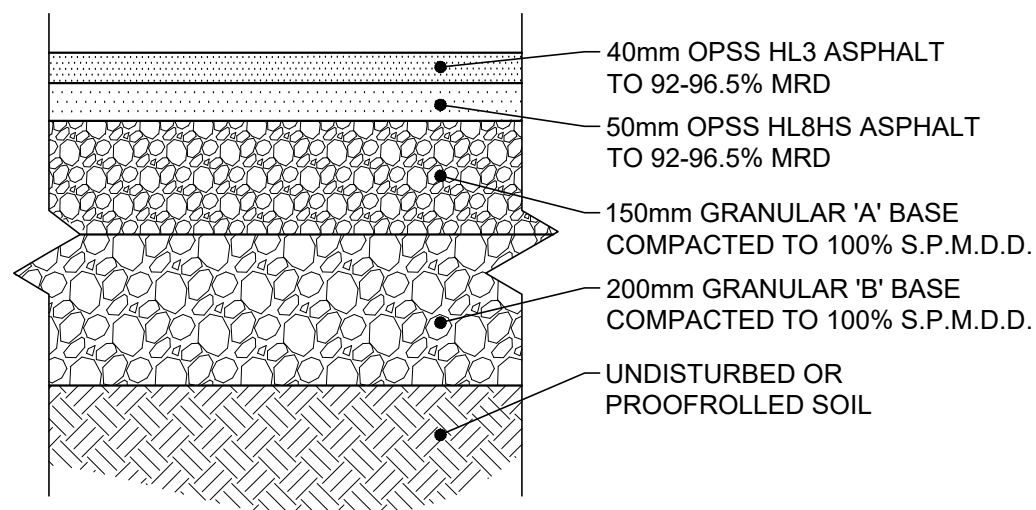


**GEODETIC BENCHMARK INFORMATION**

ELEVATIONS ARE OF GEODETIC ORIGIN.

