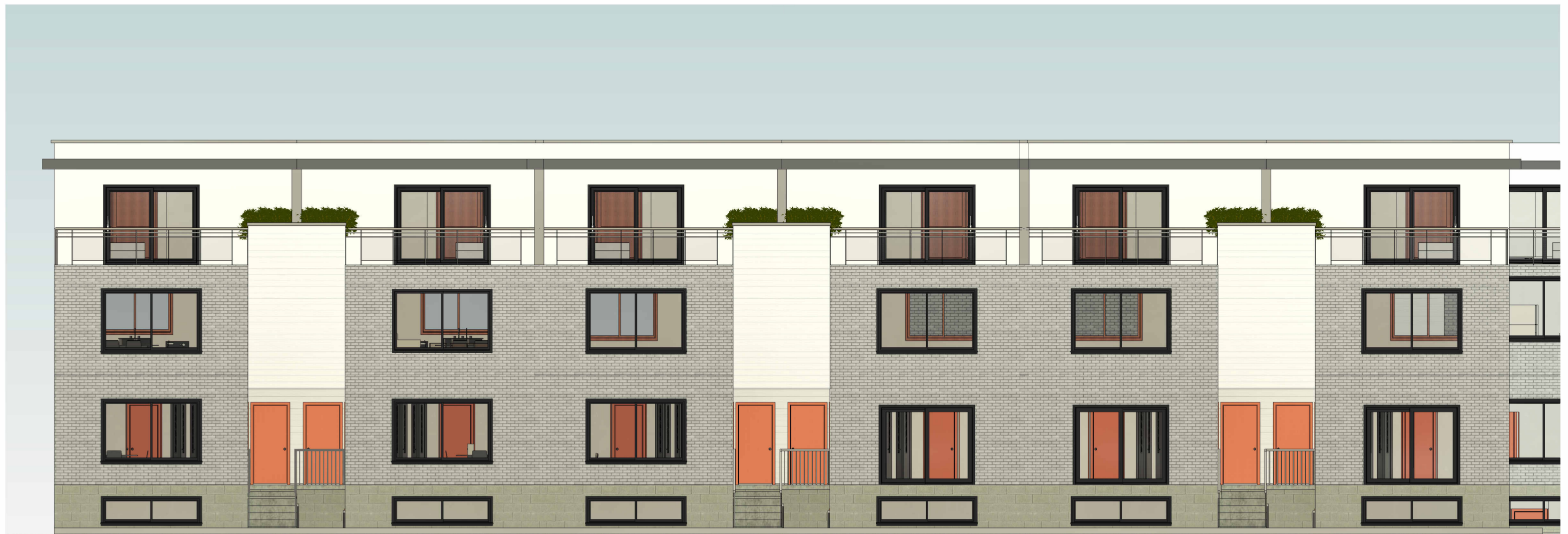
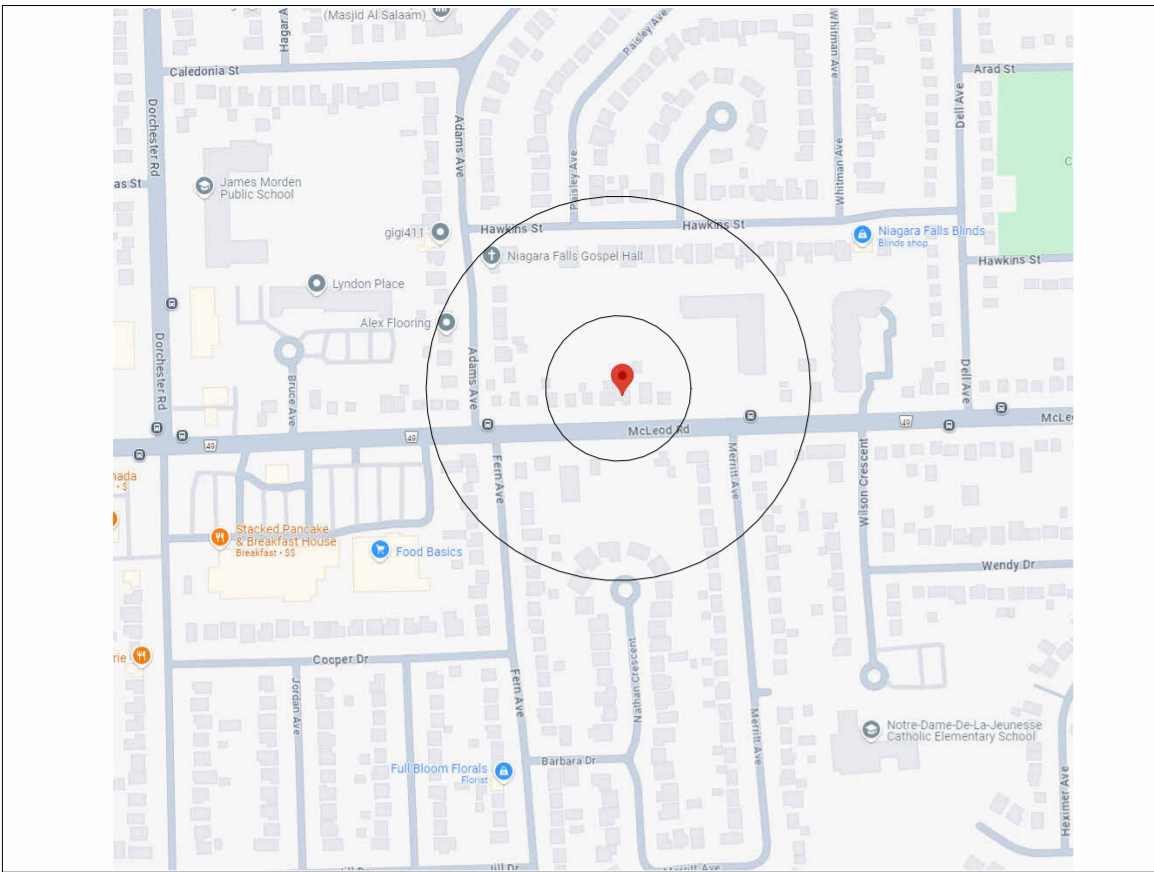


THESE ARE ARCHITECTURAL RENDERINGS AND THEY ARE TO BE USED FOR REFERENCE ONLY
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2 a- front
SCALE:




3 a- 3d
SCALE:

1 KEY PLAN
N/A

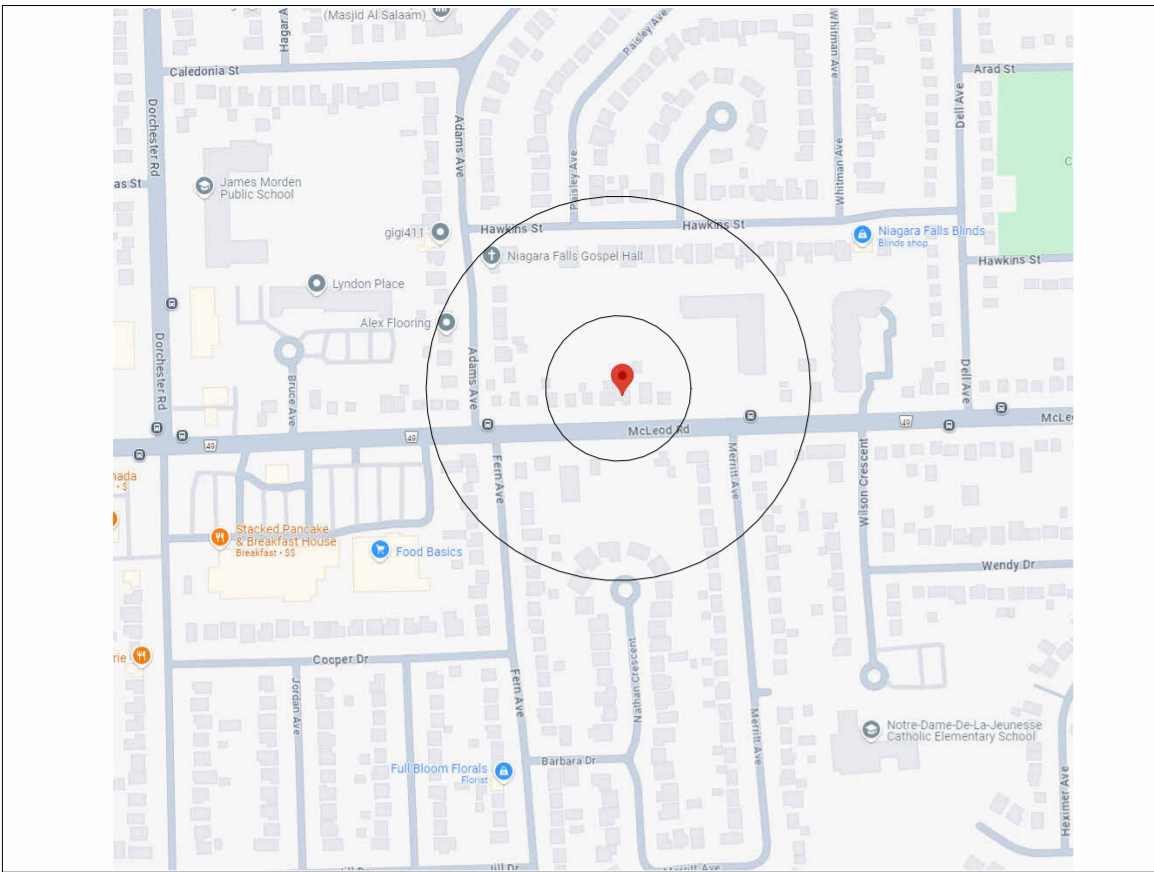
PROJECT INFORMATION	
- PROJECT TYPE & DESCRIPTION	PROP. STACKED TOWNHOUSE
- ADDRESS	6655 McLeod Rd

GENERAL NOTES:

- 1- NO WORK TO ENCROACH ON ADJOINING PROPERTIES
- 2- SMOKE ALARMS SHALL BE INSTALLED ON EACH STOREY OF A DWELLING UNIT, INCLUDING BASEMENTS AS PER O.B.C. 9.10.18.2. [1] [a] [b] and [c]
- 3- CARBON MONOXIDE DETECTORS : IN EACH ROOM THAT CONTAINS A FUEL BURNING APPLIANCE PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARM AUDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECT WITH SMOKE ALARM SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARM AS PER O.B.C. 9.33.4.1.[1] AND AS PER O.B.C. 9.33.4.2.[1] [2] AND [4]
- 4- EXCAVATION NOTES : EXCAVATION AND / OR CONSTRUCTION ON ADJACENT PROPERTIES REQUIRES THE CONSENT OF AFFECTED PROPERTY OWNER(S).
- 5- EVERY EXCAVATION SHALL BE UNDERTAKEN IN A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES , UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- 6- MIN. SOIL BEARING CAPACITY 150KPa. SOIL IS NOT PEAT, FILL OR SENSITIVE CLAY. THE DISTANCE BETWEEN THE BOTTOM OF FOOTINGS AND THE WATER TABLE IS EQUAL TO OR GREATER THAN THE WIDTH OF THE FOOTGS.
- 7- WHERE THE DEPTH OF EXCAVATION EXCEEDS 4'-0", EXCAVATE AT 45° ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DETAILS. STRUCTURE IS NOT LOCATED ON GROUNDS HAVING A SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.
- 8- SURFACE DRAINAGE SHALL NOT BE DISCHARGED DIRECTLY OR INDIRECTLY ONTO A SIDEWALK, DRIVEWAY, STAIRWAY OR AN ADJOINING PROPERTY.
- 9- TREES ON PRIVATE PROPERTY NO PERSON SHALL WITHIN THE CITY'S BOUNDARIES, INJURE OR DESTROY ANY TREE HAVING A DIAMETER OF 30 cm (12 INCHES) OR MORE, MEASURED AT 1.4 m (4'-7") ABOVE GROUND LEVEL UNLESS SO AUTHORIZED BY PERMIT FROM THE COMMISSIONER OF PARKS AND RECREATION. PER MUNICIPAL CODE CHAPTER 331.

 <p>MXL ENGINEERING & ASSOCIATES, INC. 1649 ST. Clair Avenue W, TORONTO ON M6N 1H7 email: permits@mxleng.ca website: www.mxleng.ca Phone: 437.995.4003</p>	NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE	DRAWN BY	PROJECT	SCALE	
	1	ISSUED FOR CLIENT APPROVAL	10/10/24	5			RP	6645, 6655 & 6665 McLeod Road	As indicated	
	2	For Client Approval	Nov. 13, 2024	6			IK		DATE	Nov. 13 2024
	3				7			TITLE	JOB No.	227-2947
4				8			Cover Page - BLOCK A		DRAWING No.	A00.00

THESE ARE ARCHITECTURAL RENDERINGS AND THEY ARE TO BE USED FOR REFERENCE ONLY
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1 KEY PLAN.
N/A

PROJECT INFORMATION	
- PROJECT TYPE & DESCRIPTION	PROP. STACKED TOWNHOUSE
- ADDRESS	6655 McLeod Rd

GENERAL NOTES:

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2 b - front
SCALE:



3 b- 3d
SCALE:

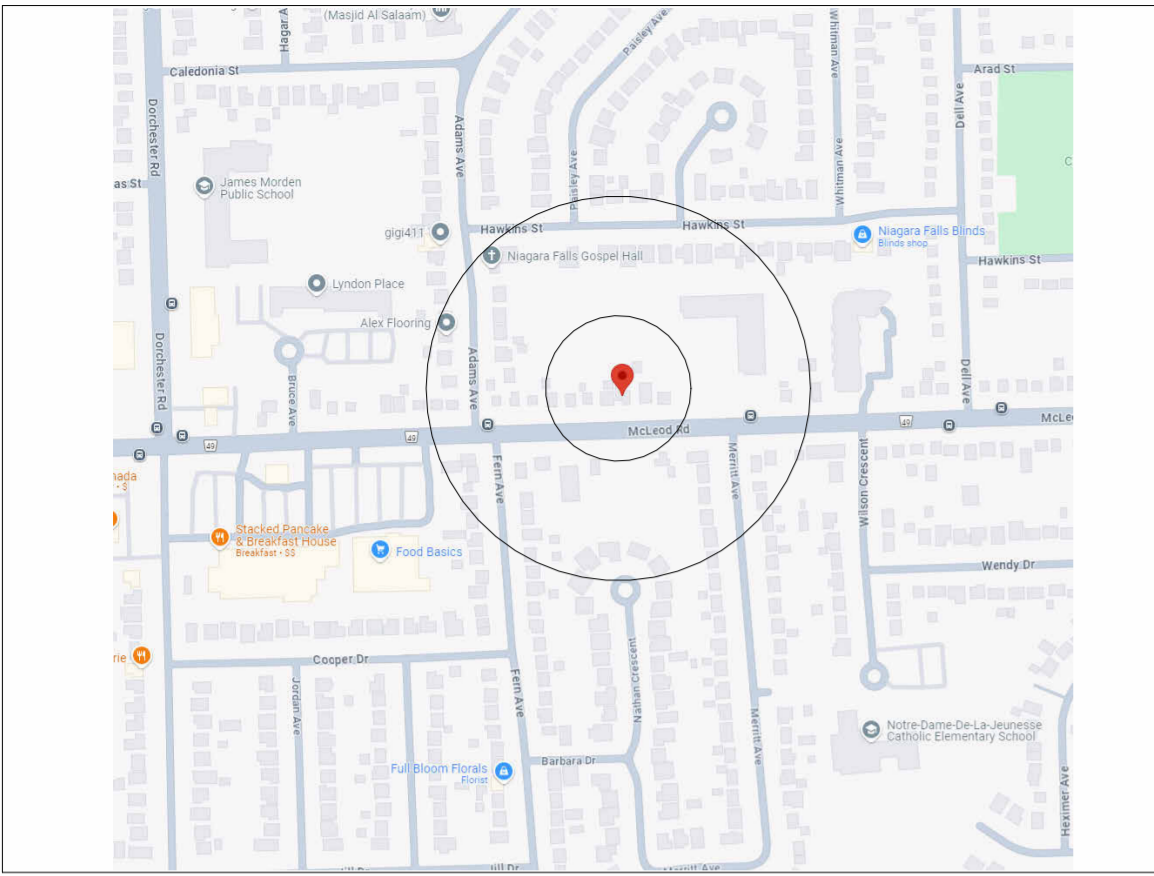
MXL ENGINEERING & ASSOCIATES, INC.
 1649 ST. Clair Avenue W, TORONTO ON M6N 1H7
 email: permits@mxleng.ca
 website: www.mxleng.ca
 Phone: 437.995.4003

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4			8		

DRAWN BY RP	PROJECT 6645, 6655 & 6665 McLeod Road	SCALE As indicated
REVIEWED BY IK		DATE Nov. 13 2024
TITLE Cover Page - BLOCK B		JOB No. 227-2947
		DRAWING No. A00.01

DRAWN BY RP		PROJECT 6645, 6655 & 6665 McLeod Road	SCALE As indicated
REVIEWED BY IK			DATE Nov. 13 2024
TITLE Cover Page - BLOCK B		JOB No. 227-2947	
		DRAWING No. A00.01	

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1 KEY PLAN. Copy 1
N/A

PROJECT INFORMATION	
- PROJECT TYPE & DESCRIPTION	PROP. STACKED TOWNHOUSE
- ADDRESS	6655 McLeod Rd

- GENERAL NOTES:**
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4 c - front
SCALE:



5 c - 3d
SCALE:

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 1649 ST. Clair Avenue W, TORONTO ON M6N 1H7
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DRAWN BY	RP
REVIEWED BY	IK

PROJECT	6645, 6655 & 6665 McLeod Road
TITLE	Cover Page - BLOCK C

SCALE	As indicated
DATE	Nov. 13 2024
JOB No.	227-2947
DRAWING No.	A00.02

MUNICIPALITY & PROJECT INFORMATION	
- PROJECT TYPE & DESCRIPTION	6655 McLeod Rd
- MUNICIPALITY	NIAGARA
- ZONING DESIGNATION	R4

