed Residential Development

Minor Variance

5897 Dunn St., Niagara Falls, ON.

SHEET TITLE:

Site Plan, Site Statistics, Barrier-free Details

SCALE: As Shown

DATE: June 2025

DRAWN: tv

CHECKED: RWM

COMMISSION NO.

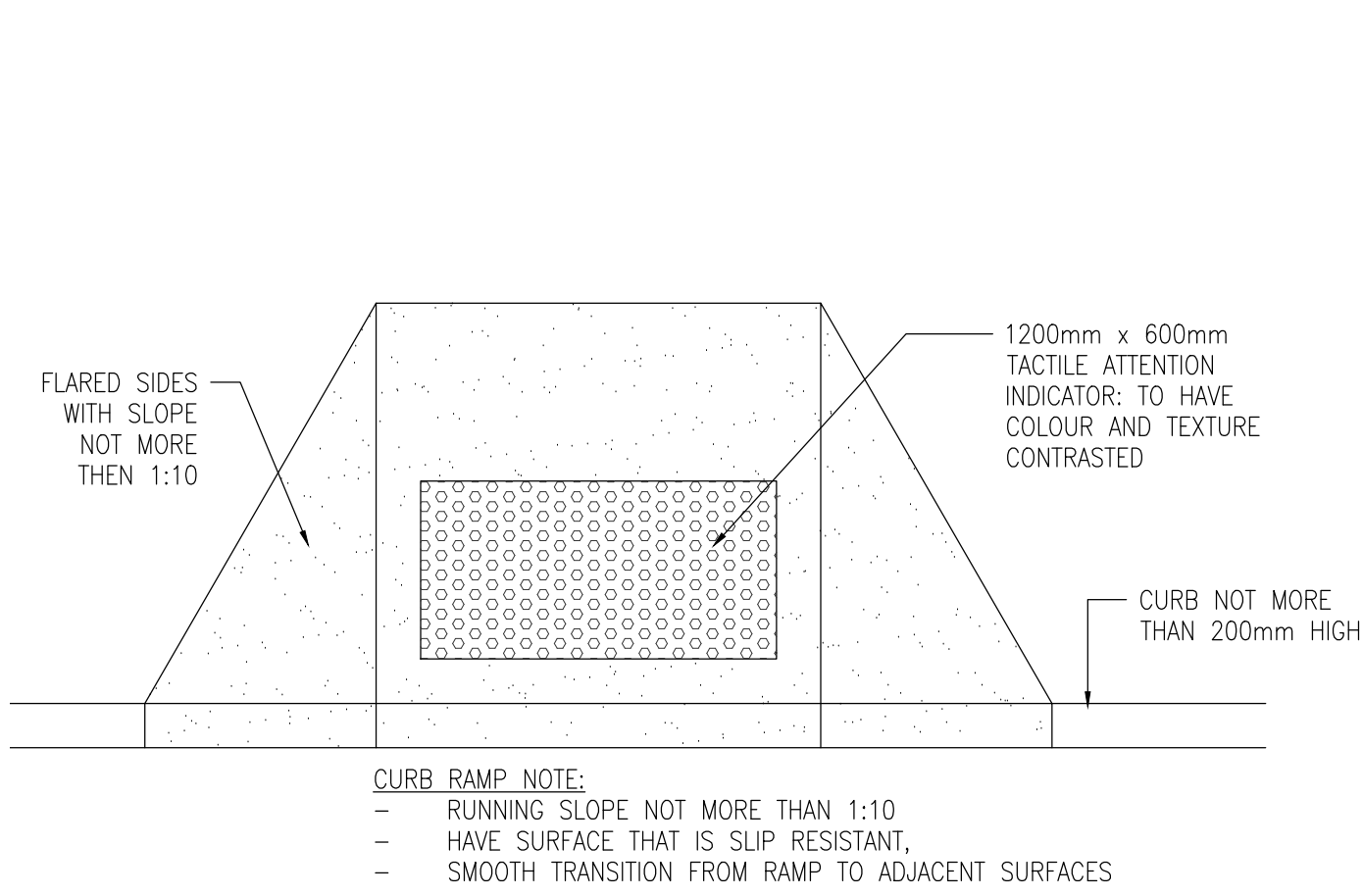
ISSUE

222143

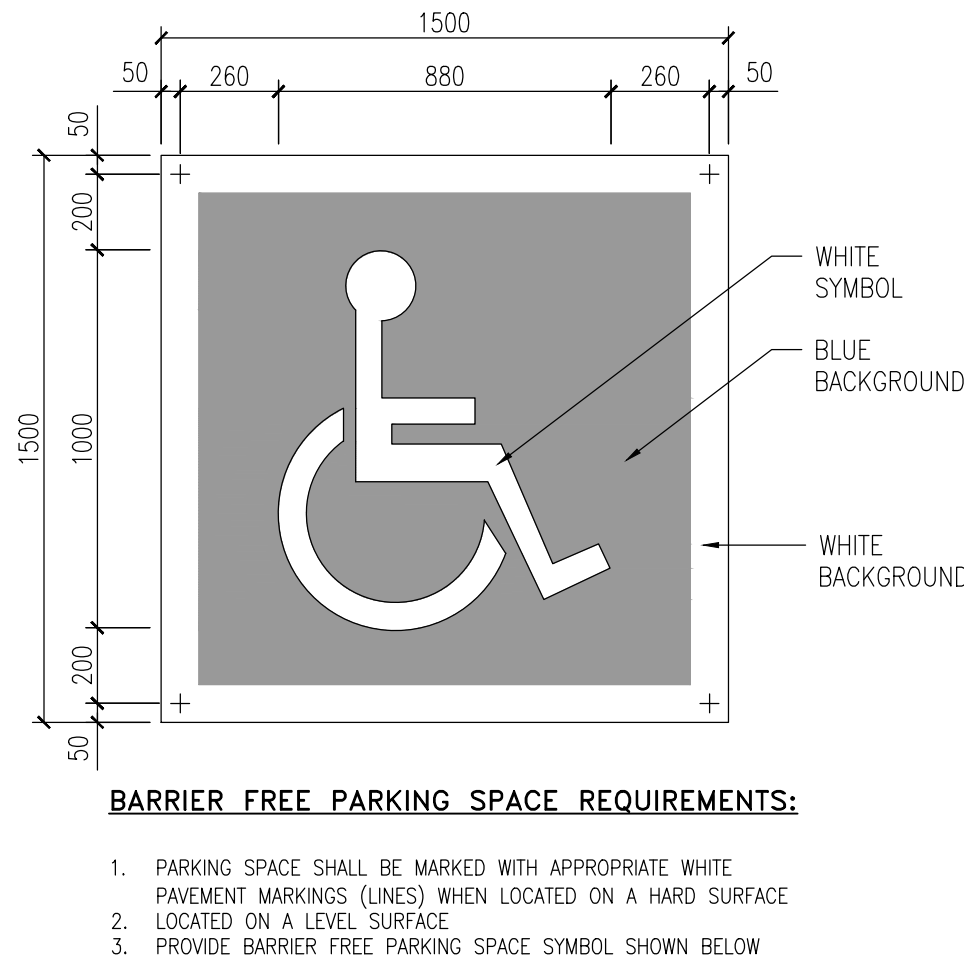
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MV.1