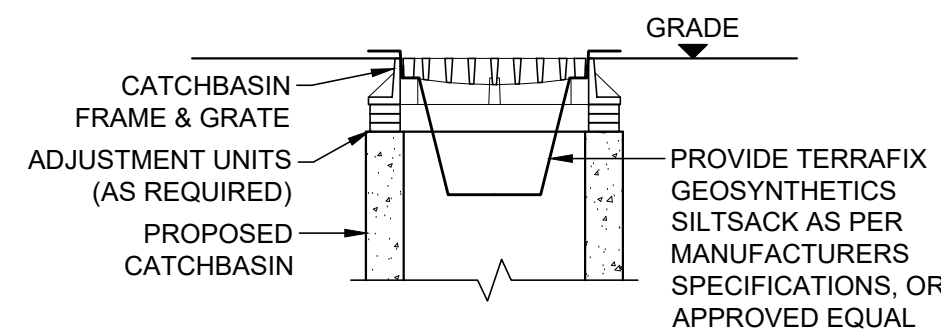
**GENERAL NOTES:**

1. READ ALL CIVIL DRAWINGS IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS, INCLUDING ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, LANDSCAPE AND VENDOR DRAWINGS AS APPLICABLE.
2. THE CONTRACTOR FOR ANY PORTION OF WORK SHALL VISIT THE SITE AND SHALL BE THOROUGHLY FAMILIAR WITH ALL THE PHYSICAL FEATURES THAT MAY AFFECT THE WORK IN ANY WAY.
3. THE CONTRACTOR MUST FIELD CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO COMMENCEMENT OF ANY WORK.
4. THE CONTRACTOR SHALL KEEP WORK SITES CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS DURING THE PROCESS OF CONSTRUCTION AND LEAVE THE SITE CLEAN UPON COMPLETION OF WORK OR PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL OBTAIN APPROVED SERVICE CONNECTION PERMITS FROM THE CITY OF NIAGARA FALLS PUBLIC WORKS BEFORE CONNECTING TO EXISTING SEWER, OR WATER MAIN.
6. THE CONTRACTOR SHALL NOT OPERATE EXISTING MUNICIPAL WATER SYSTEM VALVES. WATER MAIN FLUSHING, DISINFECTING AND TESTING PLAN TO BE SUBMITTED TO, AND APPROVED BY THE CITY OF NIAGARA FALLS PRIOR TO THE PERFORMANCE OF WORK. VALVES CAN ONLY BE OPERATED BY THE CITY OF NIAGARA FALLS OPERATIONAL STAFF. THE CITY REQUIRES A MINIMUM OF 48 HOURS WRITTEN NOTICE PRIOR TO ALL WORKS.
7. CONSULTANT MUST APPROVE ALL DEVIATIONS FROM THE WORKING DRAWINGS. THE CONTRACTOR MUST KEEP AN ACCURATE RECORD OF ALL CHANGES FROM THE ORIGINAL INFORMATION SHOWN ON THE CONSTRUCTION DRAWINGS.
8. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE OF THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
9. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
  - OCCUPATIONAL HEALTH AND SAFETY ACT
  - ONTARIO REGULATION 213/91 - CONSTRUCTION PROJECTS
  - THE ONTARIO BUILDING CODE AND THE NATIONAL BUILDING CODE
  - THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS / DRAWINGS
  - THE NIAGARA PENINSULA STANDARD CONTRACT DOCUMENTS
10. ALL ELEVATIONS AND DIMENSIONS SHOWN ARE IN METERS, UNLESS NOTED OTHERWISE.
11. ALL BUILDING ELEVATIONS (MAIN FINISHED FLOOR, TOP OF FOUNDATION, BASEMENT FINISHED FLOOR) TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS.
12. ALL NEW GRADING AFFECTING EXISTING SITE FEATURES (TREES, FENCES, LANDSCAPING, FOUNDATION WALLS, RETAINING WALLS, SLABS, BELL PEDESTALS, UTILITY POLES ETC.) TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, LANDSCAPE AND VENDOR DRAWINGS AS APPLICABLE.
13. PROVIDE APPROPRIATE SHORING FOR TRENCH EXCAVATION IN ACCORDANCE WITH THE LATEST REVISION OF THE OHSА GUIDELINE FOR CONSTRUCTION PROJECTS.
14. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWERS SHALL BE 2.5m. MINIMUM VERTICAL CLEARANCE BETWEEN SEWERS AND WATER MAINS WHICH CROSS IS 500mm.