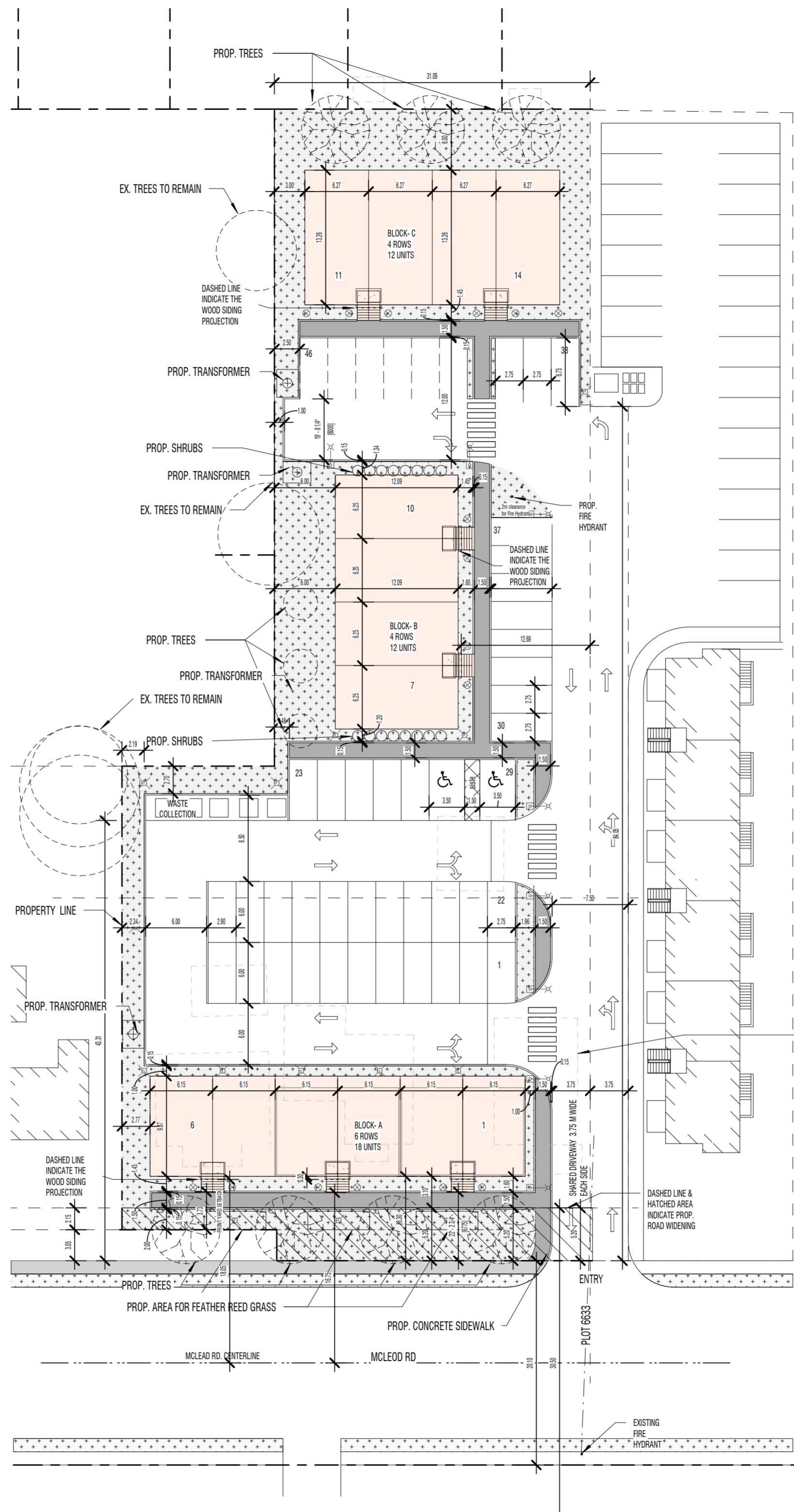
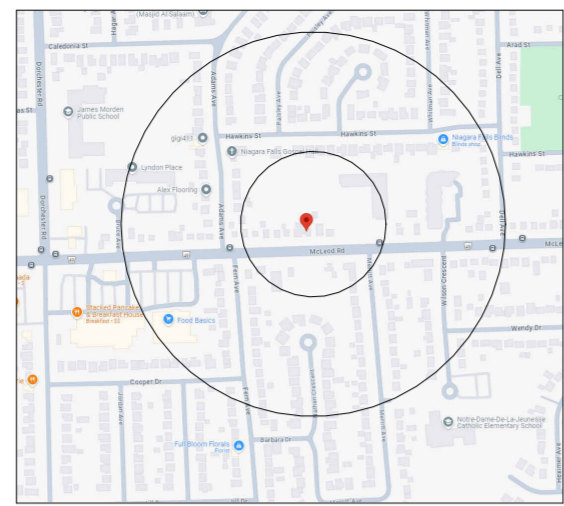
LOT SIZE	EXISTING
-NORTH (REAR)	102.00 ft / 31.09 m
-SOUTH (FRONT)	217.46 ft / 66.28 m
-EAST	369.48 ft / 112.62 m
-WEST	369.49 ft / 112.62 m

TOTAL LOT AREA 45424.99 ft² / 4220.12 m²

TOTAL LOT AREA w/o road widening area 43332.46 sq. ft. / 4025.68 sq. m.

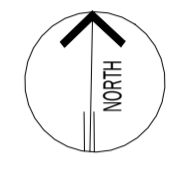
R4 ZONE REGULATIONS

Provision	Requirement	Proposal
(a) Minimum lot area		
(i) for an apartment dwelling or stacked townhouse dwelling	200 square metres (2,152.8 sq. ft.) for each dwelling unit	95.85 sm (1031.72 sq. ft.) for each dwelling unit 42 Units x 95.85 sm = 4025.68 sq. m. (w/o road widening area)
(b) Minimum lot frontage		
(i) for a townhouse dwelling or an apartment dwelling or stacked townhouse dwelling containing more than four dwelling units	30 metres (98.4 ft.)	46.33 m (152 ft.)
(c) Minimum front yard		
(i) for an apartment dwelling or stacked townhouse dwelling	7.5 metres (24.61 ft.) plus any applicable distance specified in section 4.27.1	3.73 m (12.20 ft.)
(d) Minimum rear yard setback		
(i) for an apartment dwelling or stacked townhouse dwelling	10 metres (32.81 ft.) plus any applicable distance specified in section 4.27.1.	5.77 m (18.96 ft.)
(e) Minimum interior side yard setback	one-half the height of the building (10 / 2 = 5 m)	2.77 m (9.08 ft.)
(f) Minimum exterior side yard width		
(i) for an apartment dwelling or stacked townhouse dwelling	7.5 metres plus any applicable distance 24.6 ft. specified in section 4.27.1	N/A
(g) Maximum lot coverage	35 %	25.11 %
(h) Maximum height of building or structure	10 metres (32.81 ft.) subject to section 4.7	Block A = 10 m (32.81 ft.) Block B = 10 m (32.81 ft.) Block C = 10 m (32.81 ft.)
(i) Deleted by By-law No. 2011-136		
(j) Number of dwellings on one lot	subject to compliance with section 7.9.3, more than one dwelling is permitted on one lot	3
(k) Parking and access requirements	in accordance with section 4.19.1 42 units x 1.4 = 58.8 parking spaces	46 parking spaces
(l) Accessory buildings and accessory structures	in accordance with sections 4.13 and 4.14	
(m) Minimum landscaped open space	45 square metres (484.4 sq. ft.) for each dwelling unit	20.73 sm (223.14 sq. ft.) for each dwelling unit
(n) Minimum privacy yard depth for each townhouse dwelling unit, as measured from the exterior rear wall of every dwelling unit (2008-148)	7.5 metres	N/A
(o) Minimum amenity space for an apartment dwelling unit	Subject to compliance with section 4.44, Min. 20 sm per dwelling unit (42 Units,	439.94 sm
(p) Total soft landscape area	N/A	871.04 sq. m. (21.63 % of the LOT Area w/o road widening)



TYPES OF SURFACE MATERIAL		
PEDESTRIAN WALKWAY		
PAVED DRIVEWAY		
SOFT LANDSCAPE		

SIMBOL	DESCRIPTION	DIMENSIONS
	DECORATIVE LAMP POST	H: 3.3 M W: 0.3 M
	LED DIRECTIONAL PATH LIGHTS	H: 0.5 M W: 0.1 M
	STREET LIGHTS	H: 4.6 M TOP W: 0.3 M BOTTOM W: 0.2 M



DRAWN BY RP

APPROVED BY IK

PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
Site Plan

SCALE As indicated

DATE Nov. 13 2024

JOB No. 227-2947

DRAWING No. **A01.01**

Net Floor Area		Gross Floor Area (GFA) - Block A		Gross Floor Area (GFA) - Block B		Gross Floor Area (GFA) - Block C		
BLOCK/UNIT	Area	Area	Area	Area	Area	Area	Area	
BLOCK A - UNIT 1.18	505 ft ²	47 m ²	BLOCK A - UNIT 1	635 ft ²	59 m ²	BLOCK B - UNIT 1	793 ft ²	74 m ²
BLOCK A - UNIT 2.17	483 ft ²	45 m ²	BLOCK A - UNIT 2	582 ft ²	54 m ²	BLOCK B - UNIT 2	741 ft ²	69 m ²
BLOCK A - UNIT 3.16	961 ft ²	89 m ²	BLOCK A - UNIT 3	709 ft ²	66 m ²	BLOCK B - UNIT 3	1529 ft ²	142 m ²
BLOCK A - UNIT 4.9,10,15	990 ft ²	92 m ²	BLOCK A - UNIT 4	709 ft ²	66 m ²	BLOCK B - UNIT 4	1529 ft ²	142 m ²
BLOCK A - UNIT 5.8,11,14	500 ft ²	46 m ²	BLOCK A - UNIT 5	582 ft ²	54 m ²	BLOCK B - UNIT 5	741 ft ²	69 m ²
BLOCK A - UNIT 6.7,12,13	533 ft ²	50 m ²	BLOCK A - UNIT 6	635 ft ²	59 m ²	BLOCK B - UNIT 6	793 ft ²	74 m ²
BLOCK B - UNIT 1.18	641 ft ²	60 m ²	BLOCK A - UNIT 7	635 ft ²	59 m ²	BLOCK B - UNIT 7	793 ft ²	74 m ²
BLOCK B - UNIT 2.11	613 ft ²	57 m ²	BLOCK A - UNIT 8	582 ft ²	54 m ²	BLOCK B - UNIT 8	2218 ft ²	206 m ²
BLOCK B - UNIT 3.10	1164 ft ²	108 m ²	BLOCK A - UNIT 9	1294 ft ²	120 m ²	BLOCK B - UNIT 9	1529 ft ²	142 m ²
BLOCK B - UNIT 4.9	1166 ft ²	108 m ²	BLOCK A - UNIT 10	1294 ft ²	120 m ²	BLOCK B - UNIT 10	52 ft ²	5 m ²
BLOCK B - UNIT 5.8	647 ft ²	60 m ²	BLOCK A - UNIT 11	582 ft ²	54 m ²	BLOCK B - UNIT 11	741 ft ²	69 m ²
BLOCK B - UNIT 6.7	676 ft ²	63 m ²	BLOCK A - UNIT 12	635 ft ²	59 m ²	BLOCK B - UNIT 12	793 ft ²	74 m ²
BLOCK C - UNIT 1.12	715 ft ²	66 m ²	BLOCK A - UNIT 13	635 ft ²	59 m ²	BLOCK C - UNIT 1	874 ft ²	81 m ²
BLOCK C - UNIT 2.11	683 ft ²	63 m ²	BLOCK A - UNIT 14	582 ft ²	54 m ²	BLOCK C - UNIT 2	807 ft ²	75 m ²
BLOCK C - UNIT 3.10	1321 ft ²	123 m ²	BLOCK A - UNIT 15	1294 ft ²	120 m ²	BLOCK C - UNIT 3	2291 ft ²	213 m ²
BLOCK C - UNIT 4.9	1364 ft ²	127 m ²	BLOCK A - UNIT 16	1294 ft ²	120 m ²	BLOCK C - UNIT 4	2291 ft ²	213 m ²
BLOCK C - UNIT 5.8	706 ft ²	66 m ²	BLOCK A - UNIT 17	582 ft ²	54 m ²	BLOCK C - UNIT 5	807 ft ²	75 m ²
BLOCK C - UNIT 6.7	753 ft ²	70 m ²	BLOCK A - UNIT 18	635 ft ²	59 m ²	BLOCK C - UNIT 6	874 ft ²	81 m ²
Grand total: 177	14423 ft ²	1340 m ²				BLOCK C - UNIT 7	874 ft ²	81 m ²
						BLOCK C - UNIT 8	2445 ft ²	227 m ²
						BLOCK C - UNIT 9	1706 ft ²	159 m ²
						BLOCK C - UNIT 10	67 ft ²	6 m ²
						BLOCK C - UNIT 11	807 ft ²	75 m ²
						BLOCK C - UNIT 12	874 ft ²	81 m ²

1 SITE PLAN
SCALE: 1" = 30'-0"

NO.	DESCRIPTION OF ISSUE	DATE
1		
2		
3		
4		
5		
6		
7		

DRAWN BY

RP

APPROVED BY

IK

PROJECT

6645, 6655 & 6665
McLeod Road

TITLE

Site
Plan-LIGHTING
LOCATION &
UTILITY

SCALE

As indicated

DATE

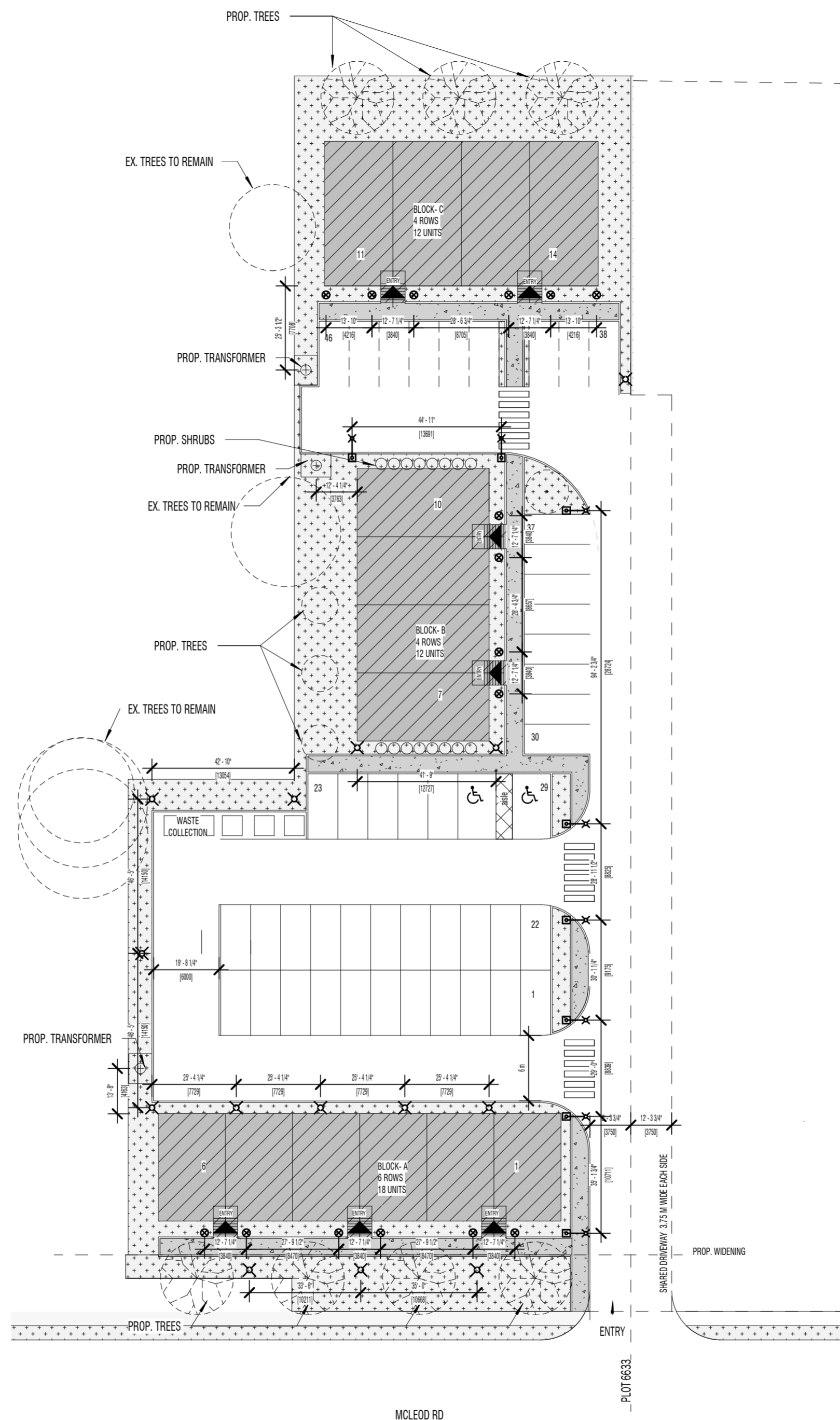
Nov. 13 2024

JOB No.

227-2947

DRAWING No.

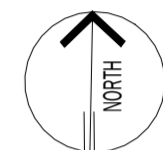
A01.02



SIMBOL	DESCRIPTION	DIMENSIONS
	DECORATIVE LAMP POST	H: 2.3 M W: 0.3 M
	LED DIRECTIONAL PATH LIGHTS	H: 0.5 M W: 0.1 M
	STREET LIGHTS	H: 4.6 M TOP W: 0.7 M BOTTOM W: 0.2 M

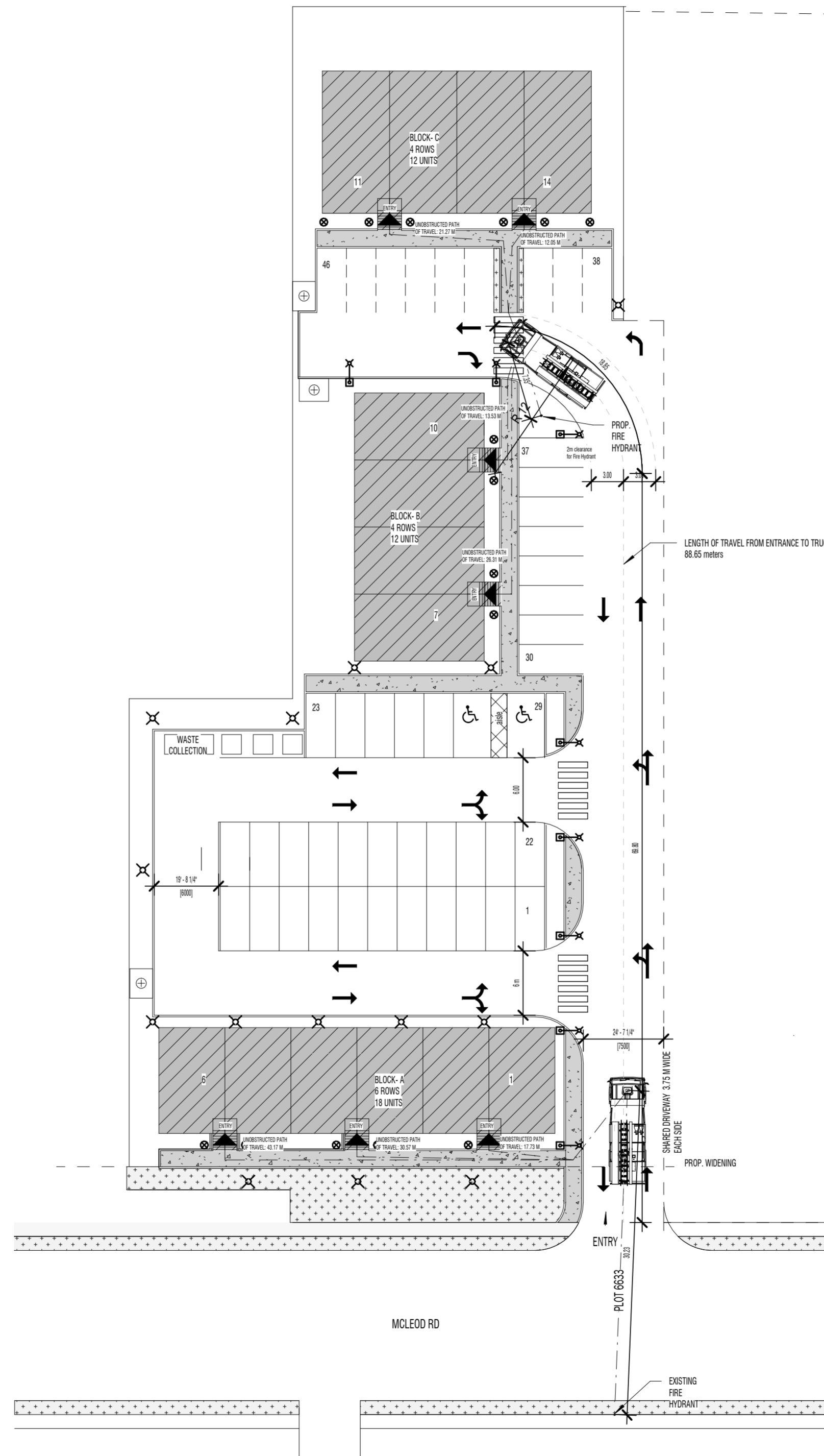
1 SITE PLAN - LIGHTING
SCALE: 1" = 30'-0"

NO.	DESCRIPTION OF ISSUE	DATE
1		
2		
3		
4		
5		
6		
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 RP

APPROVED BY
 IK



1 SITE PLAN - FIRE ACCESS ROUTE - NEW
 SCALE: 1" = 30'-0"

PROJECT
6645, 6655 & 6665 McLeod Road

TITLE
Site Plan (FIRE ACCESS ROUTE)