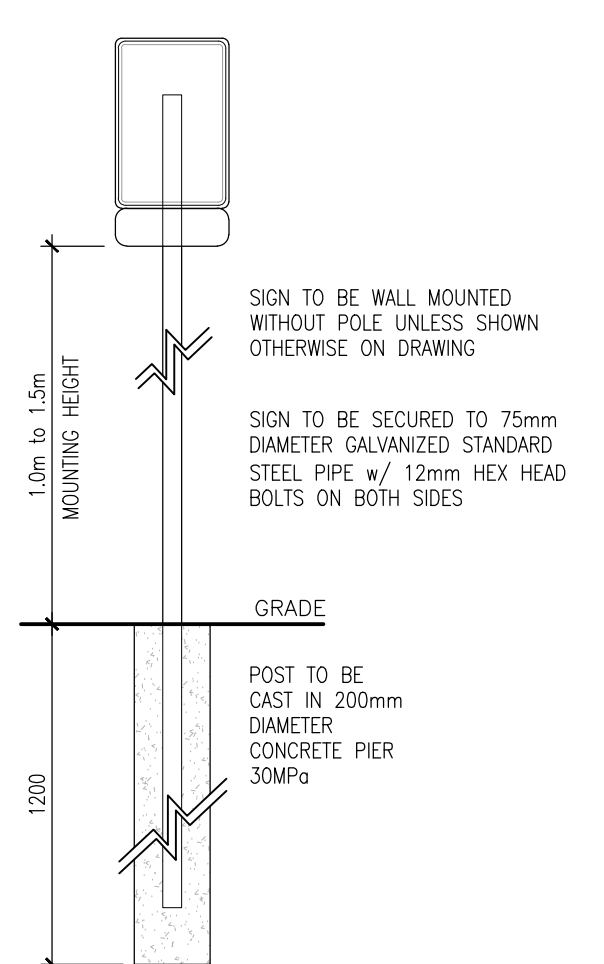
2 BARRIER FREE CURB RAMP DETAIL
MV.1 SCALE : 1:25



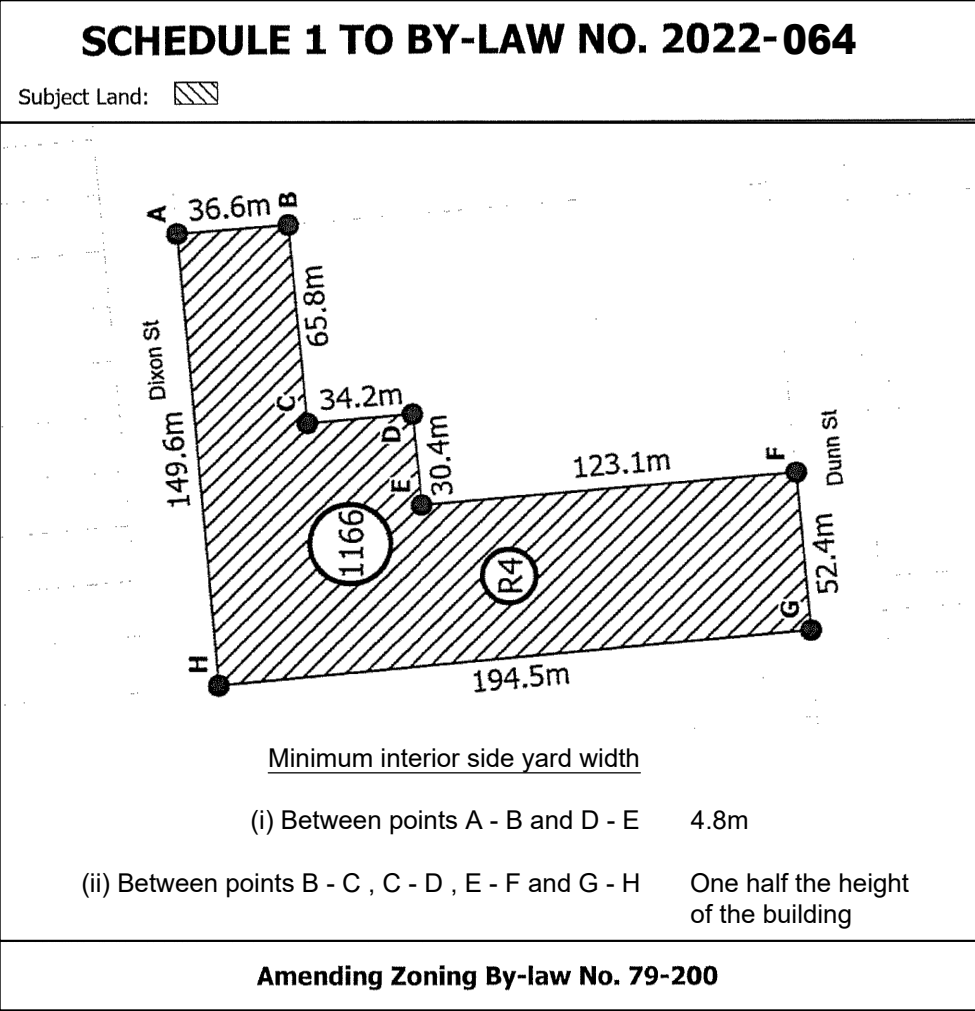
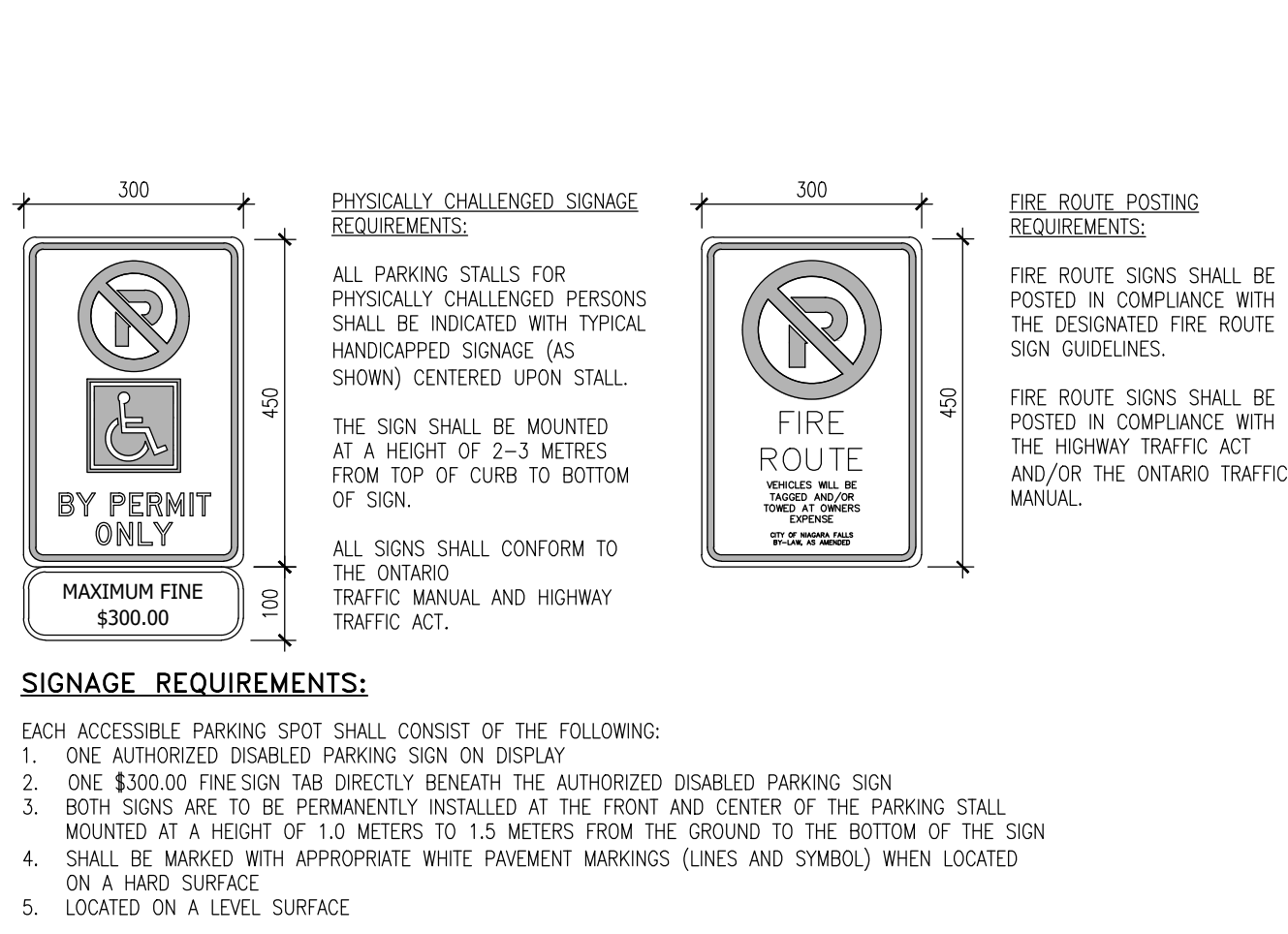
3 BARRIER FREE PARKING SPACE
MV.1 SCALE : NTS