15. RIGID PIPE TRENCH EXCAVATION AS PER OPSD 802.030 FOR EARTH EXCAVATION AND OPSD 802.033 FOR ROCK EXCAVATION, AS APPLICABLE. PIPE INSTALLATION TO BE WITH CLASS 'B' BEDDING AND GRANULAR TYPE 'A' MATERIAL COMPACTED TO 100% S.P.M.D.D..
16. FLEXIBLE PIPE TRENCH EXCAVATION AS PER OPSD 802.010 FOR EARTH EXCAVATION AND OPSD 802.013 FOR ROCK EXCAVATION, AS APPLICABLE. PIPE INSTALLATION TO BE WITH GRANULAR TYPE 'A' MATERIAL COMPACTED TO 100% S.P.M.D.D..
17. SANITARY LATERAL INVERTS TO BE CONFIRMED ONCE ARCHITECTURAL BACKGROUNDS ARE PROVIDED AND A BASEMENT FLOOR ELEVATION IS CONFIRMED.
18. ALL WATER SERVICING TO COMPLY WITH CSA B137.5, ANSIN/ISF 14&61, AND CURRENT AWWA STANDARDS.
19. ALL WATER SERVICES TO BE INSTALLED WITH TRACER WIRE.
20. ALL WATER SERVICES TO BE INSTALLED WITH A MINIMUM OF 1.8m COVER. SEWERS TO BE INSTALLED WITH A MINIMUM COVER OF 2.20m AT THE PROPERTY LINE BELOW THE FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSITATED BY THE LEVEL OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.2m.
21. ALL WATER MAIN FITTINGS SHALL BE MECHANICALLY RESTRAINED. ALL FITTINGS SHALL BE INSTALLED WITH CORROSION RESISTANT COR-BLUE TEE BOLTS AND NUTS, OR APPROVED EQUAL.
22. ALL WATER MAIN FITTINGS SHALL BE CATHODICALLY PROTECTED AS PER OPSD 1109.011.
23. BUILDING SERVICES SHALL TERMINATE AT 1.5m FROM THE FACE OF THE BUILDING. SITE SERVICES CONTRACTOR TO COORDINATE WITH THE MECHANICAL CONTRACTOR, THE CONNECTION OF SITE SERVICES, INCLUDING SANITARY STORM AND WATER, TO THE INTERNAL SERVICES.
24. GRADING IS NOT TO ADVERSELY AFFECT ADJACENT PROPERTIES.
25. EXISTING TOPOGRAPHIC SURVEY ELEVATIONS ARE SHOWN USING INFORMATION PROVIDED (BY OTHERS). ALL ELEVATIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES REGARDING THE SURVEY INFORMATION ARE TO BE SUBMITTED TO THE ENGINEER FOR REVIEW.
26. ALL WORK WITHIN MUNICIPAL RIGHT-OF-WAYS REQUIRES ROAD OCCUP. PERMIT.
27. THE CONTRACTOR SHALL ENSURE ALL NEW AND EXISTING MANHOLES / CATCHBASINS / VALVES AND ANY OTHER APPURTENANCE WITHIN THE CONSTRUCTION AREA, TO MATCH FINISHED GRADE, AS REQUIRED.
28. REMOVAL OF EXISTING FEATURES OF THE SITE ARE TO BE CARRIED OUT IN ACCORDANCE WITH OPSS 510 AS APPLICABLE.
29. ROAD, PAVED AREAS AND GRASSED AREAS TO BE RESTORED TO THEIR ORIGINAL CONDITION OR AS PER THE CITY OF NIAGARA FALLS STANDARDS FOR ROAD RESTORATION IF EXISTS. TRENCH BACKFILLS WITHIN MUNICIPAL ROADWAYS TO BE WITH FULL DEPTH GRANULAR 'A'.
30. PROVIDE SILT FENCE PROTECTION ON ALL NEW AND EXISTING CATCH BASIN COVERS AND AROUND PERIMETER OF AREA OF WORK DURING CONSTRUCTION AND REMOVE UPON COMPLETION.
31. ALL EXISTING AND PROPOSED DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GRADE LEVEL WITH FLOWS DIRECTED AWAY FROM THE BUILDING FOUNDATIONS WITHOUT EROSION OR INCONVENIENCE TO OTHERS.