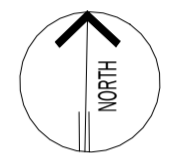
SCALE
 As indicated

DATE
 Nov. 13 2024

JOB No.
 227-2947

DRAWING No.
A01.03

NO.	DESCRIPTION OF ISSUE	DATE
1	ISSUED FOR CLIENT APPROVAL	10/10/2024
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DRAWN BY
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APPROVED BY
IK

PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
OBC MATRIX

SCALE

DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A01.04

Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference						
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9 <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration				2.1.1 9.10.1.3						
2	Major Occupancy(s) <u>Group C Residential Occupancy</u>				3.1.2.1.(1) 9.10.2						
3	Building Area (m ²) Existing <u> </u> New <u>60.71</u> Total <u>60.71</u>				1.1.3.2 1.1.3.2						
4	Gross Area Existing <u> </u> New <u>233.36</u> Total <u>233.36</u>				1.1.3.2 1.1.3.2						
5	Number of Storeys Above grade <u>3</u> Below grade <u>1</u>				3.2.1.1 & 1.1.3.2 2.1.1.3						
6	Height of Building (m) <u>10</u>				2.1.1.3						
7	Number of Streets/Access Routes <u>2</u>				3.2.2.10 & 3.2.5.5						
8	Building Classification <u>3.2.2.47 Group C Up to 3 Storeys</u>				3.2.2.20-83 9.10.4						
9	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required				3.2.2.20-83 3.2.1.5 3.2.2.17 9.10.8						
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.9						
11	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.4 9.10.7.2						
12	Water Service/Supply is Adequate <input type="checkbox"/> Yes <input type="checkbox"/> No										
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.6						
14	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both				3.2.2.20-83 9.10.6						
15	Mezzanine(s) Area m ² <u>N/A</u>				3.2.1.1.(3)-(8) 9.10.4.1						
16	Occupant load based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building Basement: Occupancy <u>Group C</u> Load <u> </u> persons 1 st Floor: Occupancy <u>Group C</u> Load <u> </u> persons 2 nd Floor: Occupancy <u>Group C</u> Load <u> </u> persons 3 rd Floor: Occupancy <u>Group C</u> Load <u> </u> persons For Additional Floors, go to page 2.				3.1.1.6 9.9.1.3						
17	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) <u>Triplexes</u>				3.8 9.5.2						
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2.(1) & 3.3.1.19(1) 9.10.1.3						
19	Required Fire Resistance Rating (FRR)		Horizontal Assemblies FRR (Hours)		Listed Design No. or Description (SG-2)						
	Floors <u>0.75</u> Hours		<u>-</u>		9.10.8 9.10.9						
	Roof <u>N/A</u> Hours		<u>-</u>								
	Mezzanine <u>-</u> Hours		<u>-</u>								
	FRR of Supporting Members		Listed Design No. Or Description (SG-2)								
	Floors <u>0.75</u> Hours		<u>-</u>								
	Roof <u>N/A</u> Hours		<u>-</u>								
	Mezzanine <u>-</u> Hours		<u>-</u>								
20	Spatial Separation – Construction of Exterior Walls				3.2.3 9.10.14						
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Nonc. Cladding	Non-comb. Constr.
	North	17.22	13.2	-	100	24	N/A	-	Y	C/NC Cladding	Y
	South	17.22	5.25	-	82.3	24	0.75	-	Y	C/NC Cladding	Y
	East	-	-	-	-	-	-	-	-	-	-
	West	27.6	3	-	23	0	1	-	Y	NC Cladding	Y
	For Additional Walls, go to page 2										

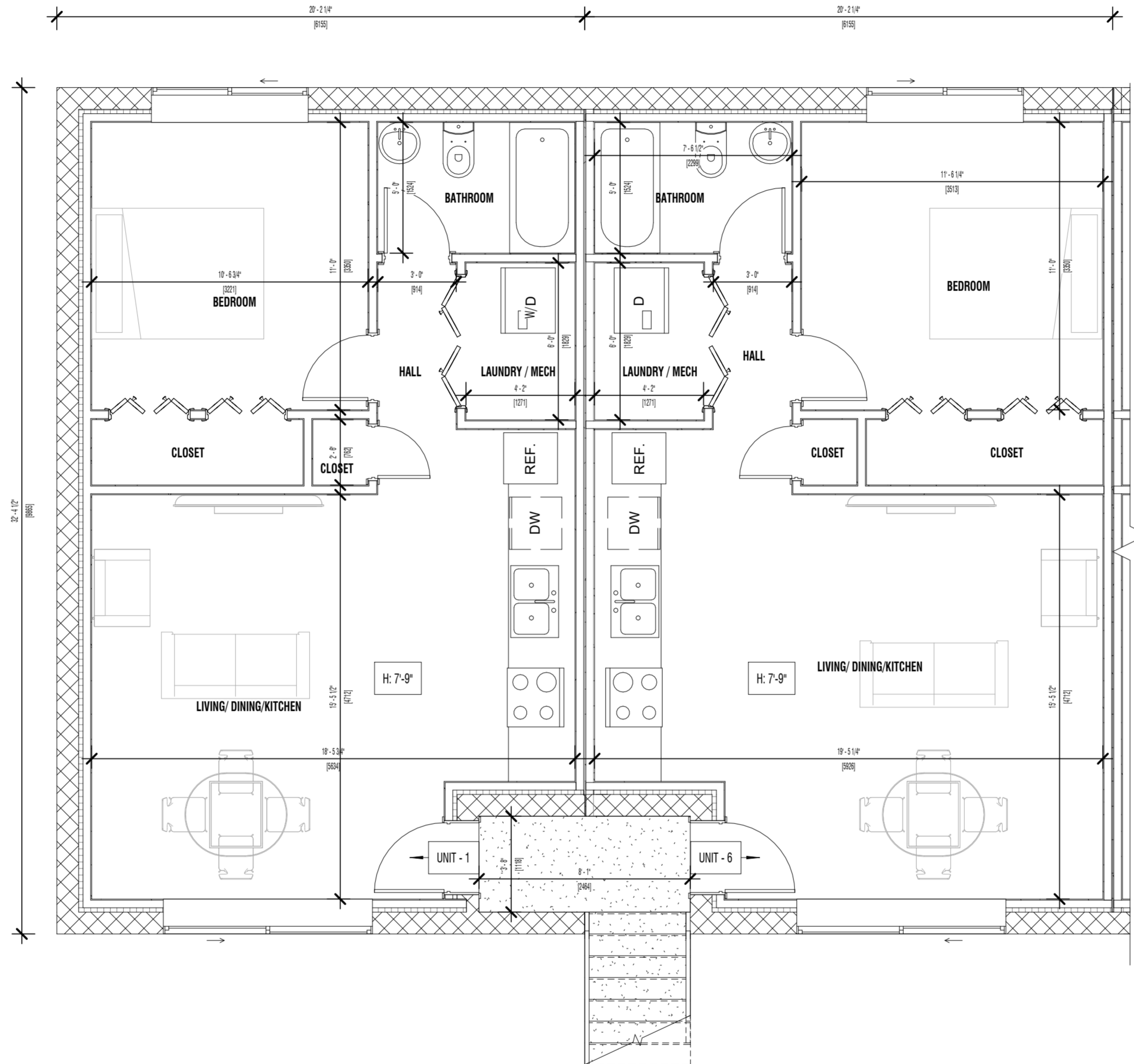
OBC MATRIX FOR THE END UNITS- BLOCK A

Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference						
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9 <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration				2.1.1 9.10.1.3						
2	Major Occupancy(s) <u>Group C Residential Occupancies</u>				3.1.2.1.(1) 9.10.2						
3	Building Area (m ²) Existing <u>0</u> New <u>60.71</u> Total <u>60.71</u>				1.1.3.2 1.1.3.2						
4	Gross Area Existing <u>0</u> New <u>233.36</u> Total <u>233.36</u>				1.1.3.2 1.1.3.2						
5	Number of Storeys Above grade <u>3</u> Below grade <u>1</u>				3.2.1.1 & 1.1.3.2 2.1.1.3						
6	Height of Building (m) <u>10.00</u>				2.1.1.3						
7	Number of Streets/Access Routes <u>1</u>				3.2.2.10 & 3.2.5.5						
8	Building Classification <u>3.2.2.47 Group C Up to 3 Storeys</u>				3.2.2.20-83 9.10.4						
9	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required				3.2.2.20-83 3.2.1.5 3.2.2.17 9.10.8						
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.9						
11	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.4 9.10.7.2						
12	Water Service/Supply is Adequate <input type="checkbox"/> Yes <input type="checkbox"/> No										
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.6						
14	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both				3.2.2.20-83 9.10.6						
15	Mezzanine(s) Area m ² <u>N/A</u>				3.2.1.1.(3)-(8) 9.10.4.1						
16	Occupant load based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building Basement: Occupancy <u>Group C</u> Load <u> </u> persons 1 st Floor: Occupancy <u>Group C</u> Load <u> </u> persons 2 nd Floor: Occupancy <u>Group C</u> Load <u> </u> persons 3 rd Floor: Occupancy <u>Group C</u> Load <u> </u> persons For Additional Floors, go to page 2.				3.1.1.6 9.9.1.3						
17	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) <u>Triplexes</u>				3.8 9.5.2						
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2.(1) & 3.3.1.19(1) 9.10.1.3						
19	Required Fire Resistance Rating (FRR)		Horizontal Assemblies FRR (Hours)		Listed Design No. or Description (SG-2)						
	Floors <u>0.75</u> Hours		<u>-</u>		9.10.8 9.10.9						
	Roof <u>N/A</u> Hours		<u>-</u>								
	Mezzanine <u>-</u> Hours		<u>-</u>								
	FRR of Supporting Members		Listed Design No. Or Description (SG-2)								
	Floors <u>0.75</u> Hours		<u>-</u>								
	Roof <u>N/A</u> Hours		<u>-</u>								
	Mezzanine <u>-</u> Hours		<u>-</u>								
20	Spatial Separation – Construction of Exterior Walls				3.2.3 9.10.14						
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Nonc. Cladding	Non-comb. Constr.
	North	17.22	13.2	-	100	24	N/A	-	Y	C/NC Cladding	Y
	South	17.22	5.25	-	82.3	24	0.75	-	Y	C/NC Cladding	Y
	East	-	-	-	-	-	-	-	-	-	-
	West	-	-	-	-	-	-	-	-	-	-
	For Additional Walls, go to page 2										

OBC MATRIX FOR THE MIDDLE UNITS- BLOCK A

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 1	BATHROOM	Basement	38 ft²	4 m²
BLOCK A - UNIT 1	BEDROOM	Basement	116 ft²	11 m²
BLOCK A - UNIT 1	CLOSET	Basement	20 ft²	2 m²
BLOCK A - UNIT 1	CLOSET	Basement	5 ft²	0 m²
BLOCK A - UNIT 1	HALL	Basement	19 ft²	2 m²
BLOCK A - UNIT 1	LAUNDRY / MECH	Basement	25 ft²	2 m²
BLOCK A - UNIT 1	LIVING/ DINING/KITCHEN	Basement	282 ft²	26 m²
Grand total			505 ft²	47 m²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 6	BATHROOM	Basement	38 ft²	4 m²
BLOCK A - UNIT 6	BEDROOM	Basement	127 ft²	12 m²
BLOCK A - UNIT 6	CLOSET	Basement	23 ft²	2 m²
BLOCK A - UNIT 6	CLOSET	Basement	5 ft²	0 m²
BLOCK A - UNIT 6	HALL	Basement	19 ft²	2 m²
BLOCK A - UNIT 6	LAUNDRY / MECH	Basement	25 ft²	2 m²
BLOCK A - UNIT 6	LIVING/ DINING/KITCHEN	Basement	297 ft²	28 m²
Grand total			533 ft²	50 m²



1 BASEMENT FLOOR PLAN -
Block - A
SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
2	For Client Approval	Nov. 13, 2024	6		
3			7		
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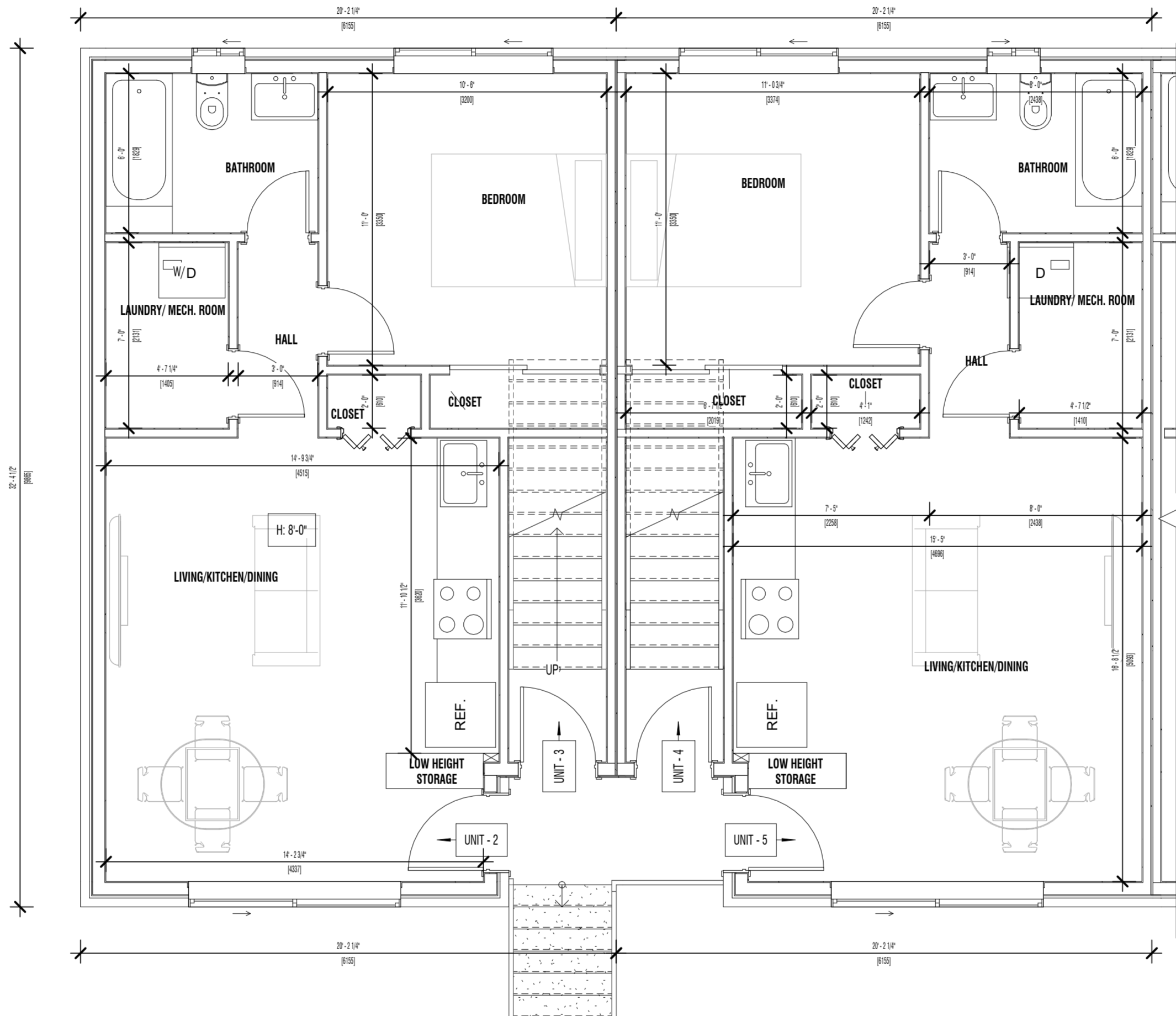
DRAWN BY RP
REVIEWED BY IK

PROJECT 6645, 6655 & 6665 McLeod Road
TITLE Basement Plan - Block - A

SCALE 1/4" = 1'-0"
DATE Nov. 13 2024
JOB No. 227-2947
DRAWING No. A02.01.01

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 2	BATHROOM	First Floor	48 ft ²	4 m ²
BLOCK A - UNIT 2	BEDROOM	First Floor	115 ft ²	11 m ²
BLOCK A - UNIT 2	CLOSET	First Floor	7 ft ²	1 m ²
BLOCK A - UNIT 2	CLOSET	First Floor	13 ft ²	1 m ²
BLOCK A - UNIT 2	HALL	First Floor	22 ft ²	2 m ²
BLOCK A - UNIT 2	LAUNDRY/ MECH. ROOM	First Floor	32 ft ²	3 m ²
BLOCK A - UNIT 2	LIVING/KITCHEN/DINING	First Floor	245 ft ²	23 m ²
Grand total			483 ft ²	45 m ²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 5	BATHROOM	First Floor	48 ft ²	4 m ²
BLOCK A - UNIT 5	BEDROOM	First Floor	122 ft ²	11 m ²
BLOCK A - UNIT 5	CLOSET	First Floor	13 ft ²	1 m ²
BLOCK A - UNIT 5	CLOSET	First Floor	8 ft ²	1 m ²
BLOCK A - UNIT 5	HALL	First Floor	22 ft ²	2 m ²
BLOCK A - UNIT 5	LAUNDRY/ MECH. ROOM	First Floor	32 ft ²	3 m ²
BLOCK A - UNIT 5	LIVING/KITCHEN/DINING	First Floor	255 ft ²	24 m ²
Grand total			500 ft ²	46 m ²



1 FIRST FLOOR PLAN - Block A
SCALE: 1/4" = 1'-0"



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1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
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IK

PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
**First Floor Plan - BLOCK -
A**

SCALE
1/4" = 1'-0"

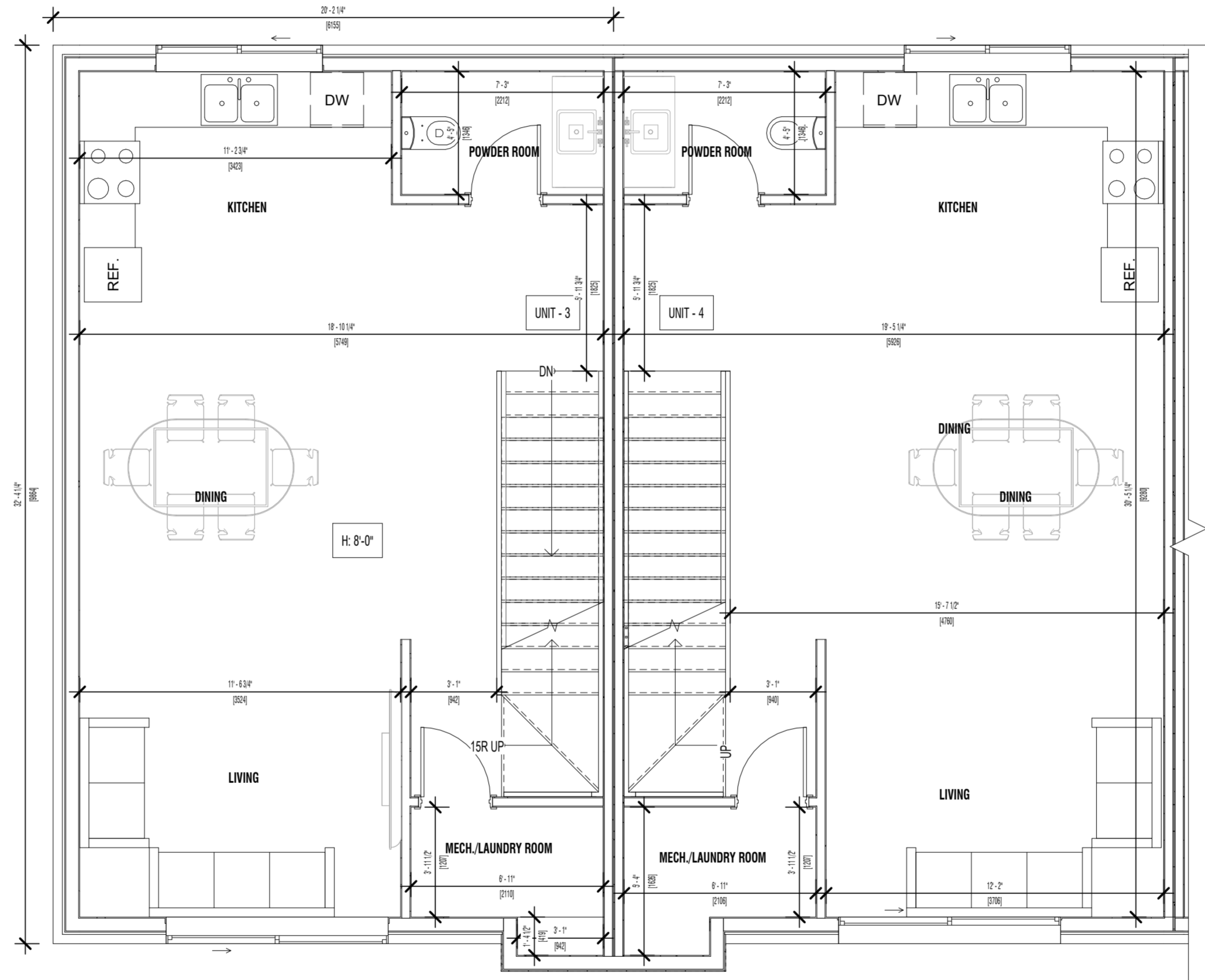
DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A02.01.02