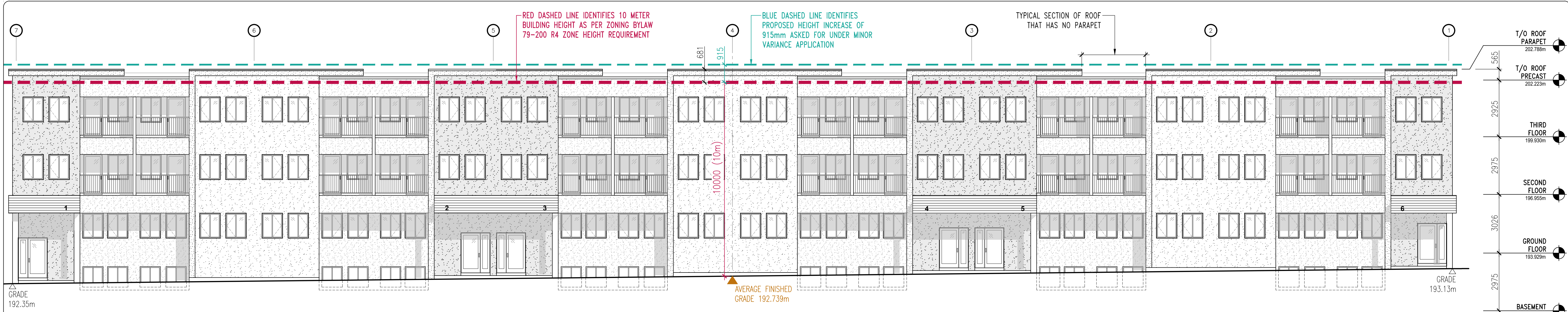


4 SIGNAGE POST DETAIL
MV.1 SCALE : NTS



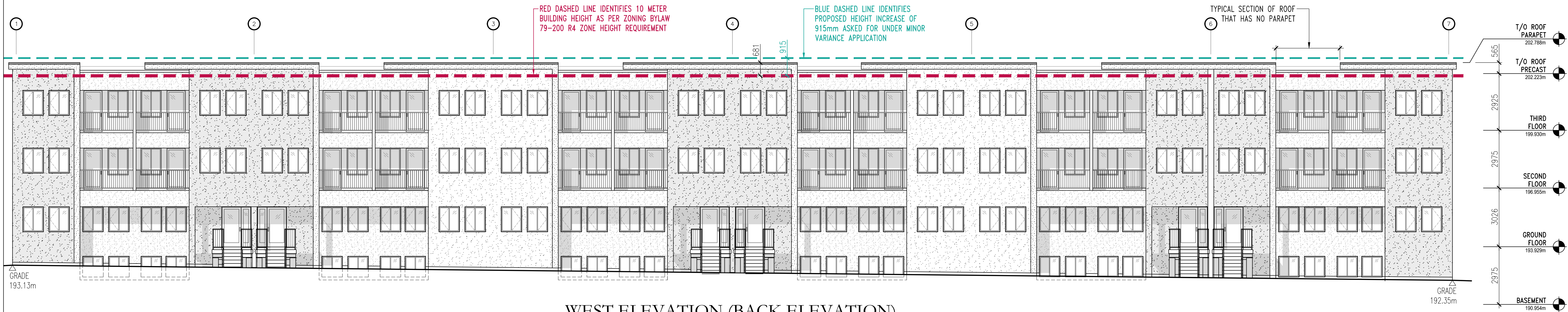
5 SIGNAGE DETAILS
MV.1 SCALE : NTS



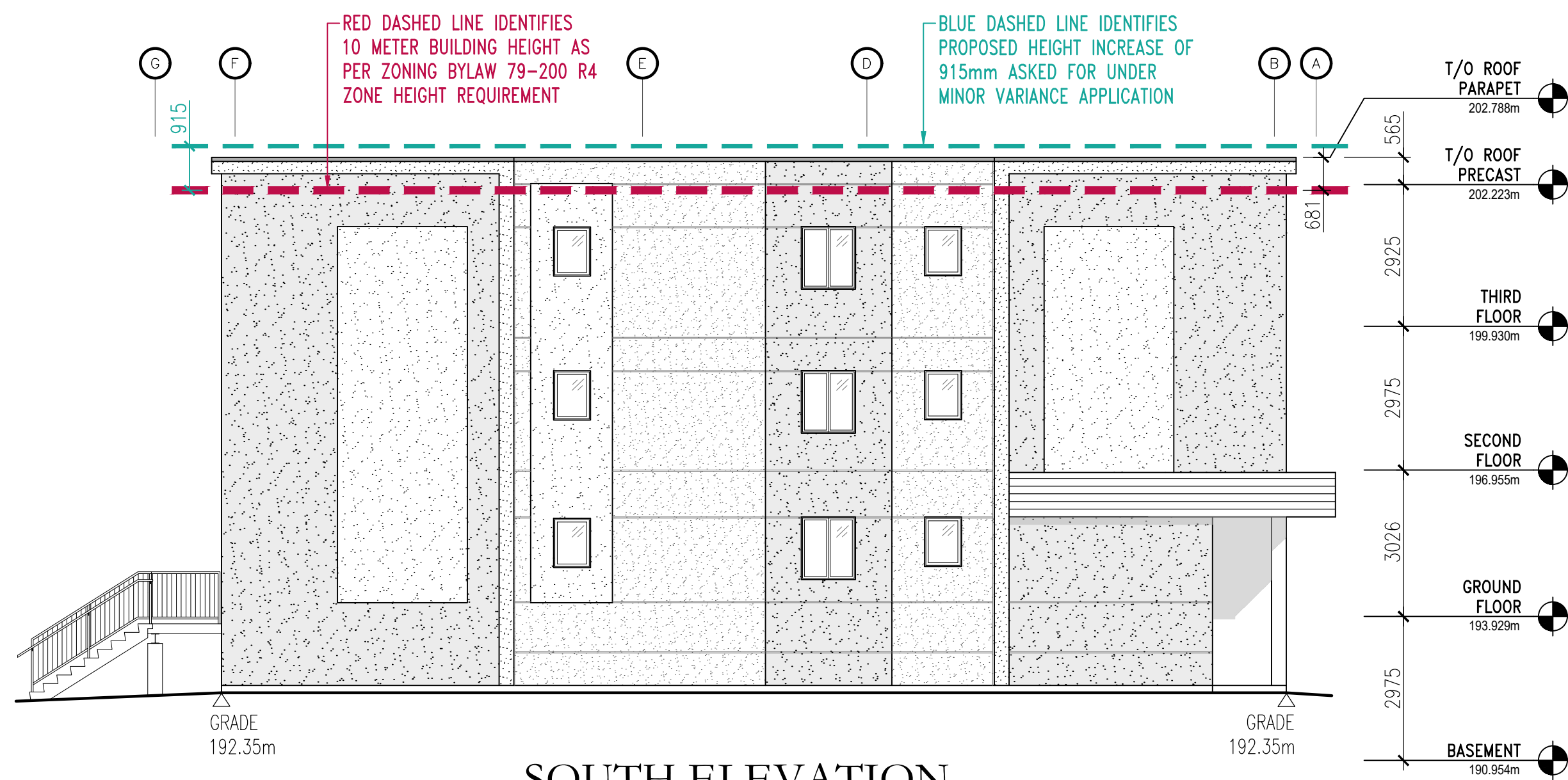


EAST ELEVATION (FRONT ELEVATION)

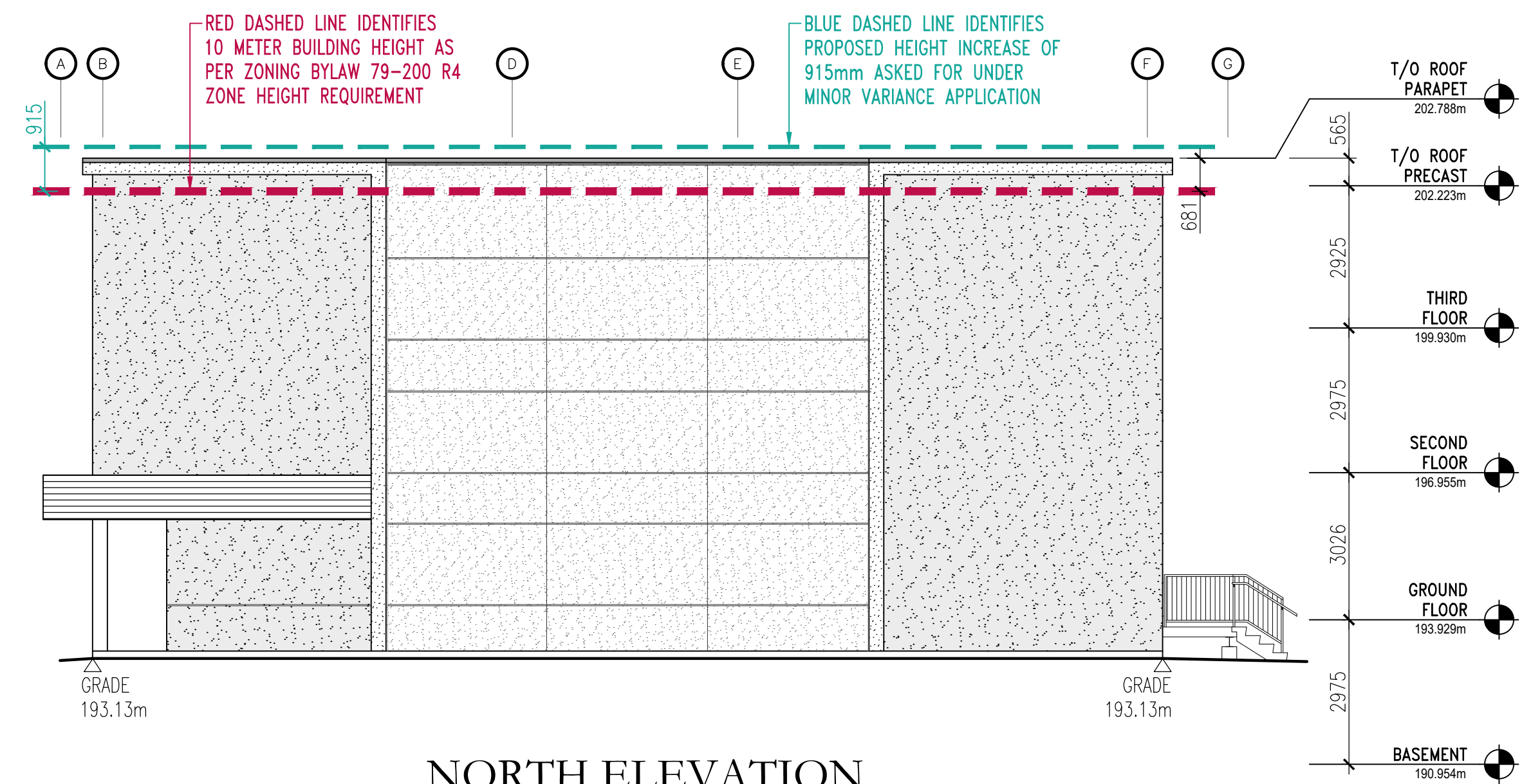
height of building from the average finished grade level
at the front elevation of building per zoning by-law 79-200



WEST ELEVATION (BACK ELEVATION)



SOUTH ELEVATION



NORTH ELEVATION

KEYPLAN

ORIENTATION

SEAL

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Only signed and sealed drawings by architect and/or engineer shall be used for building permits and construction purposes.

All construction to be in accordance with the Ontario Building Code and all applicable Ontario regulations.

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ISSUED	DATE
1. MINOR VARIANCE	2025-06-03

CHAPMAN
MURRAY
ASSOCIATES
ARCHITECTS
INC.

NIAGARA FALLS, ONTARIO

PHONE : (905) 354-1674
FAX : (905) 354-2940
EMAIL : cmr@chapmanmurray.com

COMMISSION TITLE:

Blocks A, B, C, & D
of Proposed Residential
Development

Minor Variance

5897 Dunn St., Niagara Falls, ON.

SHEET TITLE:

Block A
Building Elevations

SCALE: 1:100

DATE: June 2025

DRAWN: tv

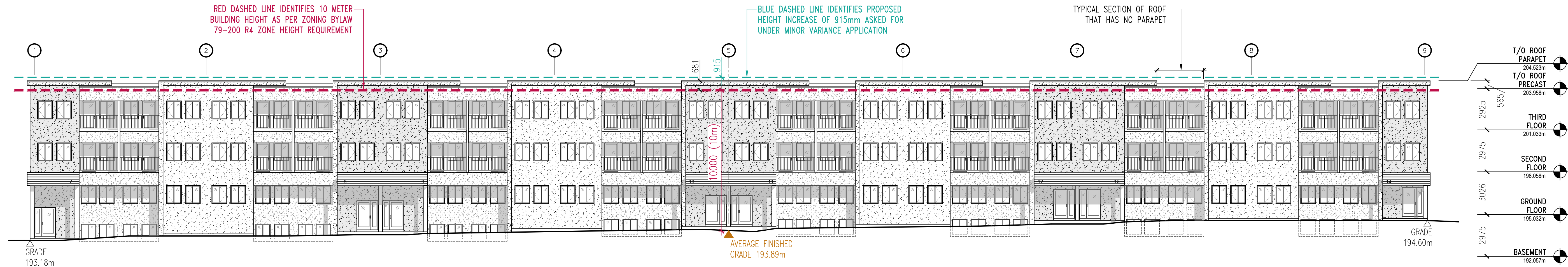
CHECKED: RWM

COMMISSION NO. ISSUE

222143 -

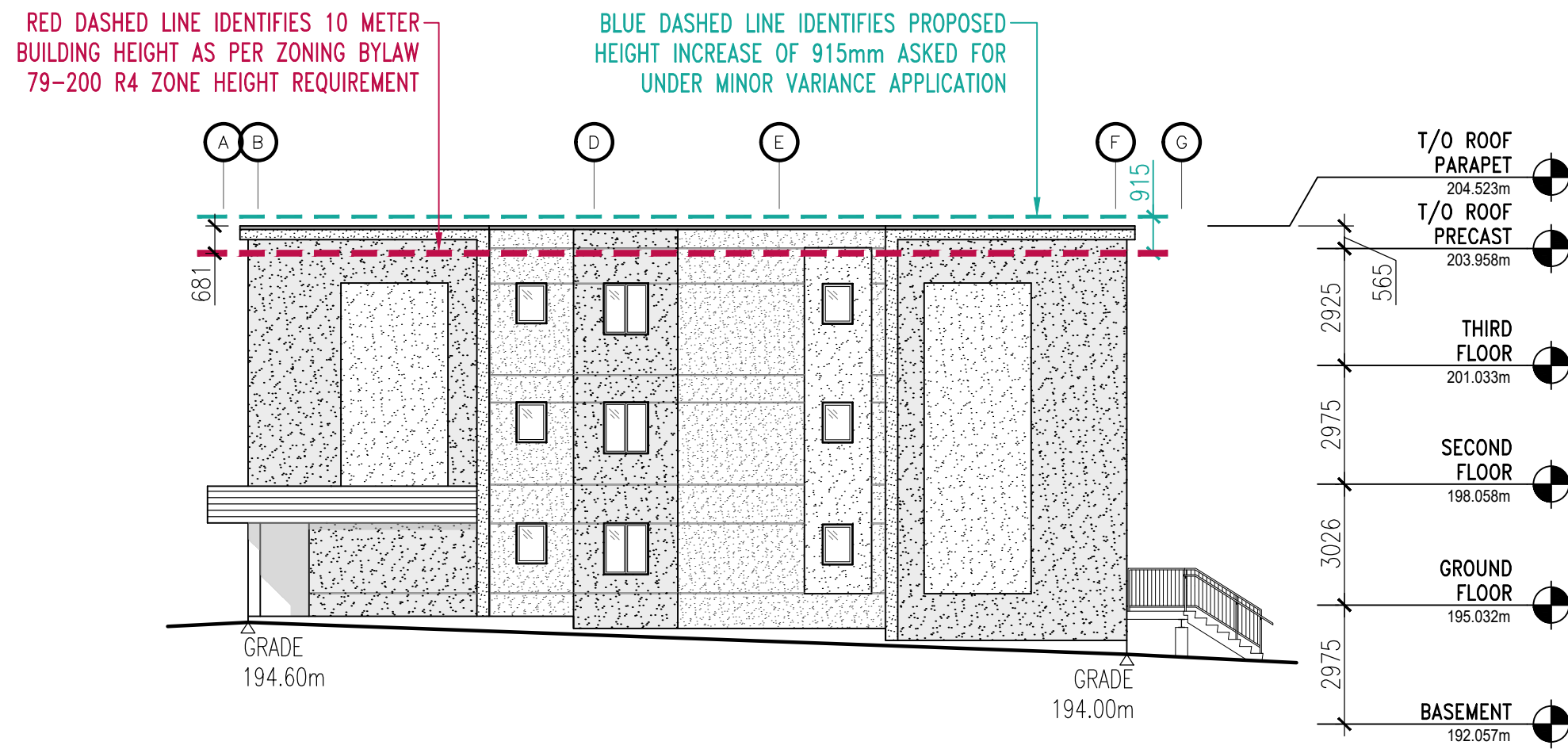
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MV.2

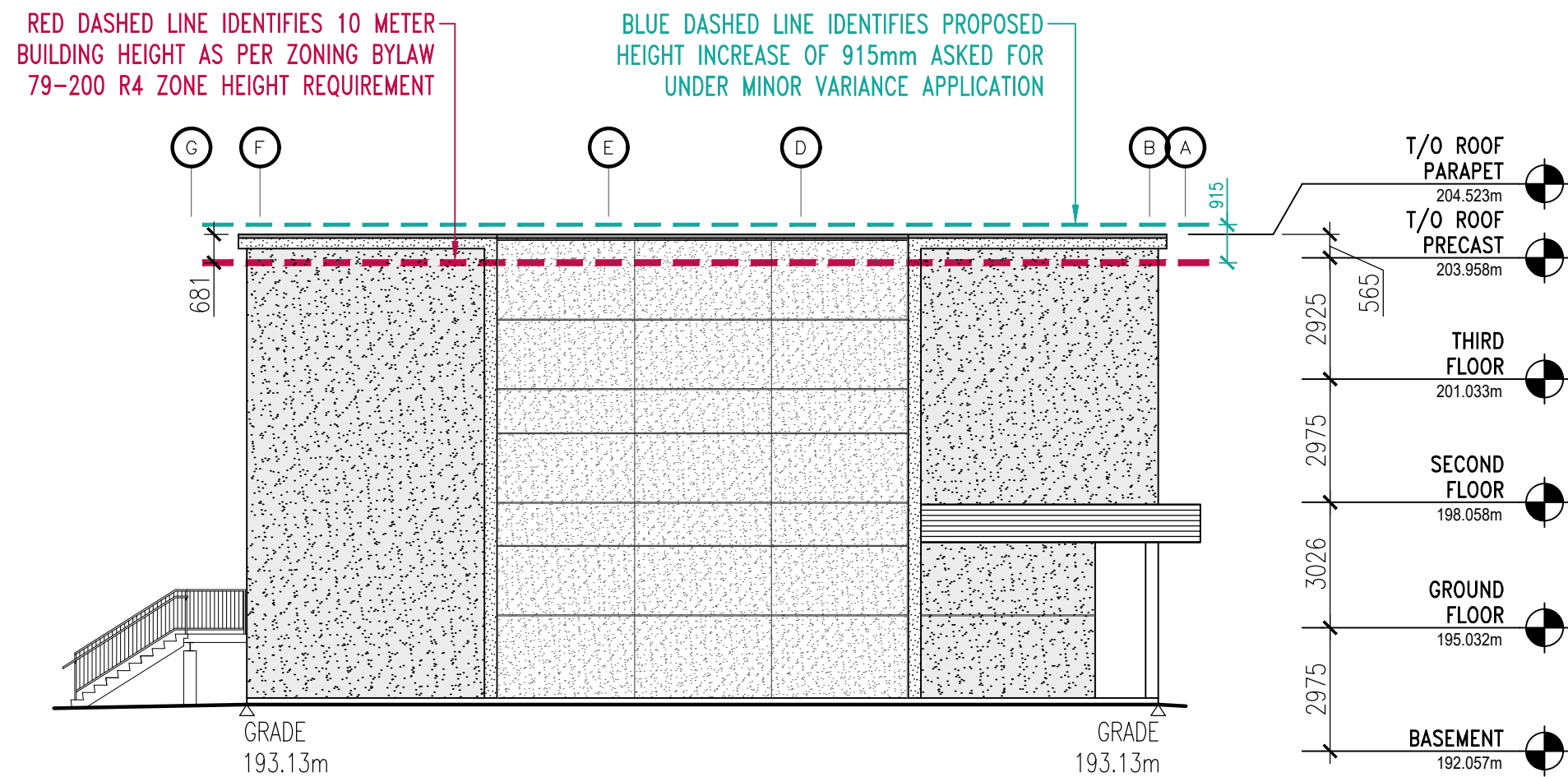


EAST ELEVATION (FRONT ELEVATION)