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 3	LIVING	Second Floor	116 ft ²	11 m ²
BLOCK A - UNIT 3	DINING	Second Floor	165 ft ²	15 m ²
BLOCK A - UNIT 3	KITCHEN	Second Floor	167 ft ²	15 m ²
BLOCK A - UNIT 3	POWDER ROOM	Second Floor	32 ft ²	3 m ²
BLOCK A - UNIT 3	MECH./LAUNDRY ROOM	Second Floor	32 ft ²	3 m ²
BLOCK A - UNIT 3	BEDROOM - 2	Third Floor	145 ft ²	13 m ²
BLOCK A - UNIT 3	HALLWAY	Third Floor	56 ft ²	5 m ²
BLOCK A - UNIT 3	STORAGE	Third Floor	31 ft ²	3 m ²
BLOCK A - UNIT 3	BEDROOM - 1	Third Floor	125 ft ²	12 m ²
BLOCK A - UNIT 3	CLOSET	Third Floor	16 ft ²	1 m ²
BLOCK A - UNIT 3	CLOSET	Third Floor	16 ft ²	1 m ²
BLOCK A - UNIT 3	WASHROOM	Third Floor	53 ft ²	5 m ²
BLOCK A - UNIT 3	CLOSET	Third Floor	7 ft ²	1 m ²
Grand total			961 ft ²	89 m ²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 4	DINING	Second Floor	168 ft ²	16 m ²
BLOCK A - UNIT 4	MECH./LAUNDRY ROOM	Second Floor	32 ft ²	3 m ²
BLOCK A - UNIT 4	LIVING	Second Floor	122 ft ²	11 m ²
BLOCK A - UNIT 4	POWDER ROOM	Second Floor	32 ft ²	3 m ²
BLOCK A - UNIT 4	KITCHEN	Second Floor	173 ft ²	16 m ²
BLOCK A - UNIT 4	HALLWAY	Third Floor	56 ft ²	5 m ²
BLOCK A - UNIT 4	WASHROOM	Third Floor	52 ft ²	5 m ²
BLOCK A - UNIT 4	BEDROOM - 2	Third Floor	152 ft ²	14 m ²
BLOCK A - UNIT 4	CLOSET	Third Floor	17 ft ²	2 m ²
BLOCK A - UNIT 4	CLOSET	Third Floor	17 ft ²	2 m ²
BLOCK A - UNIT 4	BEDROOM - 1	Third Floor	131 ft ²	12 m ²
BLOCK A - UNIT 4	CLOSET	Third Floor	7 ft ²	1 m ²
BLOCK A - UNIT 4	STORAGE	Third Floor	31 ft ²	3 m ²
Grand total			990 ft ²	92 m ²



1 SECOND FLOOR PLAN - Block A
SCALE: 1/4" = 1'-0"



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1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
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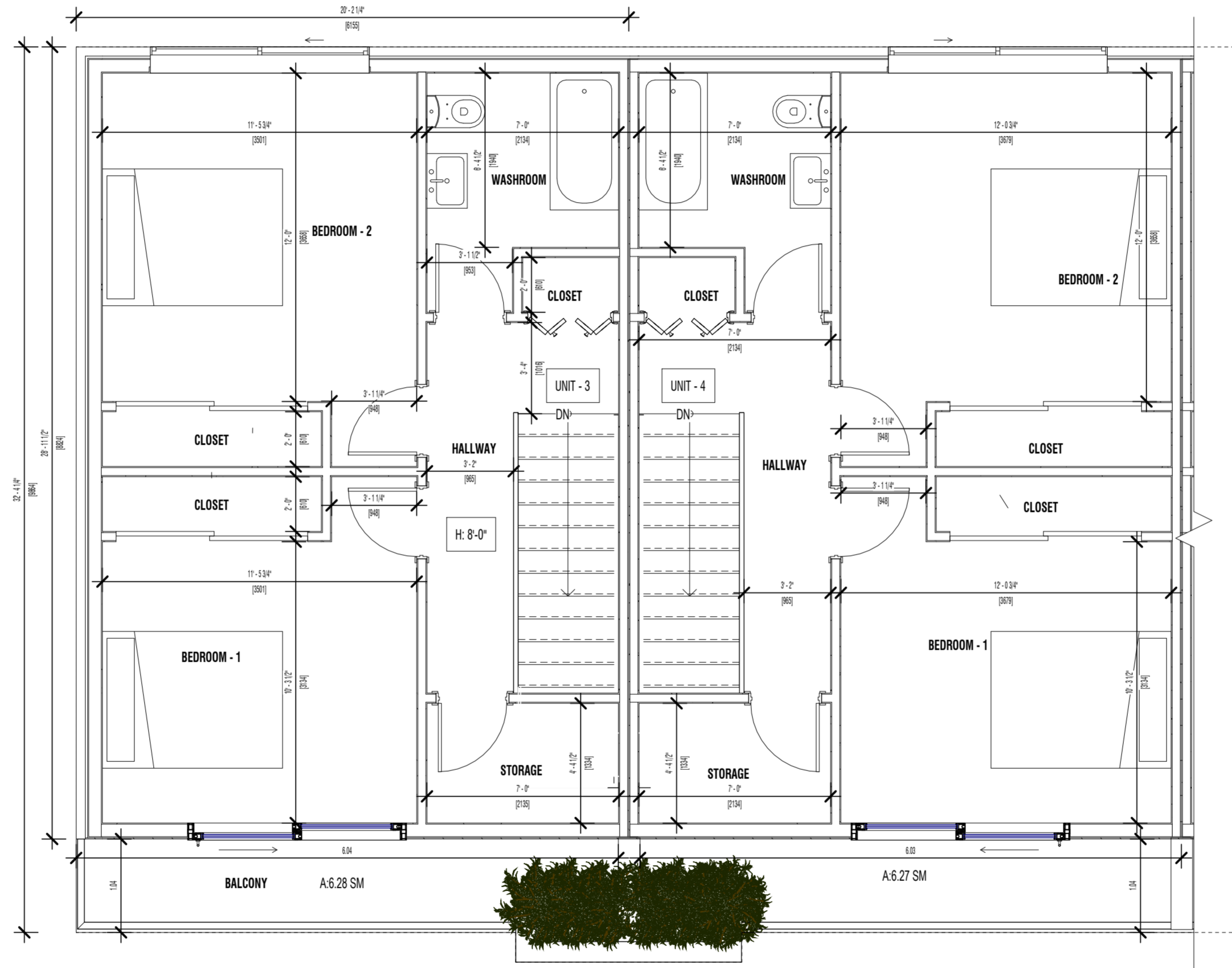
DRAWN BY
RP
REVIEWED BY
IK

PROJECT
**6645, 6655 & 6665
McLeod Road**
TITLE
Second Floor Plan - Block A

SCALE
1/4" = 1'-0"
DATE
Nov. 13 2024
JOB No.
227-2947
DRAWING No.
A02.01.03

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 3	LIVING	Second Floor	116 ft²	11 m²
BLOCK A - UNIT 3	DINING	Second Floor	165 ft²	15 m²
BLOCK A - UNIT 3	KITCHEN	Second Floor	167 ft²	15 m²
BLOCK A - UNIT 3	POWDER ROOM	Second Floor	32 ft²	3 m²
BLOCK A - UNIT 3	MECH./LAUNDRY ROOM	Second Floor	32 ft²	3 m²
BLOCK A - UNIT 3	BEDROOM - 2	Third Floor	145 ft²	13 m²
BLOCK A - UNIT 3	HALLWAY	Third Floor	56 ft²	5 m²
BLOCK A - UNIT 3	STORAGE	Third Floor	31 ft²	3 m²
BLOCK A - UNIT 3	BEDROOM - 1	Third Floor	125 ft²	12 m²
BLOCK A - UNIT 3	CLOSET	Third Floor	16 ft²	1 m²
BLOCK A - UNIT 3	CLOSET	Third Floor	16 ft²	1 m²
BLOCK A - UNIT 3	WASHROOM	Third Floor	53 ft²	5 m²
BLOCK A - UNIT 3	CLOSET	Third Floor	7 ft²	1 m²
Grand total			961 ft²	89 m²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK A - UNIT 4	DINING	Second Floor	168 ft²	16 m²
BLOCK A - UNIT 4	MECH./LAUNDRY ROOM	Second Floor	32 ft²	3 m²
BLOCK A - UNIT 4	LIVING	Second Floor	122 ft²	11 m²
BLOCK A - UNIT 4	POWDER ROOM	Second Floor	32 ft²	3 m²
BLOCK A - UNIT 4	KITCHEN	Second Floor	173 ft²	16 m²
BLOCK A - UNIT 4	HALLWAY	Third Floor	56 ft²	5 m²
BLOCK A - UNIT 4	WASHROOM	Third Floor	52 ft²	5 m²
BLOCK A - UNIT 4	BEDROOM - 2	Third Floor	152 ft²	14 m²
BLOCK A - UNIT 4	CLOSET	Third Floor	17 ft²	2 m²
BLOCK A - UNIT 4	CLOSET	Third Floor	17 ft²	2 m²
BLOCK A - UNIT 4	BEDROOM - 1	Third Floor	131 ft²	12 m²
BLOCK A - UNIT 4	CLOSET	Third Floor	7 ft²	1 m²
BLOCK A - UNIT 4	STORAGE	Third Floor	31 ft²	3 m²
Grand total			990 ft²	92 m²



1 THIRD FLOOR - BLOCK A
SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
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RP

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IK

PROJECT
**6645, 6655 & 6665
McLeod Road**

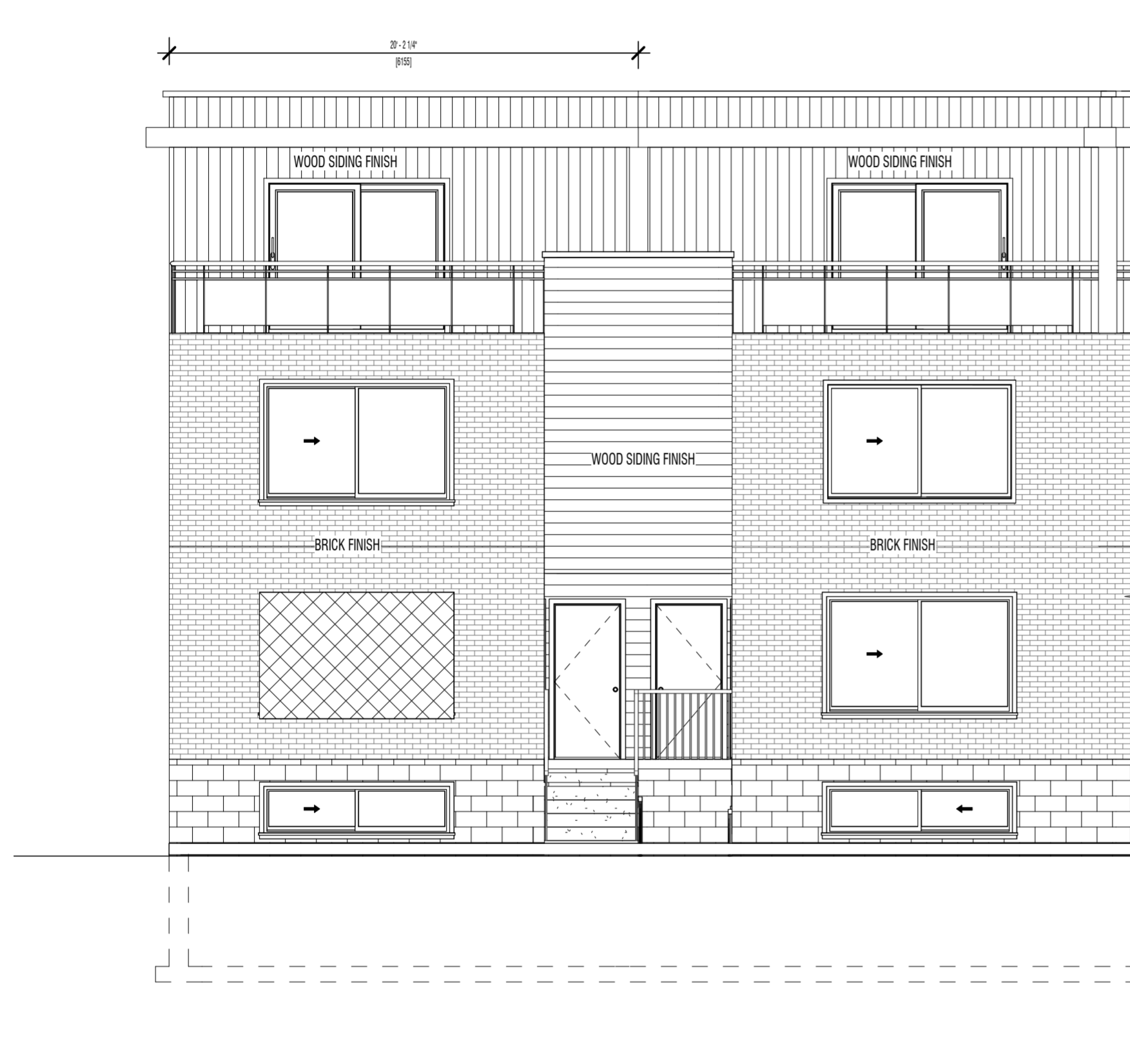
TITLE
Third Floor Plan - Block A

SCALE
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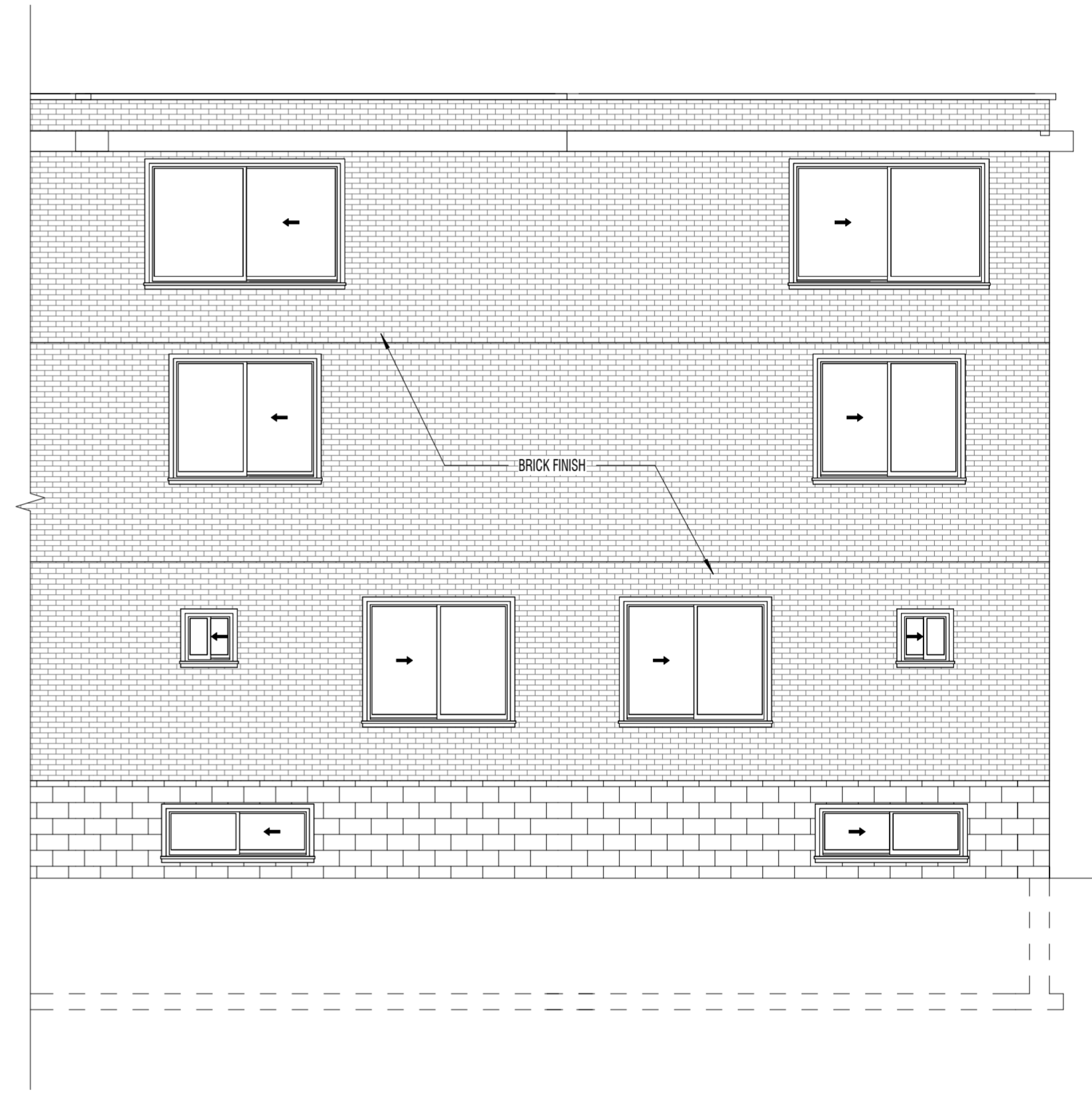
DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A02.01.04



1 BLOCK A - FRONT
SCALE: 3/16" = 1'-0"



2 BLOCK A - REAR
SCALE: 3/16" = 1'-0"

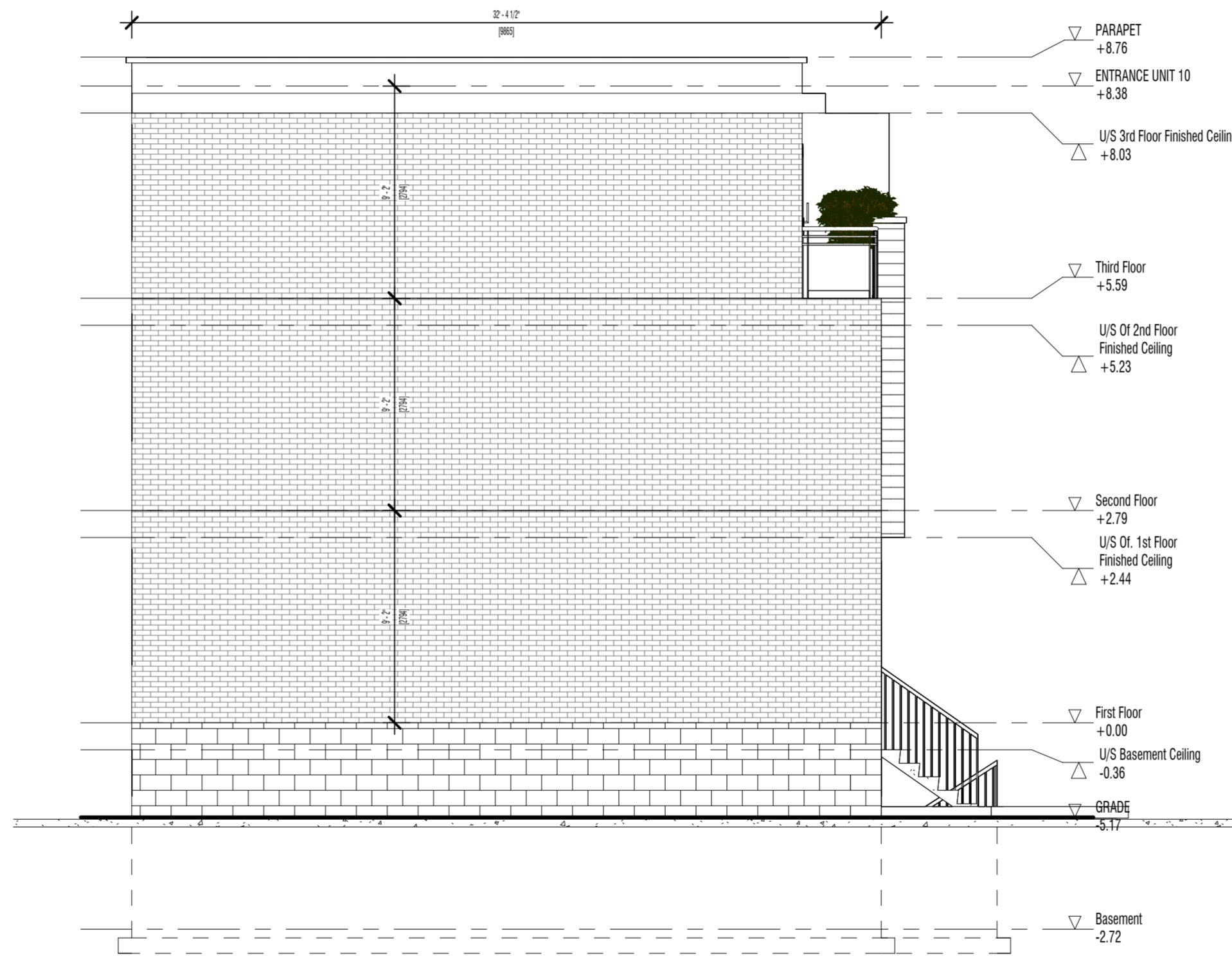


NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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PROJECT	6645, 6655 & 6665 McLeod Road
TITLE	Elevation- BLOCK A

SCALE	3/16" = 1'-0"
DATE	Nov. 13 2024
JOB No.	227-2947
DRAWING No.	A03.01.