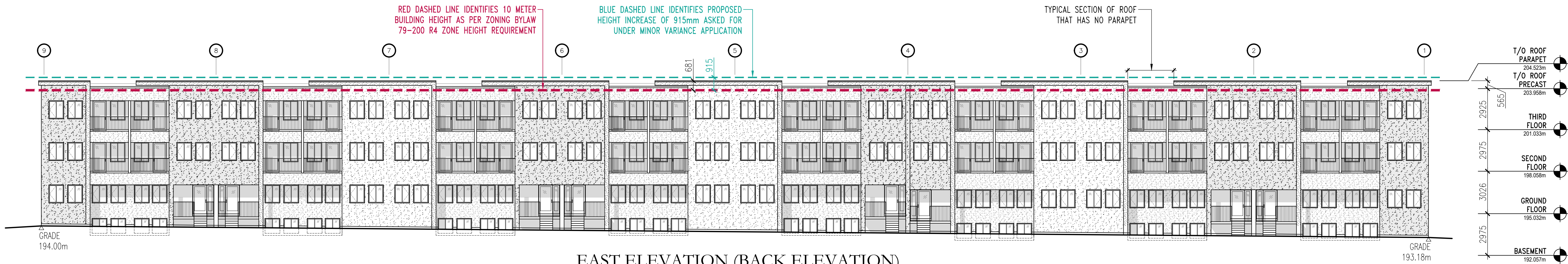
height of building from the average finished grade level
at the front elevation of building per zoning by-law 79-200



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION (BACK ELEVATION)

KEYPLAN

ORIENTATION

SEAL



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ISSUED	DATE
1. MINOR VARIANCE	2025-06-03

CHAPMAN
MURRAY
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ARCHITECTS
INC.

NIAGARA FALLS, ONTARIO

PHONE : (905) 354-1674
FAX : (905) 354-2940
EMAIL : cma@chapmanmurray.com

COMMISSION TITLE:

Blocks A, B, C, & D
of Proposed Residential
Development

Minor Variance

5897 Dunn St., Niagara Falls, ON.

SHEET TITLE:

Block B
Building Elevations

SCALE: 1:150

DATE: June 2025

DRAWN: tv

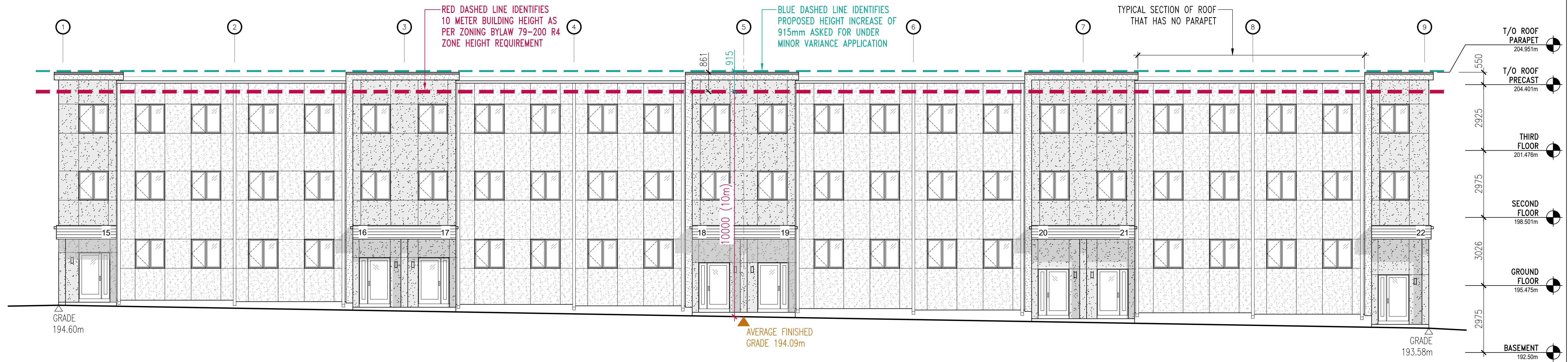
CHECKED: RWM

COMMISSION NO. ISSUE

222143 -

SHEET NO:

MV.3

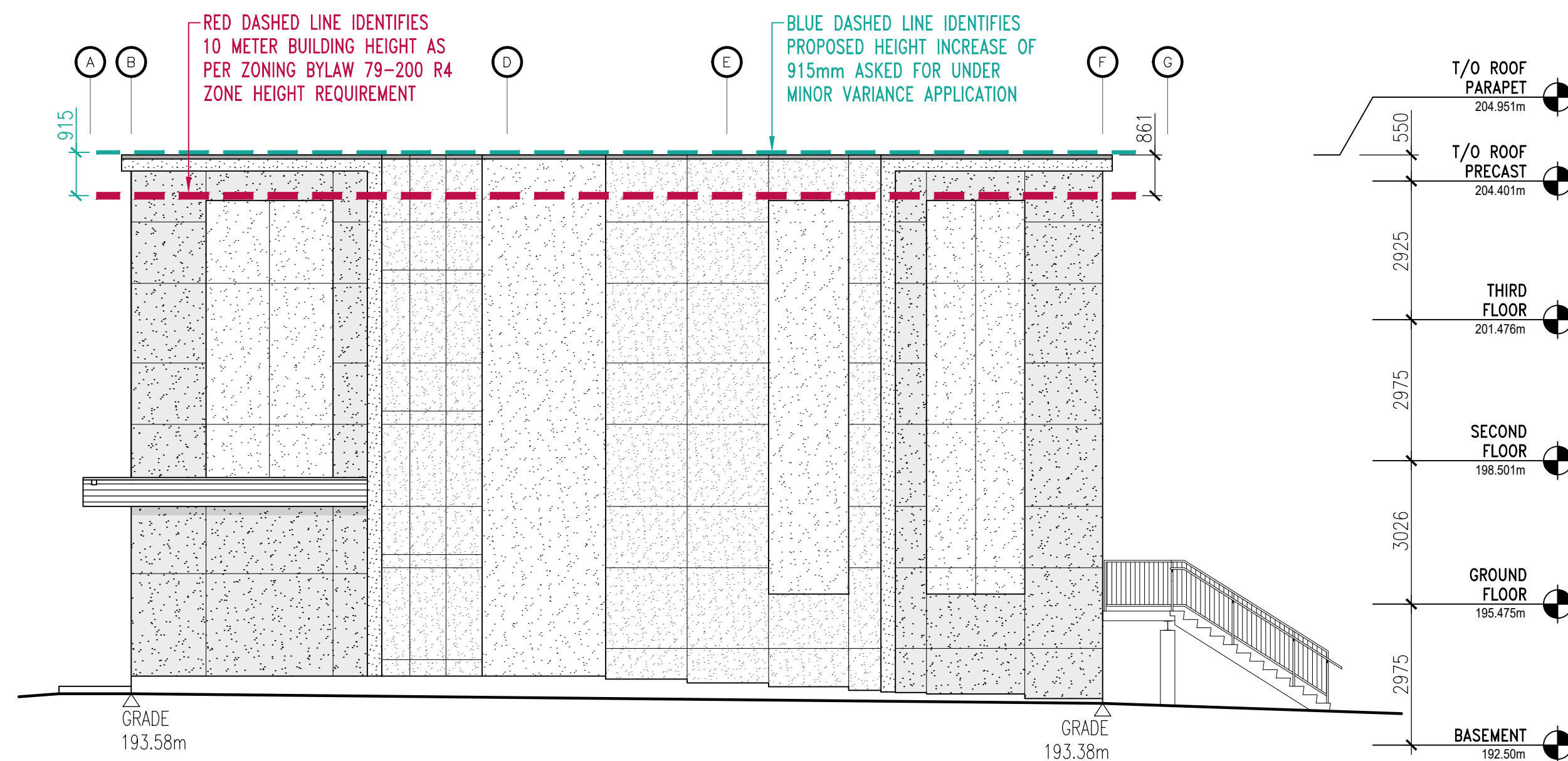


WEST ELEVATION (FRONT ELEVATION)