1 SIDE ELEVATION - BLOCK A
SCALE: 3/16" = 1'-0"

MXL ENGINEERING & ASSOCIATES, INC.
1649 ST. Clair Avenue W, TORONTO ON
M6N1H7
email: permits@mxleng.ca
website: www.mxleng.ca
Phone: 437.995.4003

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
SIDE Elevation- BLOCK A

SCALE
3/16" = 1'-0"

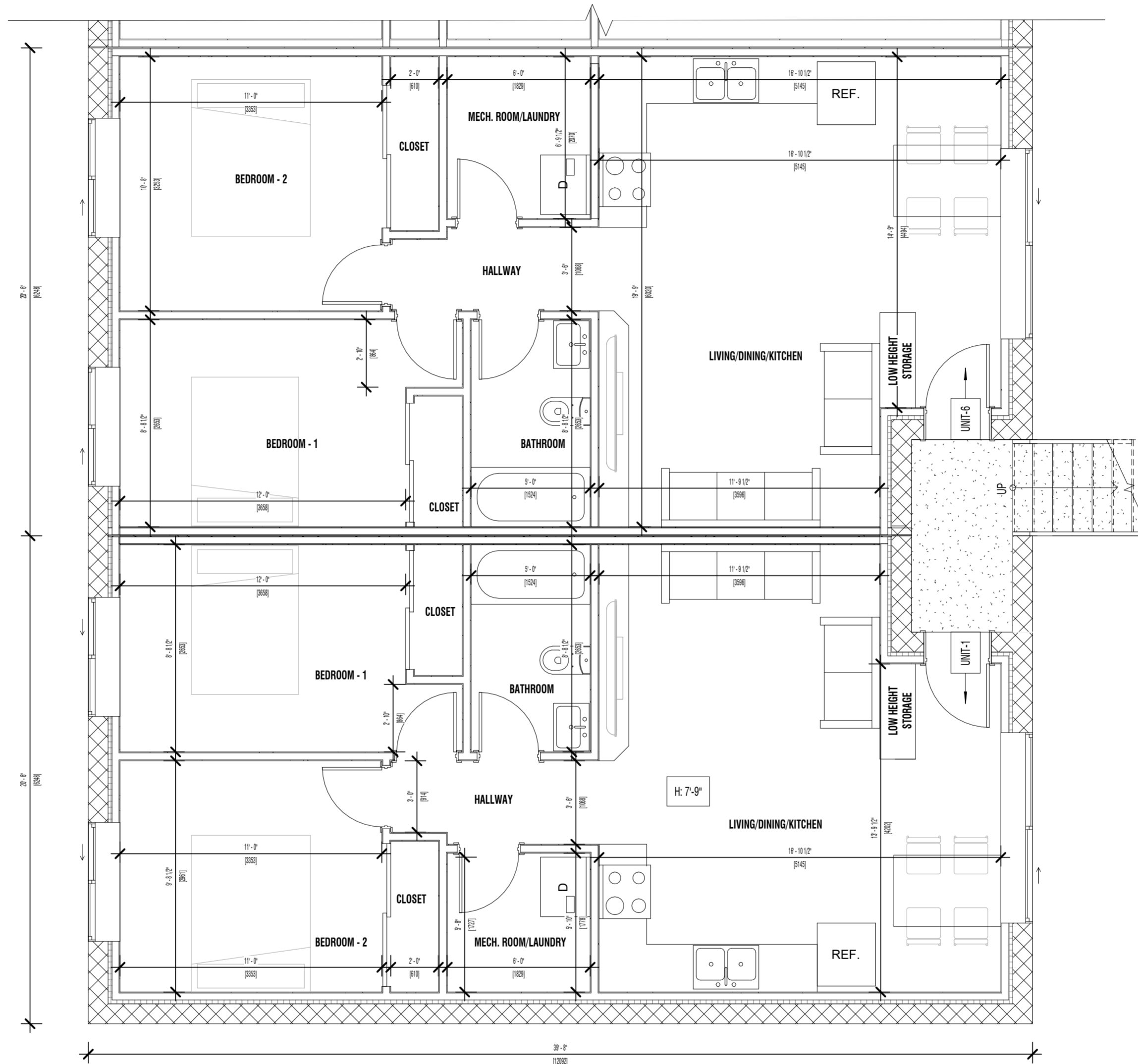
DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A03.01

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 1	BATHROOM	Basement	44 ft ²	4 m ²
BLOCK B - UNIT 1	BEDROOM - 1	Basement	111 ft ²	10 m ²
BLOCK B - UNIT 1	BEDROOM - 2	Basement	107 ft ²	10 m ²
BLOCK B - UNIT 1	CLOSET	Basement	11 ft ²	1 m ²
BLOCK B - UNIT 1	CLOSET	Basement	13 ft ²	1 m ²
BLOCK B - UNIT 1	HALLWAY	Basement	29 ft ²	3 m ²
BLOCK B - UNIT 1	LIVING/DINING/KITCHEN	Basement	292 ft ²	27 m ²
BLOCK B - UNIT 1	MECH. ROOM/LAUNDRY	Basement	35 ft ²	3 m ²
Grand total			641 ft ²	60 m ²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 6	BATHROOM	Basement	43.5 ft ²	4 m ²
BLOCK B - UNIT 6	BEDROOM - 1	Basement	111.2 ft ²	10 m ²
BLOCK B - UNIT 6	BEDROOM - 2	Basement	117.4 ft ²	11 m ²
BLOCK B - UNIT 6	CLOSET	Basement	14.6 ft ²	1 m ²
BLOCK B - UNIT 6	CLOSET	Basement	11.0 ft ²	1 m ²
BLOCK B - UNIT 6	HALLWAY	Basement	29.5 ft ²	3 m ²
BLOCK B - UNIT 6	LIVING/DINING/KITCHEN	Basement	307.9 ft ²	29 m ²
BLOCK B - UNIT 6	MECH. ROOM/LAUNDRY	Basement	40.8 ft ²	4 m ²
Grand total			675.8 ft ²	63 m ²



**BASEMENT FLOOR PLAN -
Block - B**
SCALE: 1/4" = 1'-0"

1



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
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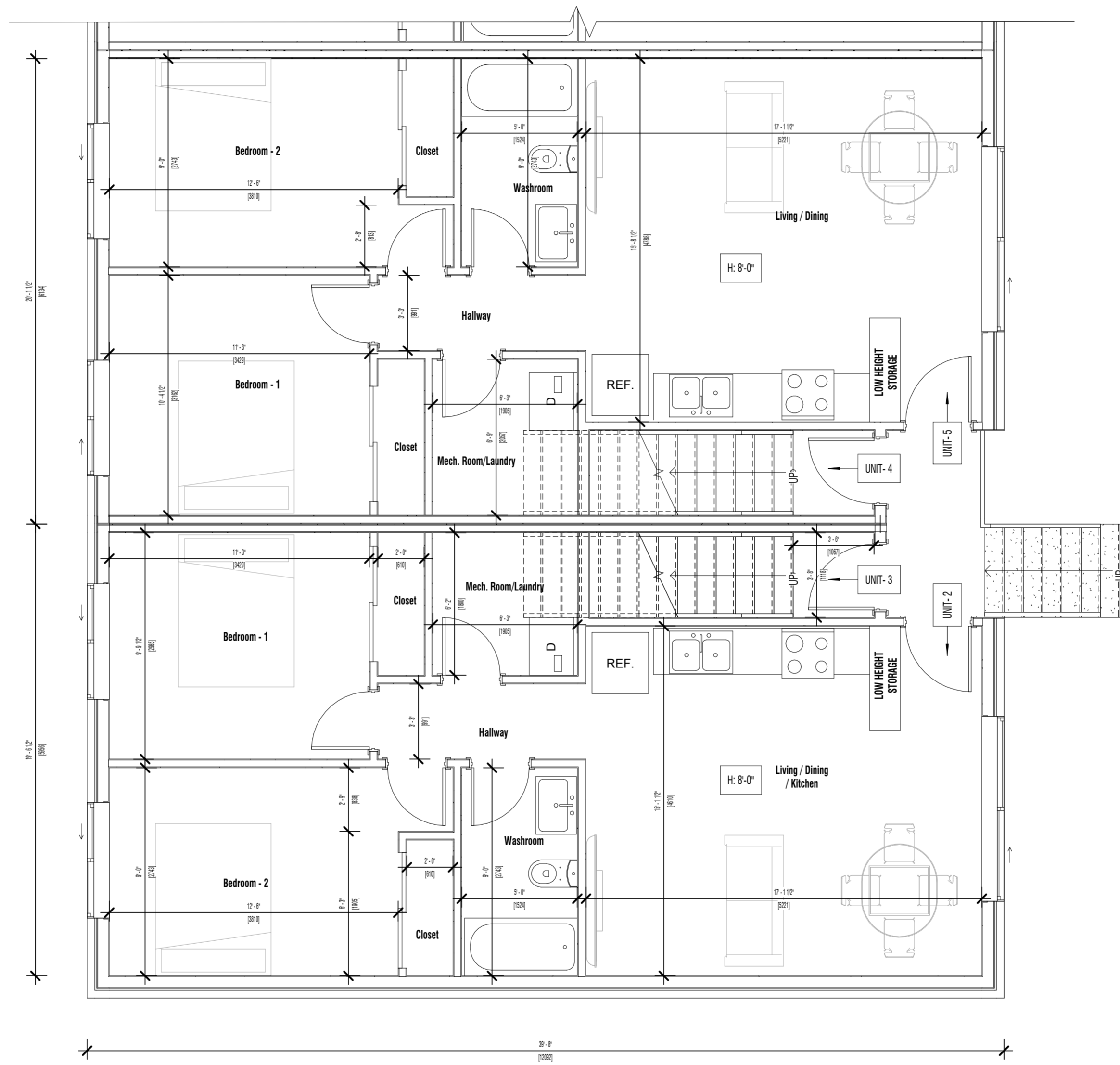
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PROJECT 6645, 6655 & 6665 McLeod Road
TITLE Basement Plan - Block -B

SCALE 1/4" = 1'-0"
DATE Nov. 13 2024
JOB No. 227-2947
DRAWING No. A02.02.01

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 2	Bedroom - 1	First Floor	110 ft ²	10 m ²
BLOCK B - UNIT 2	Bedroom - 2	First Floor	119 ft ²	11 m ²
BLOCK B - UNIT 2	Closet	First Floor	12 ft ²	1 m ²
BLOCK B - UNIT 2	Hallway	First Floor	29 ft ²	3 m ²
BLOCK B - UNIT 2	Living / Dining	First Floor	259 ft ²	24 m ²
BLOCK B - UNIT 2	Mech. Room/Laundry	First Floor	39 ft ²	4 m ²
BLOCK B - UNIT 2	Washroom	First Floor	45 ft ²	4 m ²
Grand total			613 ft ²	57 m ²

un	Name	Level	Area	Area
BLOCK B - UNIT 5	Bedroom - 1	First Floor	117 ft ²	10.84 m ²
BLOCK B - UNIT 5	Bedroom - 2	First Floor	119 ft ²	11.04 m ²
BLOCK B - UNIT 5	Closet	First Floor	14 ft ²	1.25 m ²
BLOCK B - UNIT 5	Closet	First Floor	12 ft ²	1.11 m ²
BLOCK B - UNIT 5	Hallway	First Floor	29 ft ²	2.72 m ²
BLOCK B - UNIT 5	Living / Dining	First Floor	270 ft ²	25.07 m ²
BLOCK B - UNIT 5	Mech. Room/Laundry	First Floor	42 ft ²	3.92 m ²
BLOCK B - UNIT 5	Washroom	First Floor	45 ft ²	4.18 m ²
Grand total			647 ft ²	60.13 m ²



1 FIRST FLOOR PLAN - Block B
SCALE: 1/4" = 1'-0"



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1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
2	For Client Approval	Nov. 13, 2024	6		
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4			8		

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PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
**First Floor Plan - BLOCK -
B**

SCALE
1/4" = 1'-0"

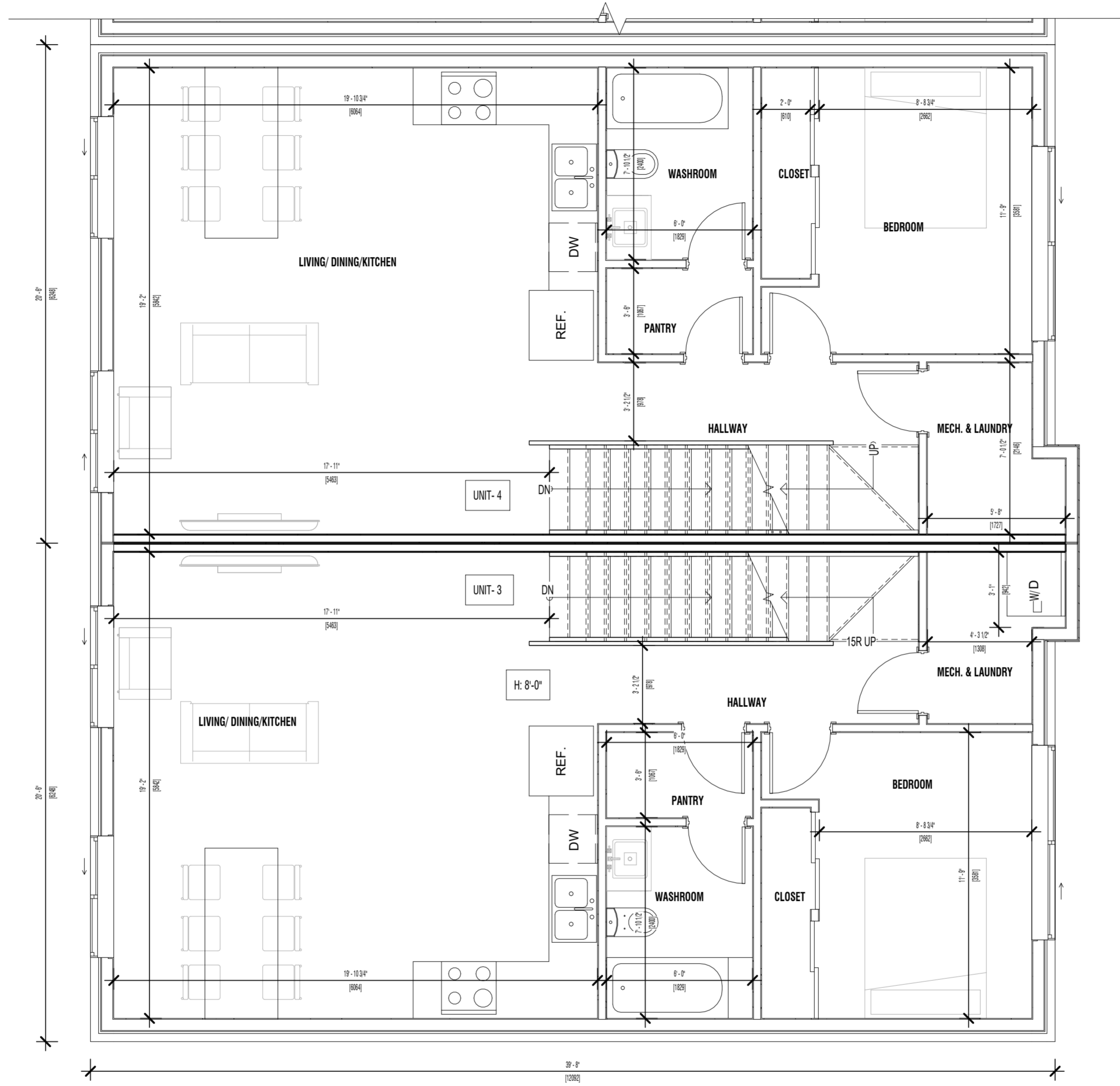
DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A02.02.02

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 3	PANTRY	Second Floor	21 ft²	2 m²
BLOCK B - UNIT 3	WASHROOM	Second Floor	47 ft²	4 m²
BLOCK B - UNIT 3	LIVING/ DINING/KITCHEN	Second Floor	374 ft²	35 m²
BLOCK B - UNIT 3	MECH. & LAUNDRY	Second Floor	34 ft²	3 m²
BLOCK B - UNIT 3	BEDROOM	Second Floor	109 ft²	10 m²
BLOCK B - UNIT 3	HALLWAY	Second Floor	42 ft²	4 m²
BLOCK B - UNIT 3	CLOSET	Second Floor	17 ft²	2 m²
BLOCK B - UNIT 3	Bedroom	Third Floor	146 ft²	14 m²
BLOCK B - UNIT 3	Bedroom - 2	Third Floor	136 ft²	13 m²
BLOCK B - UNIT 3	CLOSET	Third Floor	16 ft²	1 m²
BLOCK B - UNIT 3	HALLWAY	Third Floor	57 ft²	5 m²
BLOCK B - UNIT 3	Bathroom	Third Floor	40 ft²	4 m²
BLOCK B - UNIT 3	Office	Third Floor	49 ft²	5 m²
BLOCK B - UNIT 3	Bathroom	Third Floor	42 ft²	4 m²
BLOCK B - UNIT 3	W.I.C.	Third Floor	33 ft²	3 m²
Grand total			1164 ft²	108 m²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 4	LIVING/ DINING/KITCHEN	Second Floor	374 ft²	35 m²
BLOCK B - UNIT 4	WASHROOM	Second Floor	47 ft²	4 m²
BLOCK B - UNIT 4	PANTRY	Second Floor	21 ft²	2 m²
BLOCK B - UNIT 4	BEDROOM	Second Floor	109 ft²	10 m²
BLOCK B - UNIT 4	CLOSET	Second Floor	17 ft²	2 m²
BLOCK B - UNIT 4	MECH. & LAUNDRY	Second Floor	34 ft²	3 m²
BLOCK B - UNIT 4	HALLWAY	Second Floor	44 ft²	4 m²
BLOCK B - UNIT 4	CLOSET	Third Floor	16 ft²	1 m²
BLOCK B - UNIT 4	Bedroom - 2	Third Floor	136 ft²	13 m²
BLOCK B - UNIT 4	W.I.C.	Third Floor	33 ft²	3 m²
BLOCK B - UNIT 4	Bathroom	Third Floor	40 ft²	4 m²
BLOCK B - UNIT 4	HALLWAY	Third Floor	56 ft²	5 m²
BLOCK B - UNIT 4	Office	Third Floor	49 ft²	5 m²
BLOCK B - UNIT 4	Bathroom	Third Floor	42 ft²	4 m²
BLOCK B - UNIT 4	Bedroom	Third Floor	146 ft²	14 m²
Grand total			1166 ft²	108 m²