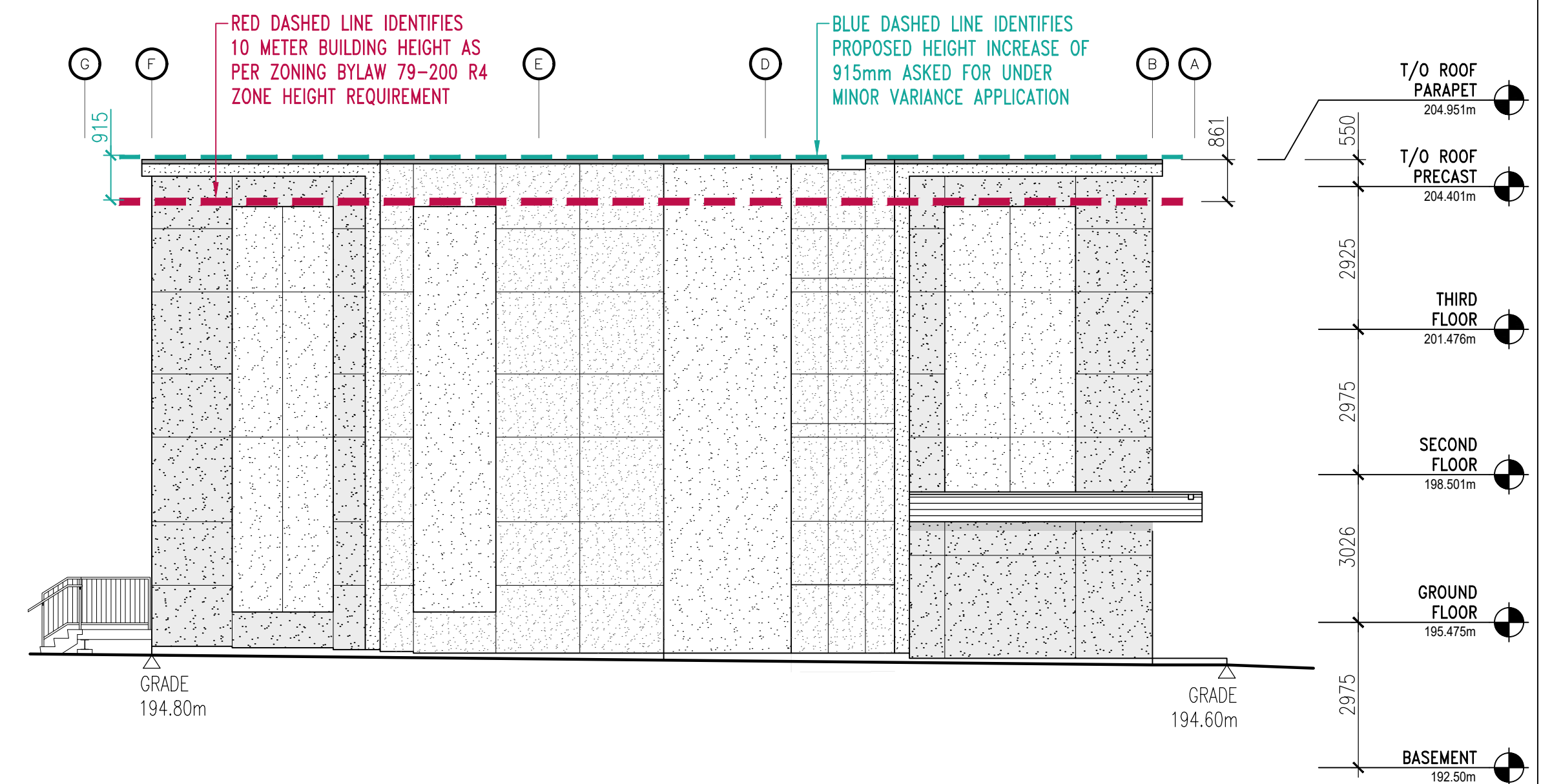
*height of building from the average finished grade level
at the front elevation of building per zoning by-law 79-200*



EAST ELEVATION (BACK ELEVATION)



SOUTH ELEVATION



NORTH ELEVATION

KEYPLAN

ORIENTATION

SEAL



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ISSUED DATE

1. MINOR VARIANCE 2025-06-03

CHAPMAN
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NIAGARA FALLS, ONTARIO

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COMMISSION TITLE:

Blocks A, B, C, & D
of Proposed Residential
Development

Minor Variance

5897 Dunn St., Niagara Falls, ON.

SHEET TITLE:

Block C
Building Elevations

SCALE: 1:100

DATE: June 2025

DRAWN: tv

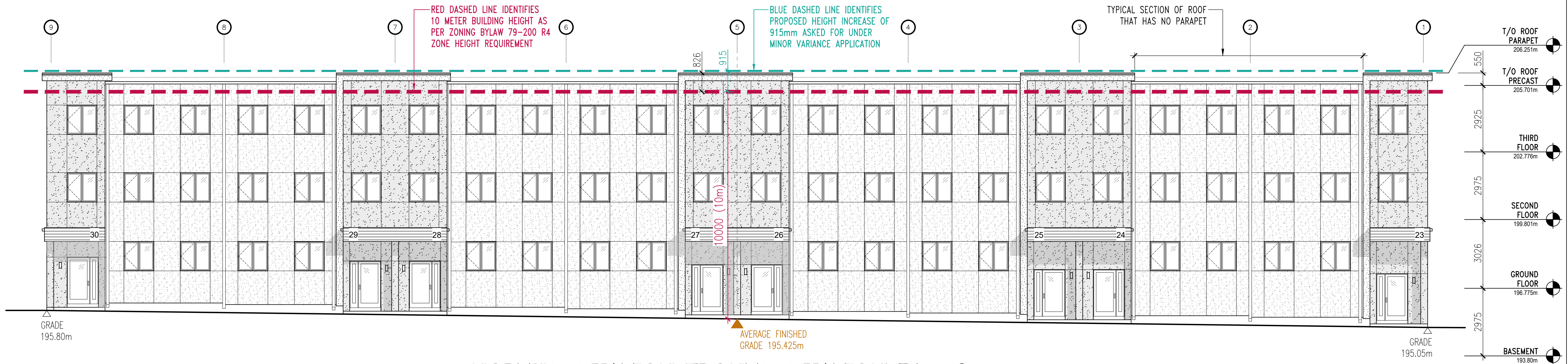
CHECKED: RWM

COMMISSION NO. ISSUE

222143 -

SHEET NO:

MV.4

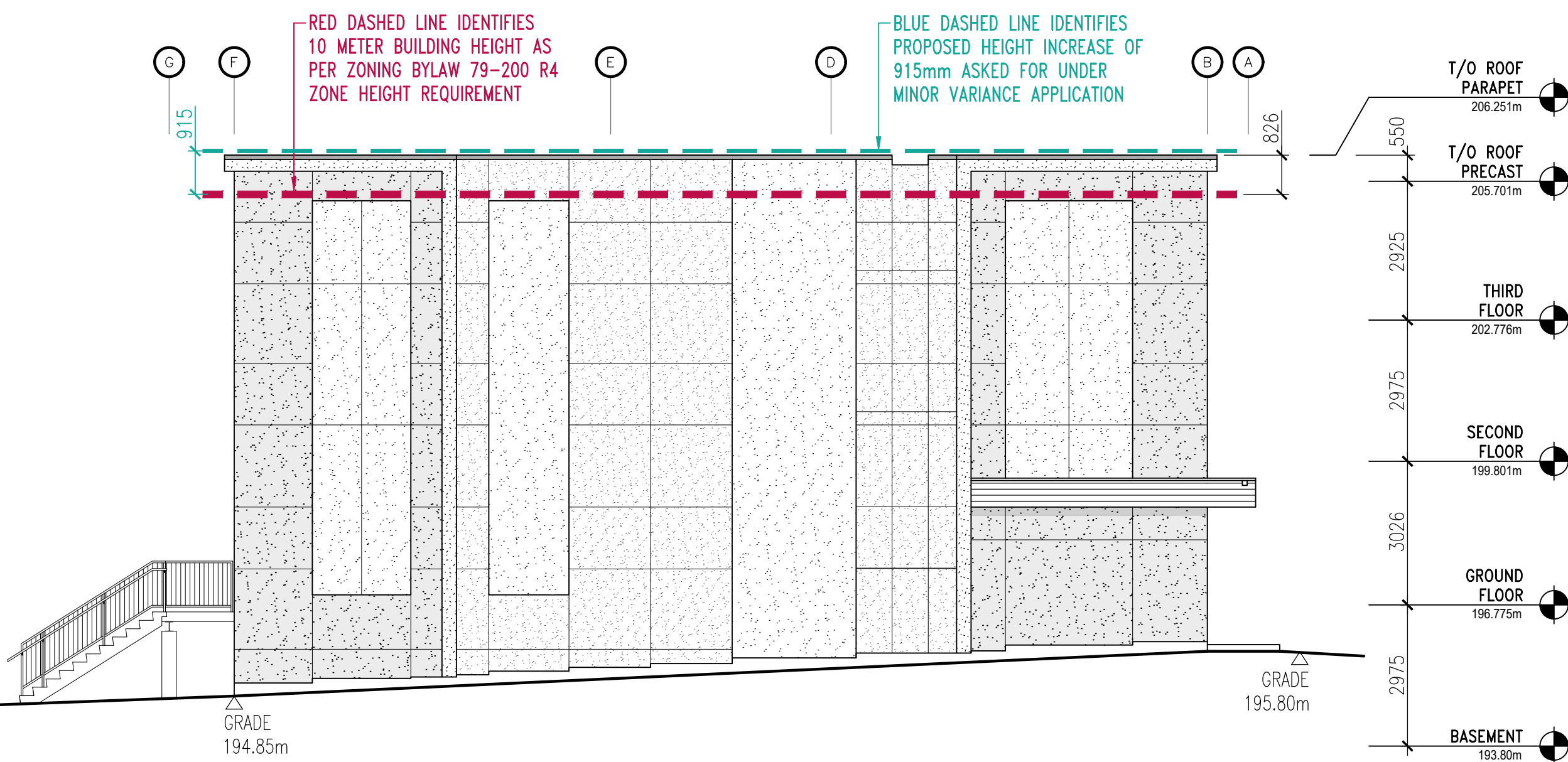


NORTH ELEVATION (FRONT ELEVATION) Dixon Street

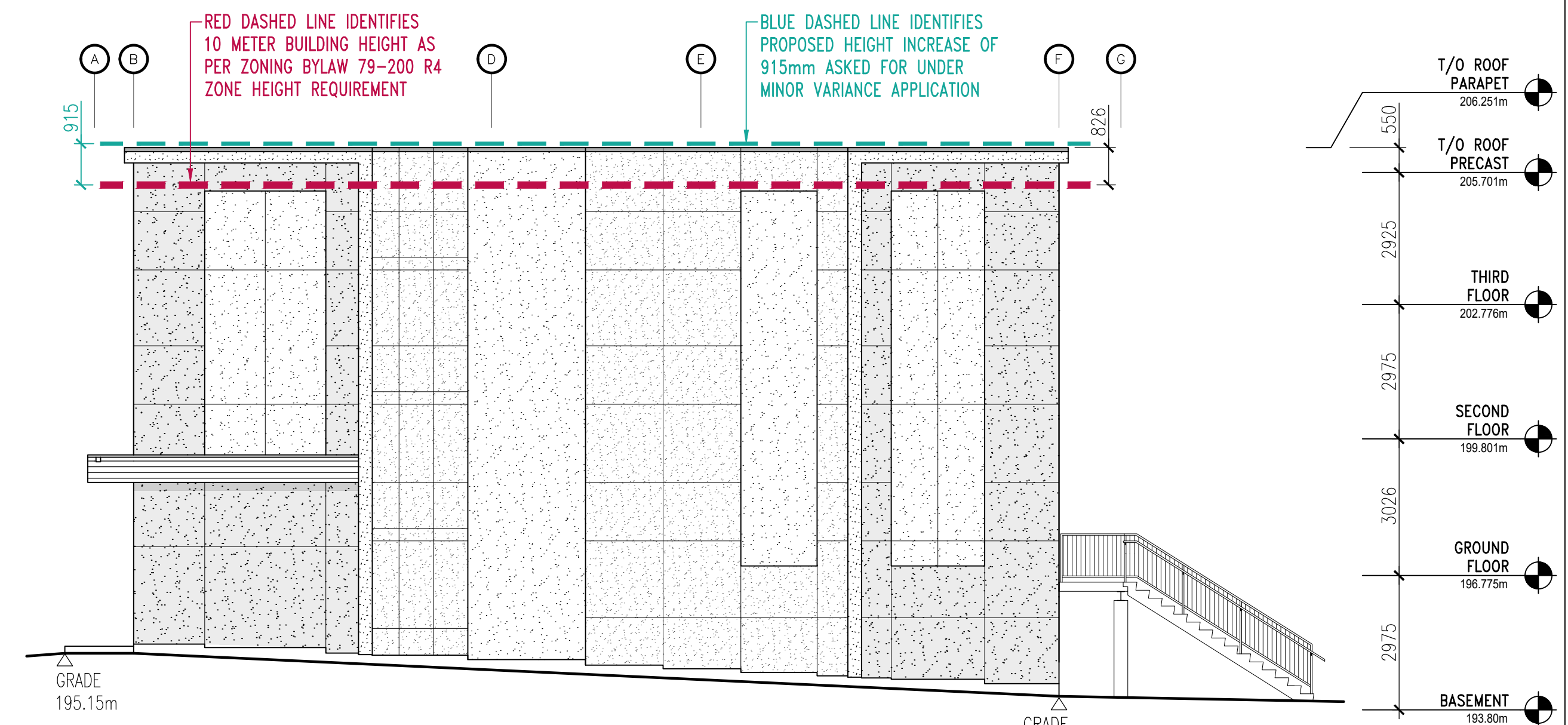
*height of building from the average finished grade level
at the front elevation of building per zoning by-law 79-200*



SOUTH ELEVATION (BACK ELEVATION)



EAST ELEVATION



WEST ELEVATION

KEYPLAN

ORIENTATION

SEAL



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ISSUED	DATE
1. MINOR VARIANCE	2025-06-03

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COMMISSION TITLE:

Blocks A, B, C, & D
of Proposed Residential
Development

Minor Variance

5897 Dunn St., Niagara Falls, ON.

SHEET TITLE:

Block D
Building Elevations

SCALE: 1:100

DATE: June 2025

DRAWN: tv

CHECKED: RWM

COMMISSION NO. ISSUE

222143 -

SHEET NO:

MV.5