1 SECOND FLOOR PLAN - Block B
SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
2	For Client Approval	Nov. 13, 2024	6		
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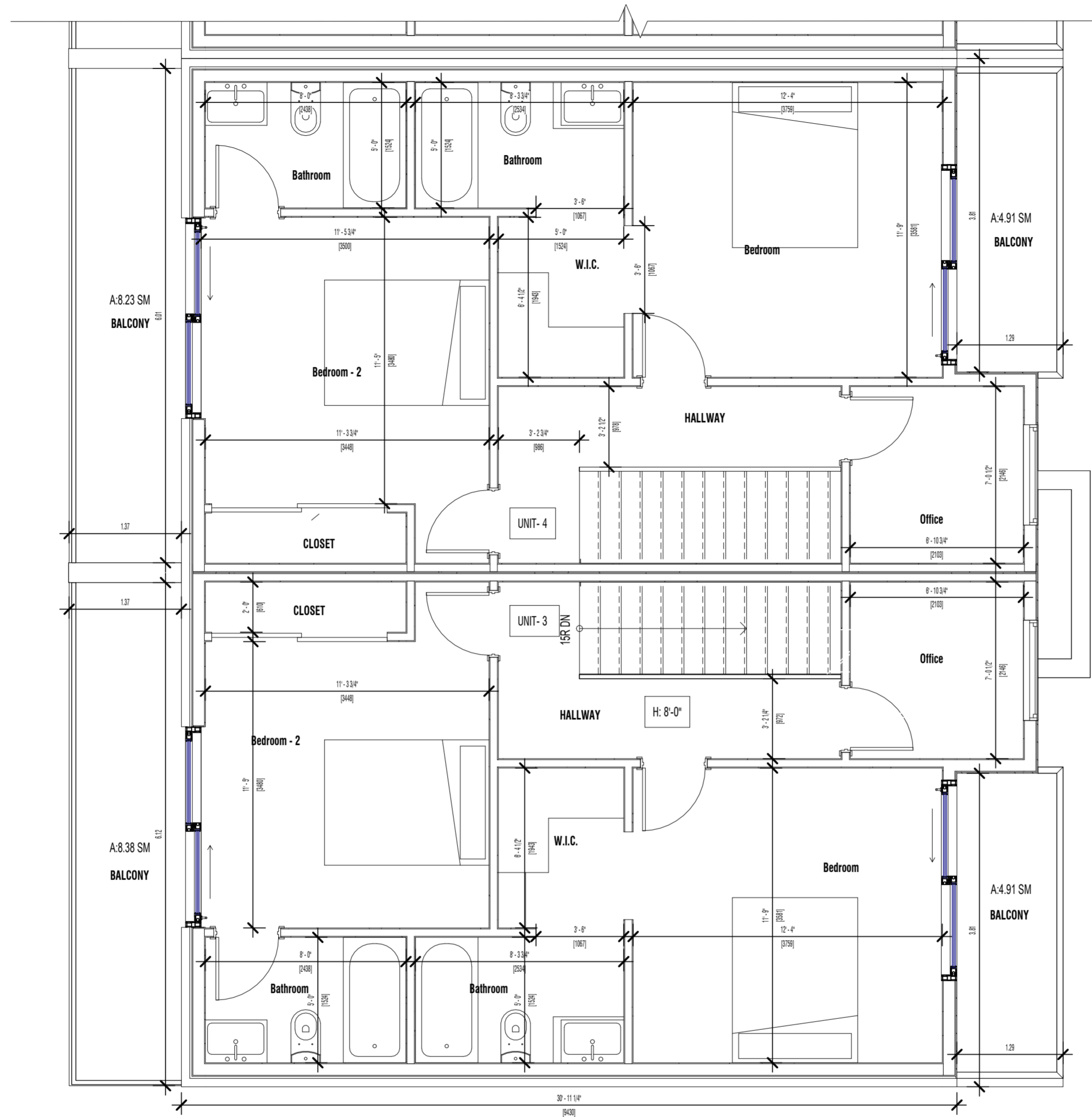
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REVIEWED BY IK	

TITLE Second Floor Plan - Block B	JOB No. 227-2947
	DRAWING No. A02.02.03

SCALE 1/4" = 1'-0"
DATE Nov. 13 2024

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 3	PANTRY	Second Floor	21 ft²	2 m²
BLOCK B - UNIT 3	WASHROOM	Second Floor	47 ft²	4 m²
BLOCK B - UNIT 3	LIVING/ DINING/KITCHEN	Second Floor	374 ft²	35 m²
BLOCK B - UNIT 3	MECH. & LAUNDRY	Second Floor	34 ft²	3 m²
BLOCK B - UNIT 3	BEDROOM	Second Floor	109 ft²	10 m²
BLOCK B - UNIT 3	HALLWAY	Second Floor	42 ft²	4 m²
BLOCK B - UNIT 3	CLOSET	Second Floor	17 ft²	2 m²
BLOCK B - UNIT 3	Bedroom	Third Floor	146 ft²	14 m²
BLOCK B - UNIT 3	Bedroom - 2	Third Floor	136 ft²	13 m²
BLOCK B - UNIT 3	CLOSET	Third Floor	16 ft²	1 m²
BLOCK B - UNIT 3	HALLWAY	Third Floor	57 ft²	5 m²
BLOCK B - UNIT 3	Bathroom	Third Floor	40 ft²	4 m²
BLOCK B - UNIT 3	Office	Third Floor	49 ft²	5 m²
BLOCK B - UNIT 3	Bathroom	Third Floor	42 ft²	4 m²
BLOCK B - UNIT 3	W.I.C.	Third Floor	33 ft²	3 m²
Grand total			1164 ft²	108 m²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK B - UNIT 4	LIVING/ DINING/KITCHEN	Second Floor	374 ft²	35 m²
BLOCK B - UNIT 4	WASHROOM	Second Floor	47 ft²	4 m²
BLOCK B - UNIT 4	PANTRY	Second Floor	21 ft²	2 m²
BLOCK B - UNIT 4	BEDROOM	Second Floor	109 ft²	10 m²
BLOCK B - UNIT 4	CLOSET	Second Floor	17 ft²	2 m²
BLOCK B - UNIT 4	MECH. & LAUNDRY	Second Floor	34 ft²	3 m²
BLOCK B - UNIT 4	HALLWAY	Second Floor	44 ft²	4 m²
BLOCK B - UNIT 4	CLOSET	Third Floor	16 ft²	1 m²
BLOCK B - UNIT 4	Bedroom - 2	Third Floor	136 ft²	13 m²
BLOCK B - UNIT 4	W.I.C.	Third Floor	33 ft²	3 m²
BLOCK B - UNIT 4	Bathroom	Third Floor	40 ft²	4 m²
BLOCK B - UNIT 4	HALLWAY	Third Floor	56 ft²	5 m²
BLOCK B - UNIT 4	Office	Third Floor	49 ft²	5 m²
BLOCK B - UNIT 4	Bathroom	Third Floor	42 ft²	4 m²
BLOCK B - UNIT 4	Bedroom	Third Floor	146 ft²	14 m²
Grand total			1166 ft²	108 m²



1 Third Floor - Block - B
SCALE: 1/4" = 1'-0"



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DRAWN BY
RP

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IK

PROJECT
**6645, 6655 & 6665
McLeod Road**

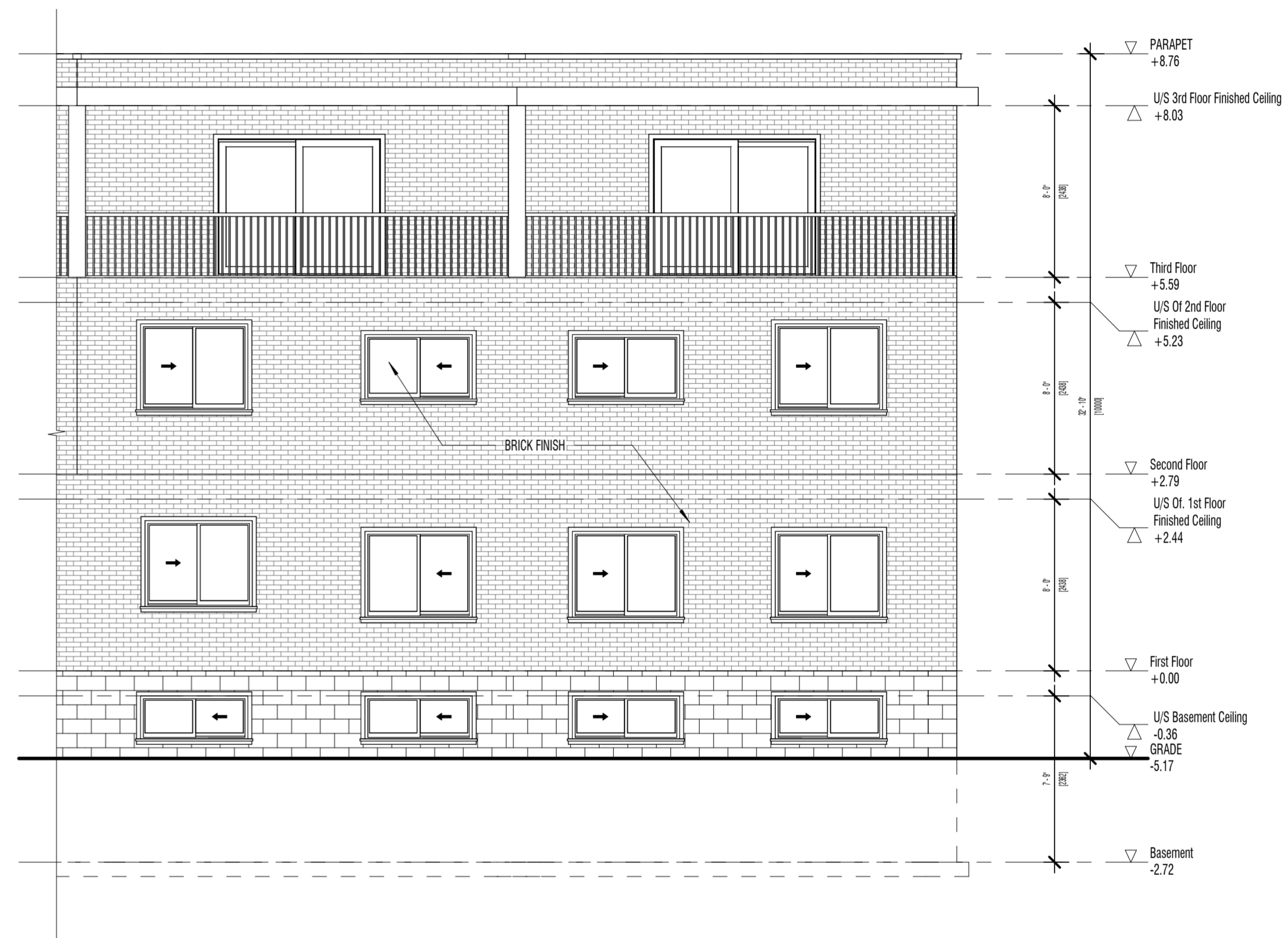
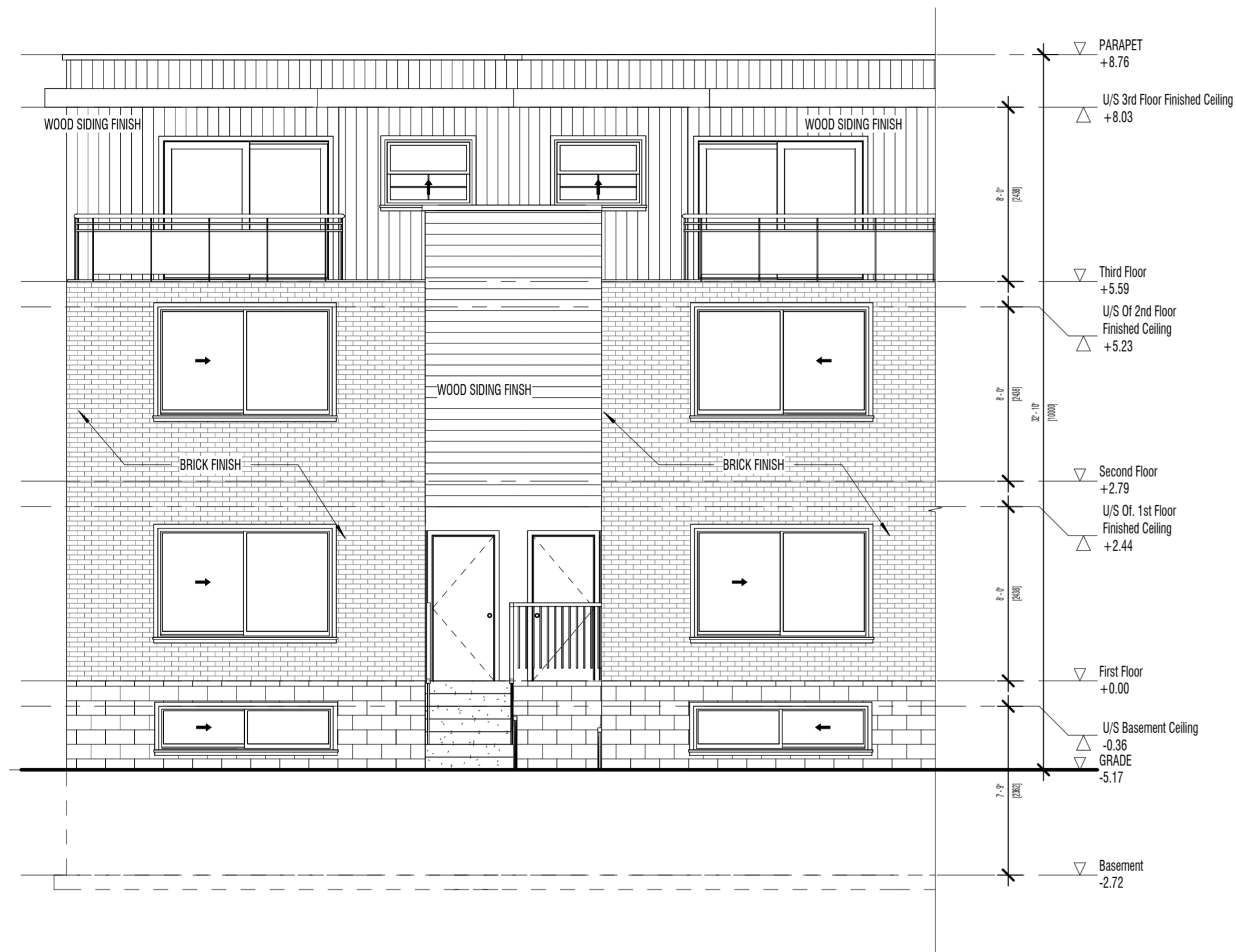
TITLE
Third Floor Plan - Block B

SCALE
1/4" = 1'-0"

DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A02.02.04



1 BLOCK - B - FRONT
SCALE: 3/16" = 1'-0"

2 BLOCK B - REAR
SCALE: 3/16" = 1'-0"



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PROJECT 6645, 6655 & 6665 McLeod Road
TITLE Elevation - Block -B

SCALE 3/16" = 1'-0"
DATE Nov. 13 2024
JOB No. 227-2947
DRAWING No. A03.02.

13

21

44

19

14

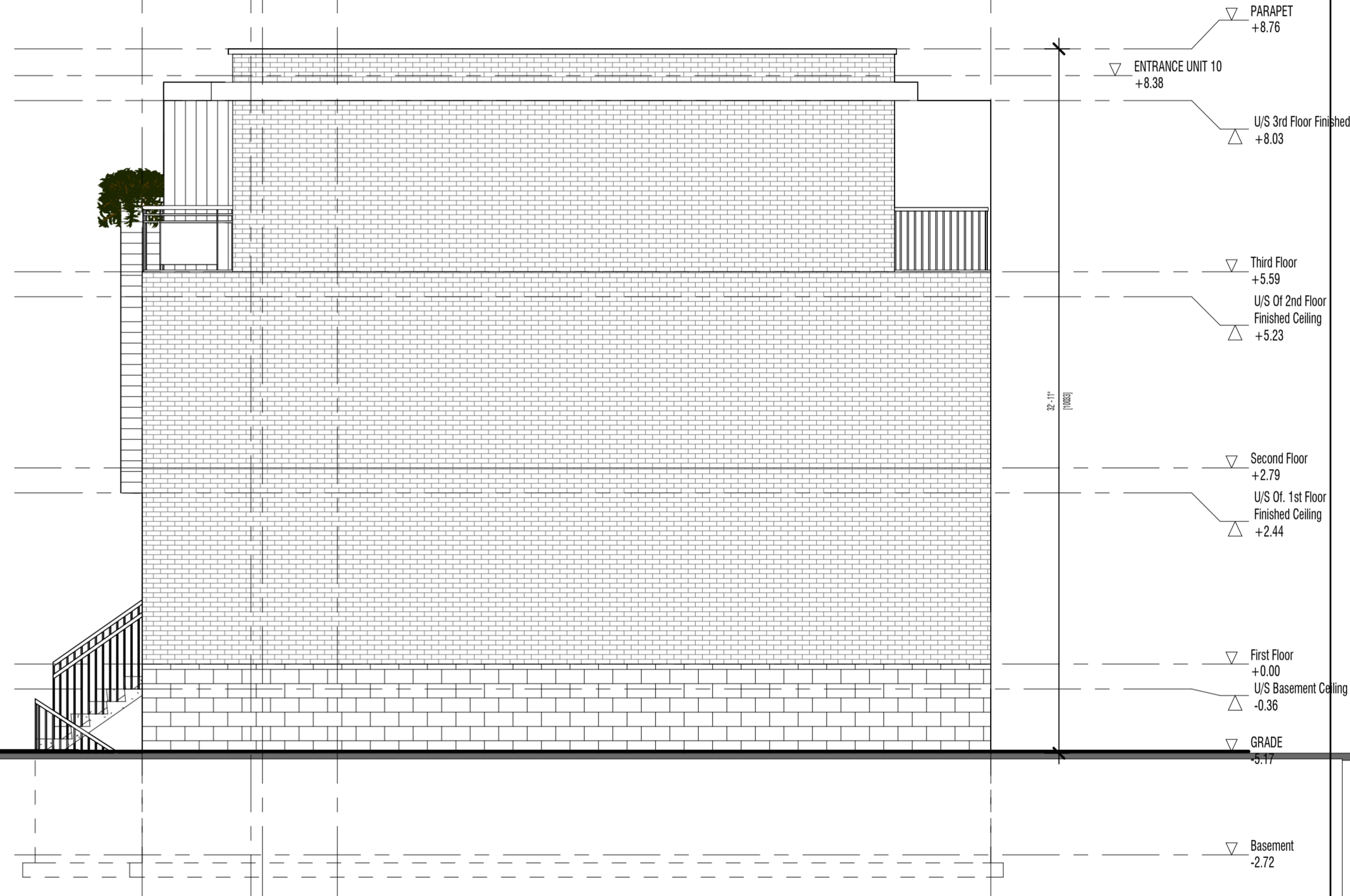
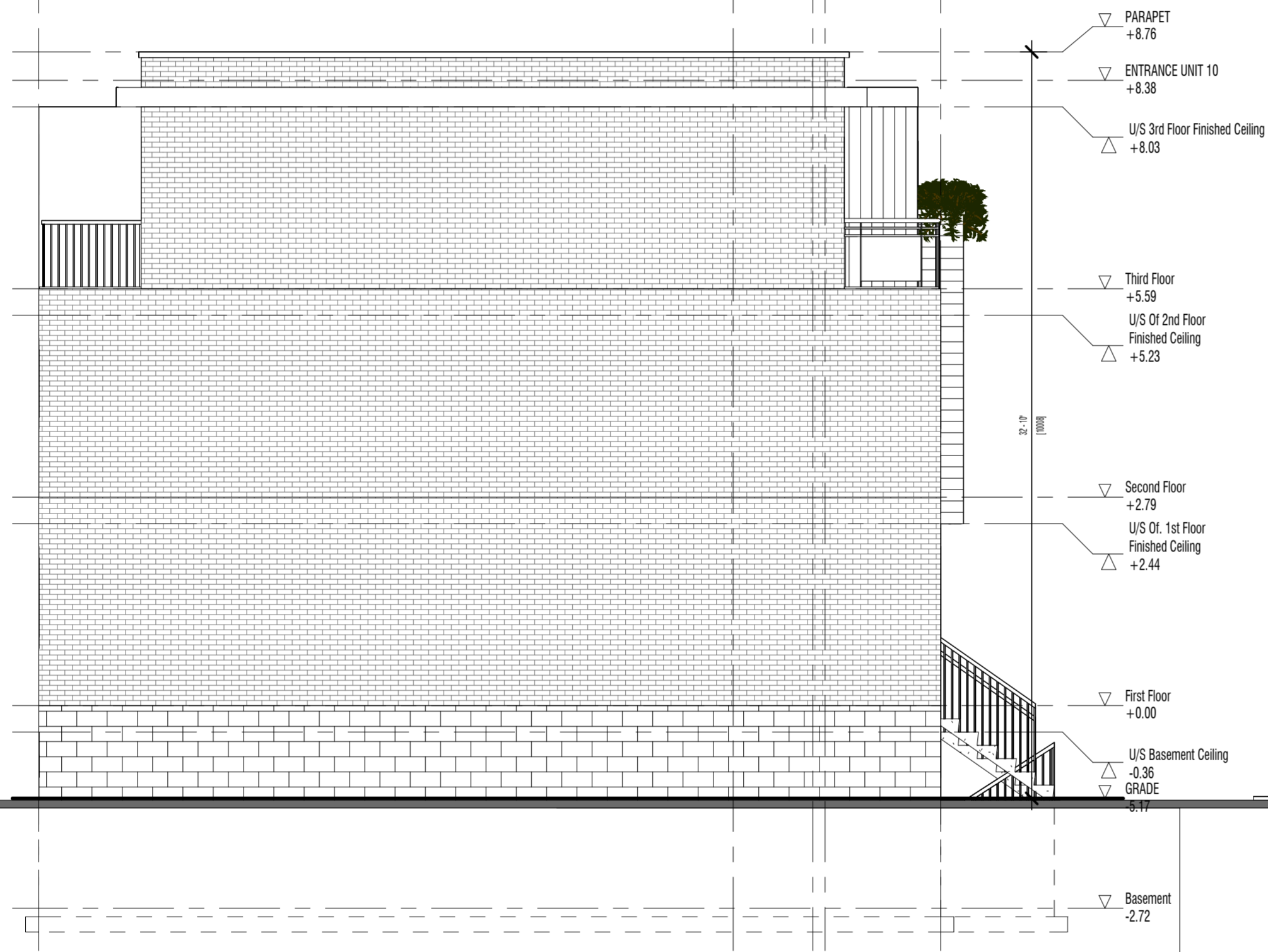
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19

44

21

13



2
SIDE ELEVATION - BLOCK B - NORTH
SCALE: 3/16" = 1'-0"

1
SIDE ELEVATION - BLOCK B - SOUTH
SCALE: 3/16" = 1'-0"



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
SIDE Elevation- BLOCK B

SCALE
3/16" = 1'-0"

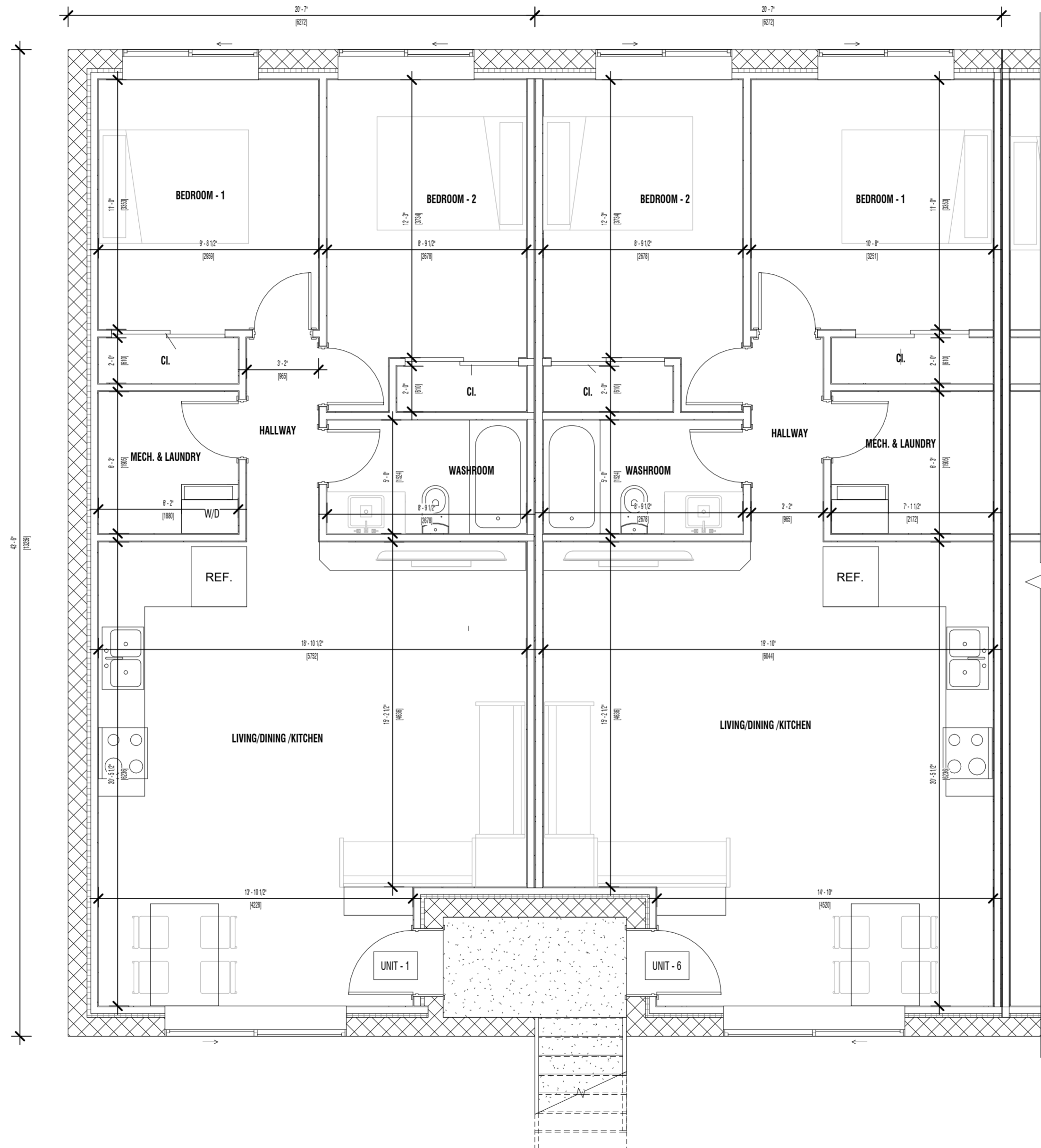
DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A03.02

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 1	BEDROOM - 1	Basement	107 ft²	10 m²
BLOCK C - UNIT 1	BEDROOM - 2	Basement	114 ft²	11 m²
BLOCK C - UNIT 1	Cl.	Basement	11 ft²	1 m²
BLOCK C - UNIT 1	Cl.	Basement	12 ft²	1 m²
BLOCK C - UNIT 1	HALLWAY	Basement	29 ft²	3 m²
BLOCK C - UNIT 1	LIVING/DINING /KITCHEN	Basement	360 ft²	33 m²
BLOCK C - UNIT 1	MECH. & LAUNDRY	Basement	39 ft²	4 m²
BLOCK C - UNIT 1	WASHROOM	Basement	44 ft²	4 m²
Grand total			715 ft²	66 m²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 6	BEDROOM - 1	Basement	117 ft²	11 m²
BLOCK C - UNIT 6	BEDROOM - 2	Basement	114 ft²	11 m²
BLOCK C - UNIT 6	Cl.	Basement	11 ft²	1 m²
BLOCK C - UNIT 6	Cl.	Basement	14 ft²	1 m²
BLOCK C - UNIT 6	HALLWAY	Basement	29 ft²	3 m²
BLOCK C - UNIT 6	LIVING/DINING /KITCHEN	Basement	379 ft²	35 m²
BLOCK C - UNIT 6	MECH. & LAUNDRY	Basement	45 ft²	4 m²
BLOCK C - UNIT 6	WASHROOM	Basement	44 ft²	4 m²
Grand total			753 ft²	70 m²



BASEMENT FLOOR PLAN -
Block - C
 SCALE: 1/4" = 1'-0"

1



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
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4			8		

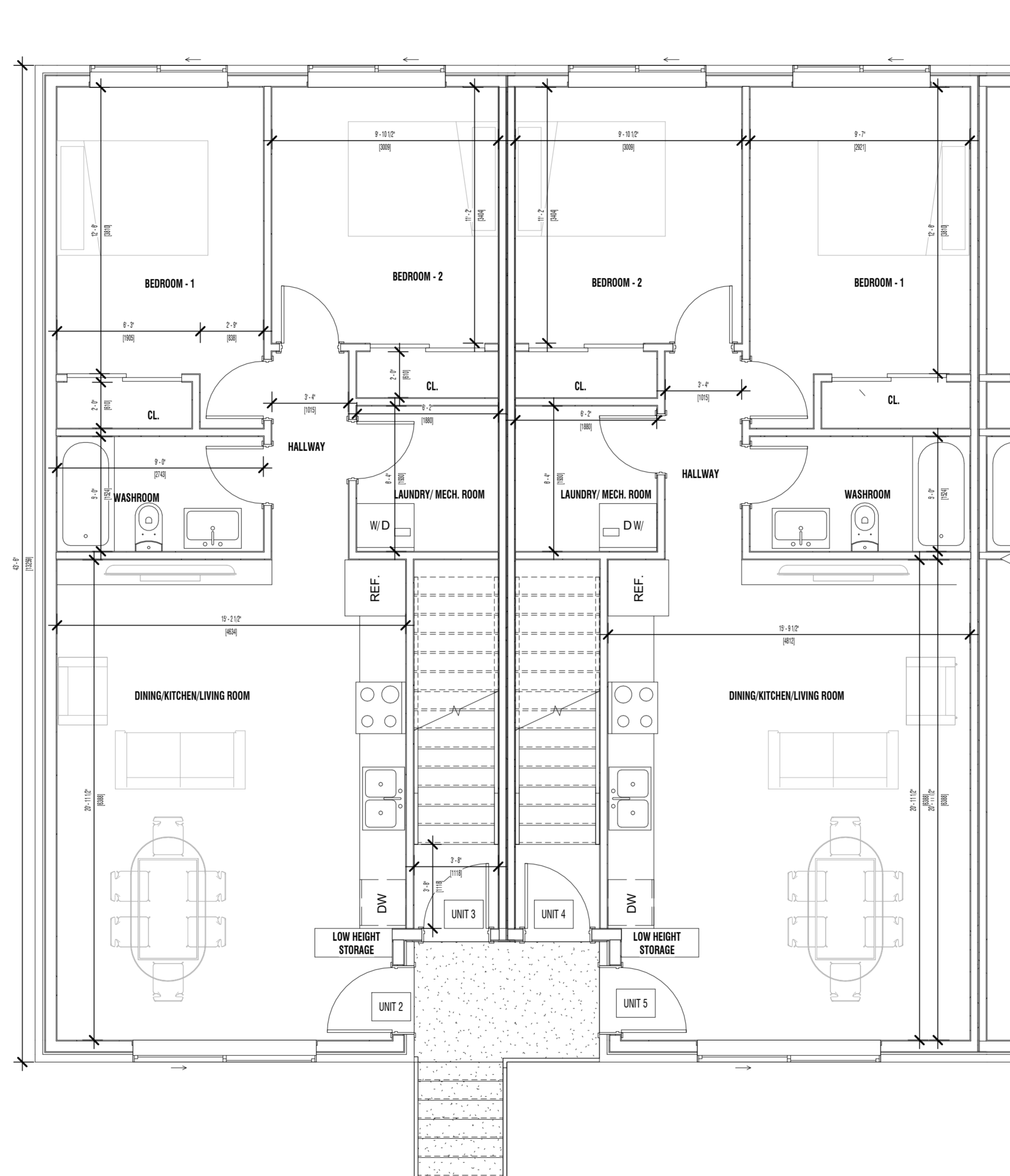
DRAWN BY	RP
REVIEWED BY	IK

PROJECT	6645, 6655 & 6665 McLeod Road
TITLE	Basement Plan - Block - C

SCALE	1/4" = 1'-0"
DATE	Nov. 13 2024
JOB No.	227-2947
DRAWING No.	A02.03.01

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 2	BEDROOM - 1	First Floor	119 ft ²	11 m ²
BLOCK C - UNIT 2	BEDROOM - 2	First Floor	110 ft ²	10 m ²
BLOCK C - UNIT 2	CL.	First Floor	12 ft ²	1 m ²
BLOCK C - UNIT 2	CL.	First Floor	12 ft ²	1 m ²
BLOCK C - UNIT 2	DINING/KITCHEN/LIVING ROOM	First Floor	316 ft ²	29 m ²
BLOCK C - UNIT 2	HALLWAY	First Floor	30 ft ²	3 m ²
BLOCK C - UNIT 2	LAUNDRY/ MECH. ROOM	First Floor	39 ft ²	4 m ²
BLOCK C - UNIT 2	WASHROOM	First Floor	45 ft ²	4 m ²
Grand total			683 ft ²	63 m ²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 5	BEDROOM - 1	First Floor	126 ft ²	12 m ²
BLOCK C - UNIT 5	BEDROOM - 2	First Floor	110 ft ²	10 m ²
BLOCK C - UNIT 5	CL.	First Floor	12 ft ²	1 m ²
BLOCK C - UNIT 5	CL.	First Floor	13 ft ²	1 m ²
BLOCK C - UNIT 5	DINING/KITCHEN/LIVING ROOM	First Floor	327 ft ²	30 m ²
BLOCK C - UNIT 5	HALLWAY	First Floor	30 ft ²	3 m ²
BLOCK C - UNIT 5	LAUNDRY/ MECH. ROOM	First Floor	39 ft ²	4 m ²
BLOCK C - UNIT 5	WASHROOM	First Floor	48 ft ²	4 m ²
Grand total			706 ft ²	66 m ²



1 FIRST FLOOR PLAN - Block C
SCALE: 1/4" = 1'-0"



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1	ISSUED FOR CLIENT APPROVAL	10/10/24	5		
2	For Client Approval	Nov. 13, 2024	6		
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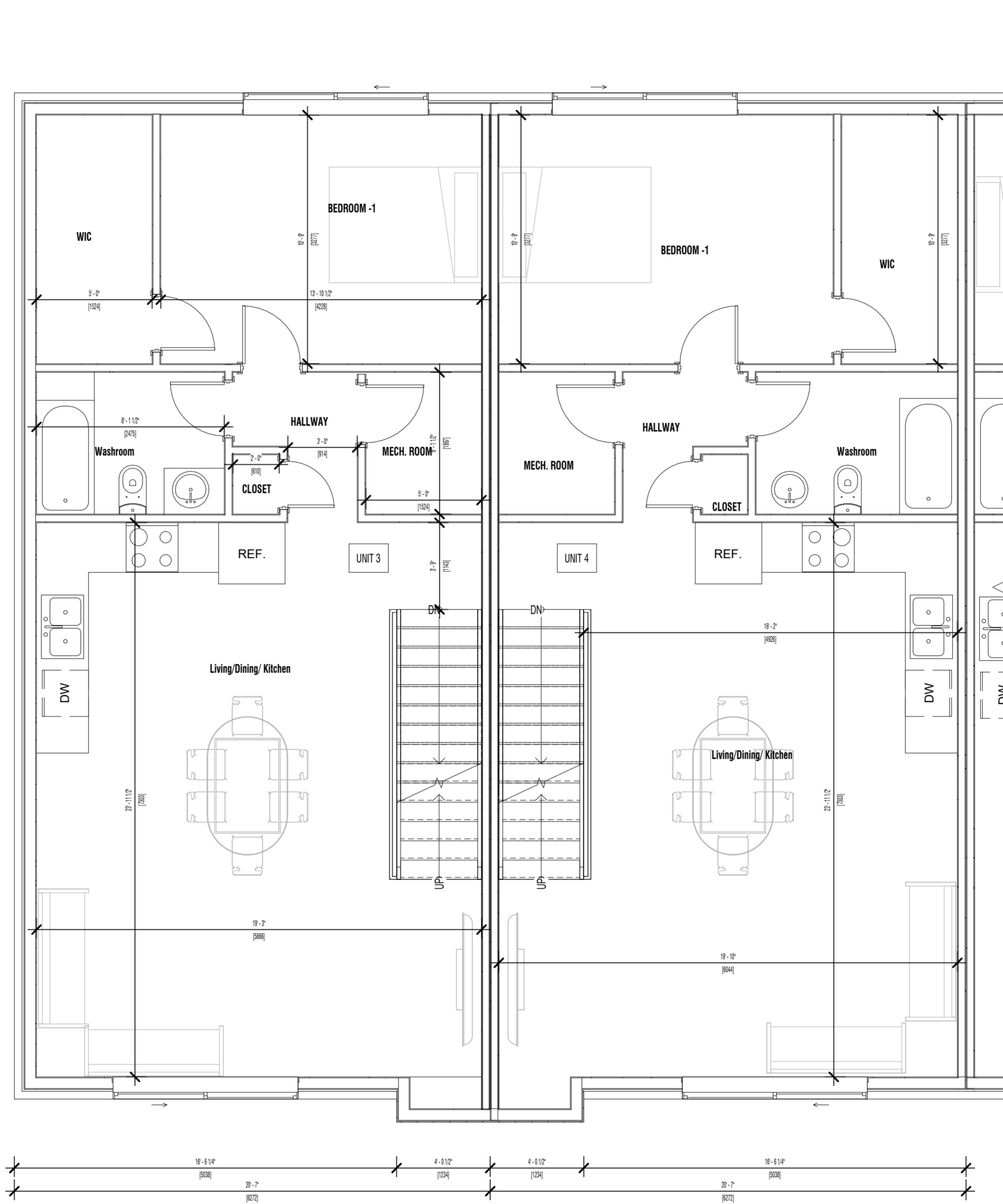
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PROJECT	6645, 6655 & 6665 McLeod Road
TITLE	First Floor Plan - BLOCK - C


SCALE	1/4" = 1'-0"
DATE	Nov. 13 2024
JOB No.	227-2947
DRAWING No.	A02.03.02

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 3	WIC	Not Placed	Not Placed	
BLOCK C - UNIT 3	Living/Dining/ Kitchen	Second Floor	419 ft ²	39 m ²
BLOCK C - UNIT 3	BEDROOM -1	Second Floor	149 ft ²	14 m ²
BLOCK C - UNIT 3	Washroom	Second Floor	50 ft ²	5 m ²
BLOCK C - UNIT 3	MECH. ROOM	Second Floor	31 ft ²	3 m ²
BLOCK C - UNIT 3	HALLWAY	Second Floor	27 ft ²	3 m ²
BLOCK C - UNIT 3	CLOSET	Second Floor	5 ft ²	0 m ²
BLOCK C - UNIT 3	WIC	Second Floor	54 ft ²	5 m ²
BLOCK C - UNIT 3	BATHROOM	Third Floor	50 ft ²	5 m ²
BLOCK C - UNIT 3	BEDROOM -2	Third Floor	194 ft ²	18 m ²
BLOCK C - UNIT 3	BATHROOM	Third Floor	45 ft ²	4 m ²
BLOCK C - UNIT 3	W.I.C.	Third Floor	32 ft ²	3 m ²
BLOCK C - UNIT 3	BEDROOM -1	Third Floor	154 ft ²	14 m ²
BLOCK C - UNIT 3	HALLWAY	Third Floor	59 ft ²	5 m ²
BLOCK C - UNIT 3	OFFICE AREA	Third Floor	54 ft ²	5 m ²
Grand total			1321 ft ²	123 m ²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 4	BEDROOM -1	Not Placed	Not Placed	
BLOCK C - UNIT 4	MECH. ROOM	Second Floor	31 ft ²	3 m ²
BLOCK C - UNIT 4	BEDROOM -1	Second Floor	155 ft ²	14 m ²
BLOCK C - UNIT 4	Washroom	Second Floor	53 ft ²	5 m ²
BLOCK C - UNIT 4	CLOSET	Second Floor	5 ft ²	0 m ²
BLOCK C - UNIT 4	HALLWAY	Second Floor	27 ft ²	3 m ²
BLOCK C - UNIT 4	Living/Dining/ Kitchen	Second Floor	433 ft ²	40 m ²
BLOCK C - UNIT 4	WIC	Second Floor	54 ft ²	5 m ²
BLOCK C - UNIT 4	OFFICE AREA	Third Floor	54 ft ²	5 m ²
BLOCK C - UNIT 4	HALLWAY	Third Floor	59 ft ²	5 m ²
BLOCK C - UNIT 4	BEDROOM -1	Third Floor	161 ft ²	15 m ²
BLOCK C - UNIT 4	W.I.C.	Third Floor	35 ft ²	3 m ²
BLOCK C - UNIT 4	BEDROOM -2	Third Floor	202 ft ²	19 m ²
BLOCK C - UNIT 4	BATHROOM	Third Floor	50 ft ²	5 m ²
BLOCK C - UNIT 4	BATHROOM	Third Floor	45 ft ²	4 m ²
Grand total			1364 ft ²	127 m ²

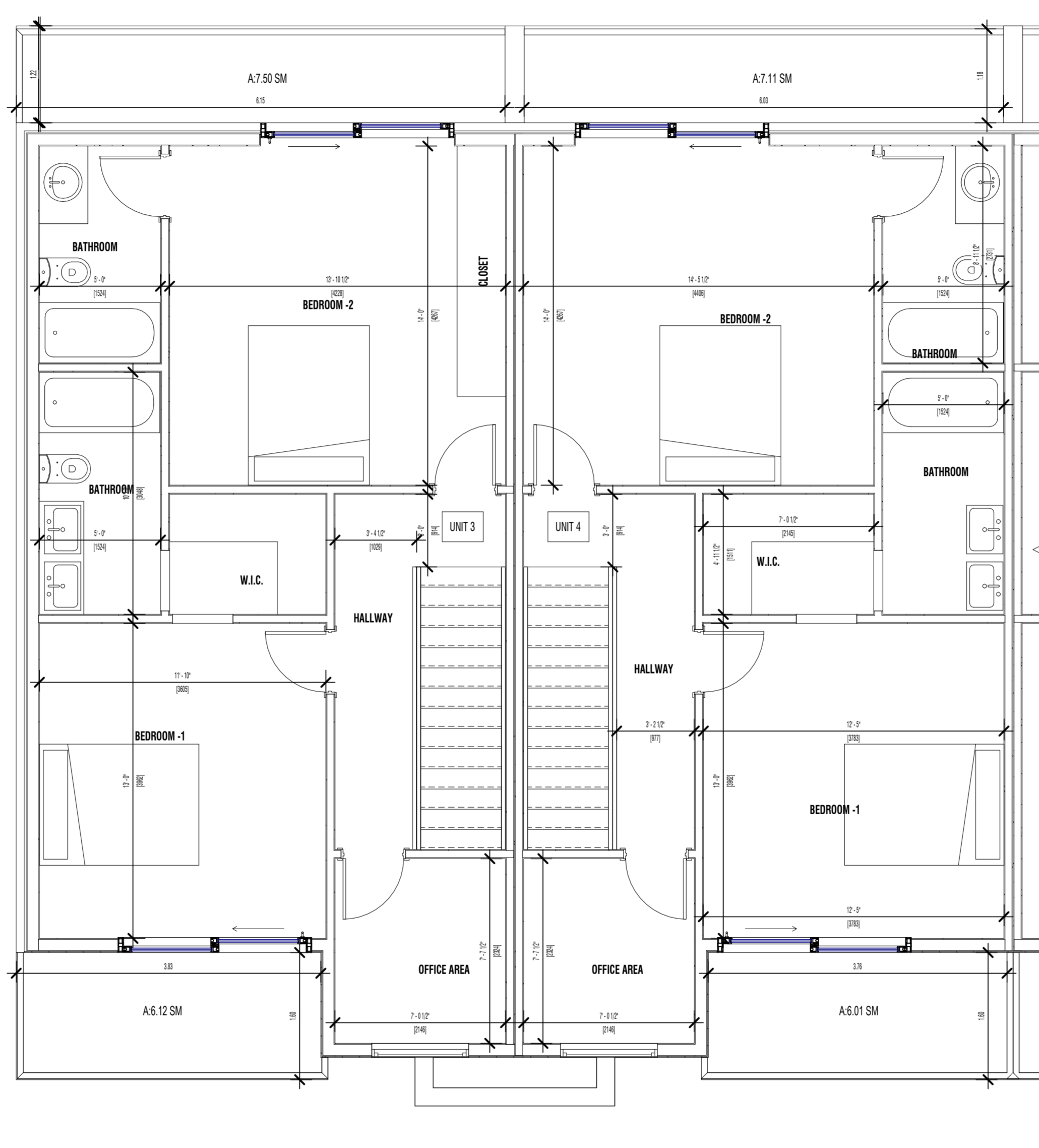


1 SECOND FLOOR PLAN - Block C
SCALE: 1/4" = 1'-0"

 <p>MXL ENGINEERING & ASSOCIATES, INC. 1649 ST. Clair Avenue W, TORONTO ON M6N 1H7 email: permits@mxleng.ca website: www.mxleng.ca Phone: 437.995.4003</p>	NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE	DRAWN BY RP REVIEWED BY IK	PROJECT 6645, 6655 & 6665 McLeod Road TITLE Second Floor Plan - Block C	SCALE	1/4" = 1'-0"
	1	ISSUED FOR CLIENT APPROVAL	10/10/24	5					DATE	Nov. 13 2024
	2	For Client Approval	Nov. 13, 2024	6					JOB No.	227-2947
	3			7					DRAWING No.	A02.03.03
4				8						

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 3	WIC	Not Placed	Not Placed	
BLOCK C - UNIT 3	Living/Dining/ Kitchen	Second Floor	419 ft ²	39 m ²
BLOCK C - UNIT 3	BEDROOM -1	Second Floor	149 ft ²	14 m ²
BLOCK C - UNIT 3	Washroom	Second Floor	50 ft ²	5 m ²
BLOCK C - UNIT 3	MECH. ROOM	Second Floor	31 ft ²	3 m ²
BLOCK C - UNIT 3	HALLWAY	Second Floor	27 ft ²	3 m ²
BLOCK C - UNIT 3	CLOSET	Second Floor	5 ft ²	0 m ²
BLOCK C - UNIT 3	WIC	Second Floor	54 ft ²	5 m ²
BLOCK C - UNIT 3	BATHROOM	Third Floor	50 ft ²	5 m ²
BLOCK C - UNIT 3	BEDROOM -2	Third Floor	194 ft ²	18 m ²
BLOCK C - UNIT 3	BATHROOM	Third Floor	45 ft ²	4 m ²
BLOCK C - UNIT 3	W.I.C.	Third Floor	32 ft ²	3 m ²
BLOCK C - UNIT 3	BEDROOM -1	Third Floor	154 ft ²	14 m ²
BLOCK C - UNIT 3	HALLWAY	Third Floor	59 ft ²	5 m ²
BLOCK C - UNIT 3	OFFICE AREA	Third Floor	54 ft ²	5 m ²
Grand total			1321 ft ²	123 m ²

BLOCK/UNIT	Name	Level	Area	Area
BLOCK C - UNIT 4	BEDROOM -1	Not Placed	Not Placed	
BLOCK C - UNIT 4	MECH. ROOM	Second Floor	31 ft ²	3 m ²
BLOCK C - UNIT 4	BEDROOM -1	Second Floor	155 ft ²	14 m ²
BLOCK C - UNIT 4	Washroom	Second Floor	53 ft ²	5 m ²
BLOCK C - UNIT 4	CLOSET	Second Floor	5 ft ²	0 m ²
BLOCK C - UNIT 4	HALLWAY	Second Floor	27 ft ²	3 m ²
BLOCK C - UNIT 4	Living/Dining/ Kitchen	Second Floor	433 ft ²	40 m ²
BLOCK C - UNIT 4	WIC	Second Floor	54 ft ²	5 m ²
BLOCK C - UNIT 4	OFFICE AREA	Third Floor	54 ft ²	5 m ²
BLOCK C - UNIT 4	HALLWAY	Third Floor	59 ft ²	5 m ²
BLOCK C - UNIT 4	BEDROOM -1	Third Floor	161 ft ²	15 m ²
BLOCK C - UNIT 4	W.I.C.	Third Floor	35 ft ²	3 m ²
BLOCK C - UNIT 4	BEDROOM -2	Third Floor	202 ft ²	19 m ²
BLOCK C - UNIT 4	BATHROOM	Third Floor	50 ft ²	5 m ²
BLOCK C - UNIT 4	BATHROOM	Third Floor	45 ft ²	4 m ²
Grand total			1364 ft ²	127 m ²



1 Third Floor - Block - C
SCALE: 1/4" = 1'-0"



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IK

PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
Third Floor Plan - Block C

SCALE
1/4" = 1'-0"

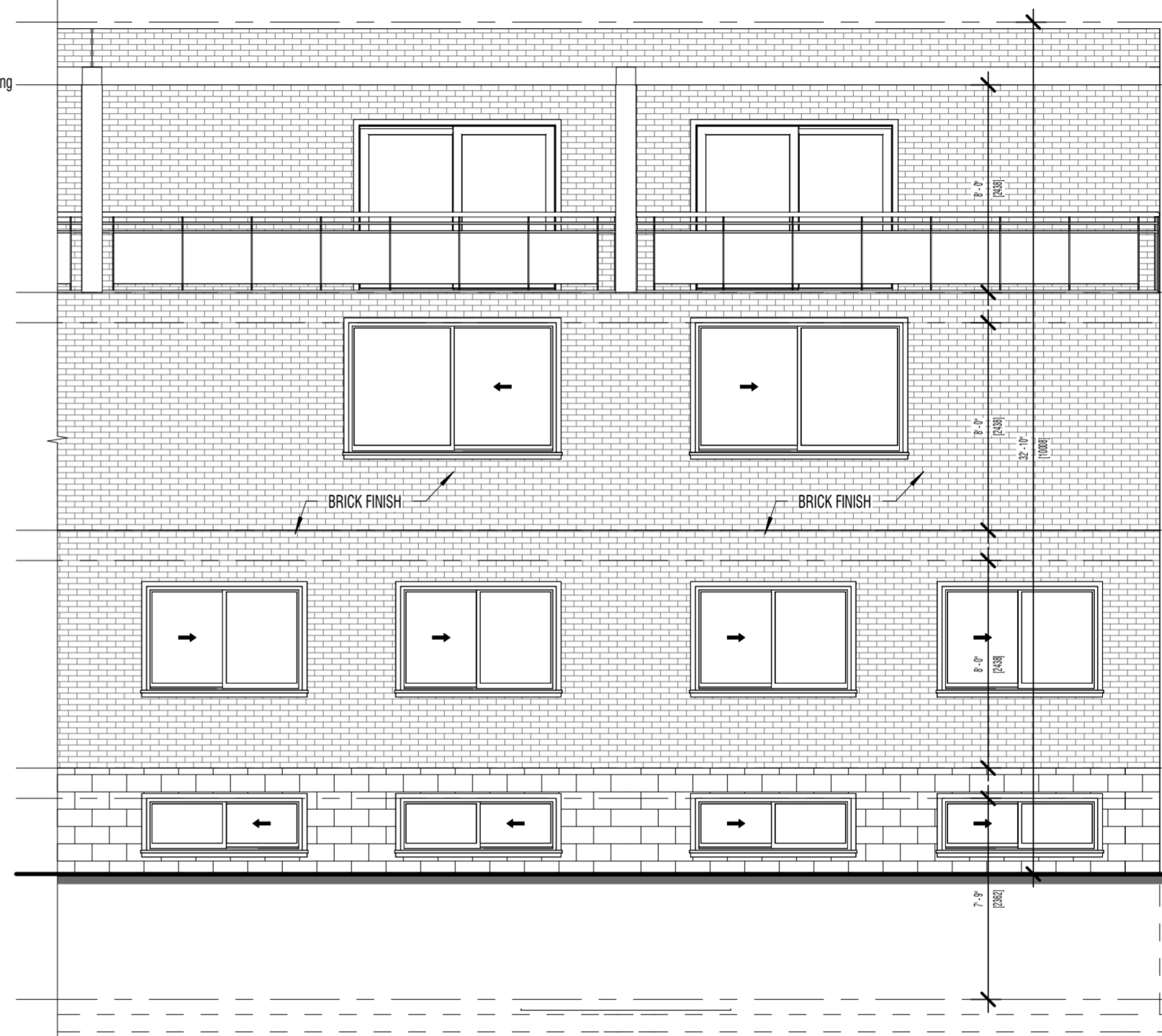
DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A02.03.04



▽ PARAPET +8.76
 ▽ U/S 3rd Floor Finished Ceiling +8.03
 ▽ Third Floor +5.59
 ▽ U/S Of 2nd Floor Finished Ceiling +5.23
 ▽ Second Floor +2.79
 ▽ U/S Of 1st Floor Finished Ceiling +2.44
 ▽ First Floor +0.00
 ▽ U/S Basement Ceiling -0.36
 ▽ GRADE -5.17
 ▽ Basement -2.72



▽ PARAPET +8.76
 ▽ U/S 3rd Floor Finished Ceiling +8.03
 ▽ Third Floor +5.59
 ▽ U/S Of 2nd Floor Finished Ceiling +5.23
 ▽ Second Floor +2.79
 ▽ U/S Of 1st Floor Finished Ceiling +2.44
 ▽ First Floor +0.00
 ▽ U/S Basement Ceiling -0.36
 ▽ GRADE -5.17
 ▽ Basement -2.72

1 BLOCK C - FRONT
SCALE: 3/16" = 1'-0"

2 BLOCK C - REAR
SCALE: 3/16" = 1'-0"

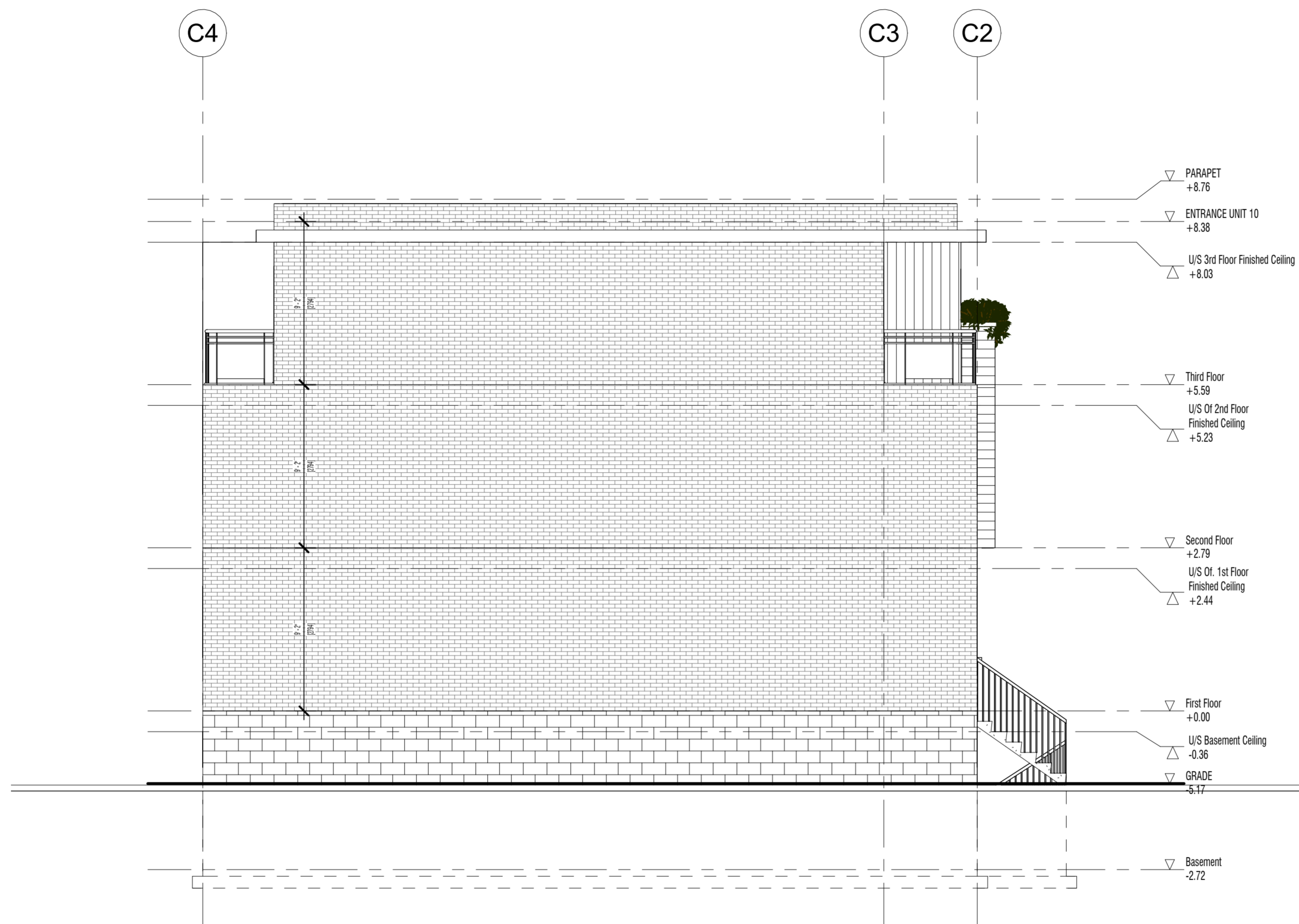


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PROJECT
**6645, 6655 & 6665
 McLeod Road**
 TITLE
Elevation- BLOCK C

SCALE
 3/16" = 1'-0"
 DATE
 Nov. 13 2024
 JOB No.
 227-2947
 DRAWING No.
A03.03



1 SIDE ELEVATION - BLOCK C
SCALE: 3/16" = 1'-0"

MXL ENGINEERING & ASSOCIATES, INC.
1649 ST. Clair Avenue W, TORONTO ON
M6N1H7
email: permits@mxleng.ca
website: www.mxleng.ca
Phone: 437.995.4003

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PROJECT
**6645, 6655 & 6665
McLeod Road**

TITLE
SIDE Elevation- BLOCK C

SCALE
3/16" = 1'-0"

DATE
Nov. 13 2024

JOB No.
227-2947

DRAWING No.
A03.04