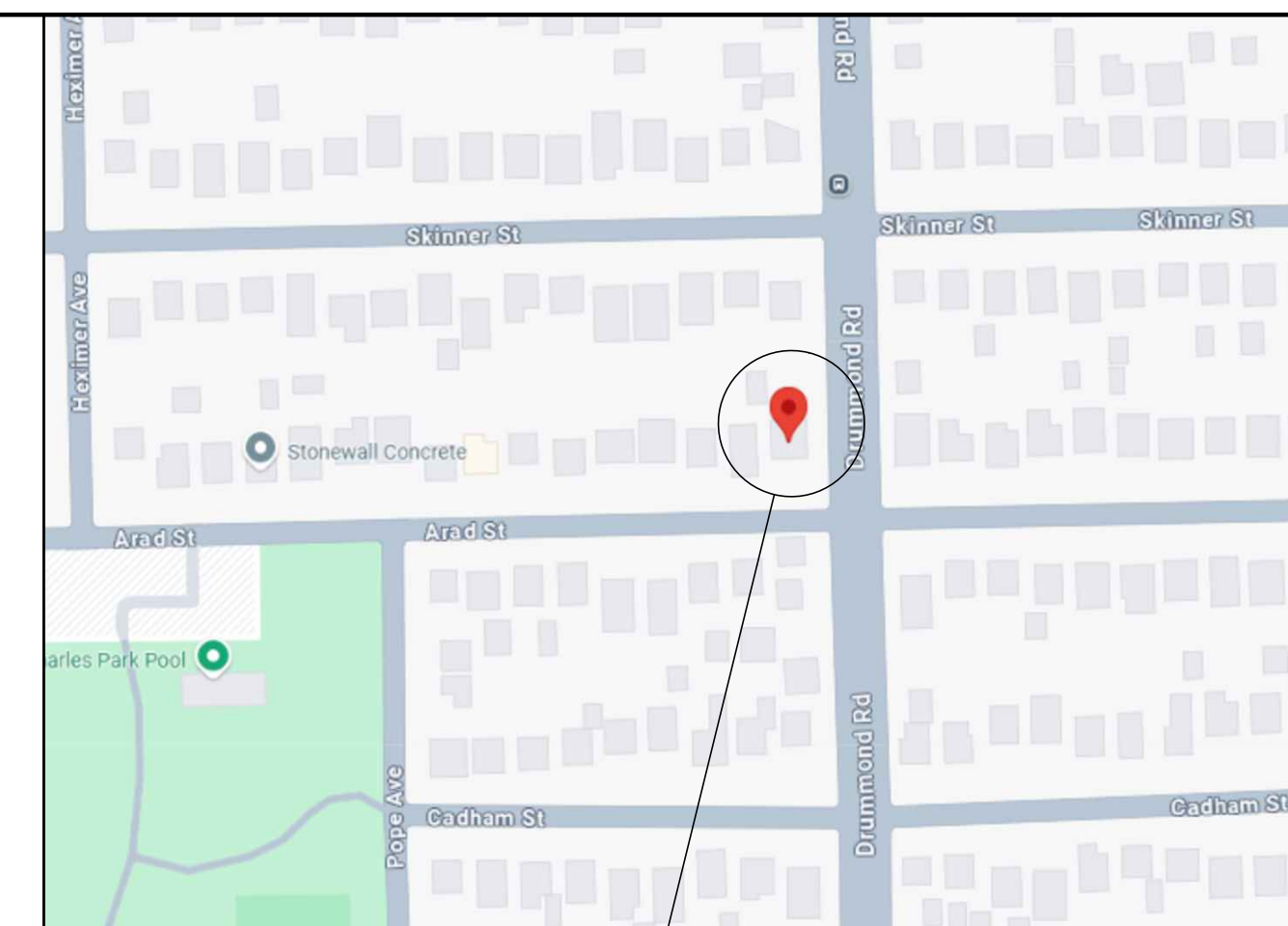
**STANDARD DUTY ASPHALT DETAIL**

SCALE: 1:10



**TYP. SEDIMENT TRAP**

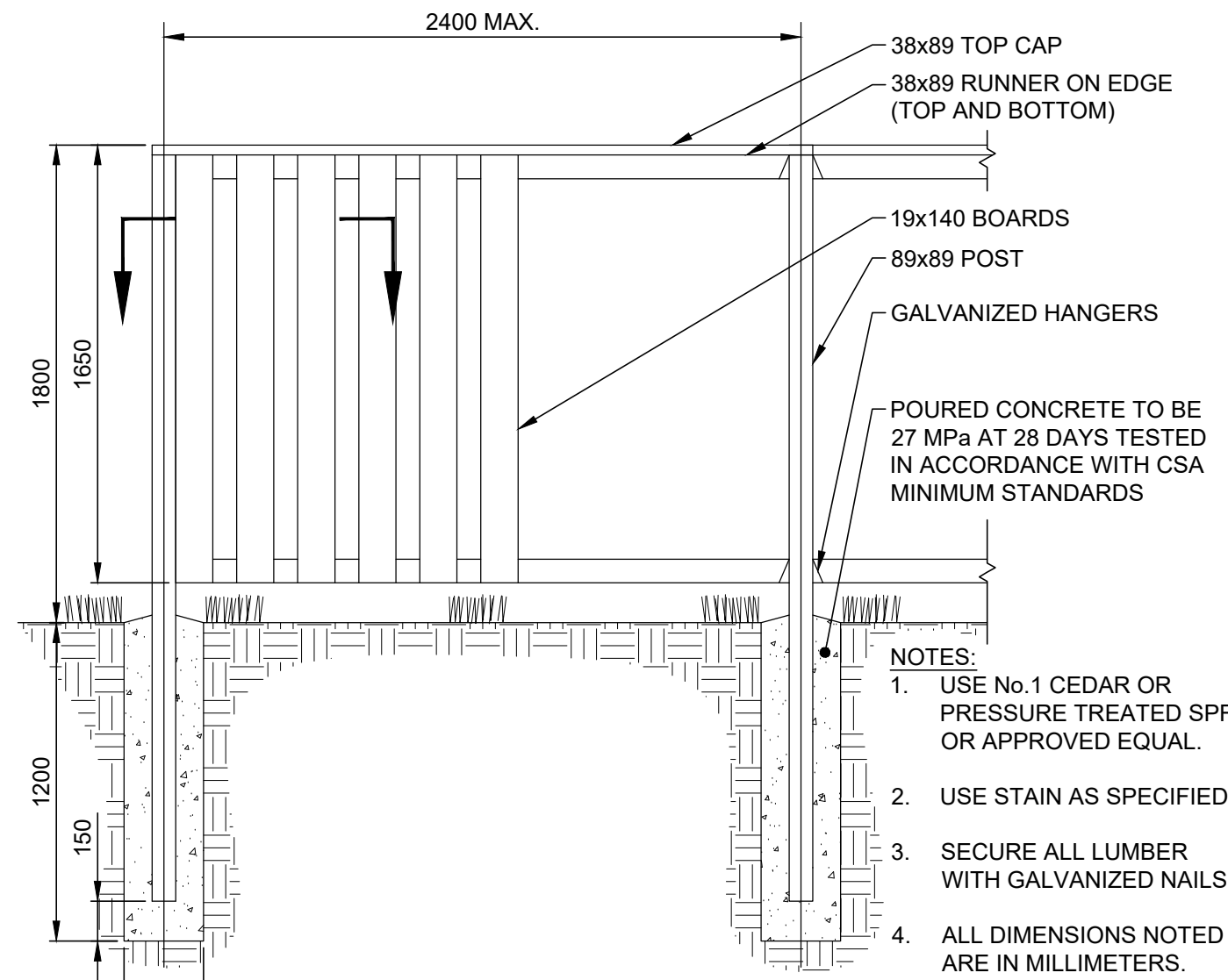
SCALE: 1:25



**2-STOREY GARAGE ADDITION  
6221 ARAD STREET  
NIAGARA FALLS, ONTARIO**

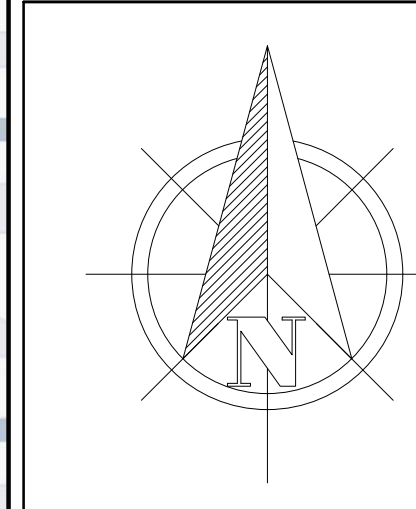
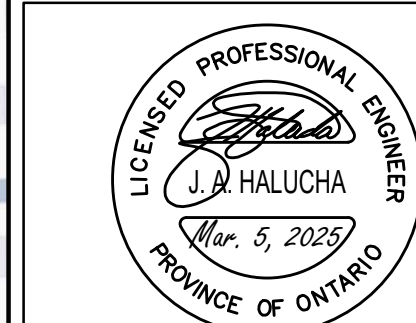
**KEY PLAN**

SCALE: NTS



**TYPICAL WOOD FENCE DETAIL**

SCALE: 1:25



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REV.	ISSUED FOR:	YYYYMMDD
0	APPROVAL	2025-01-21
1	APPROVAL	2025-02-28
2	APPROVAL	2025-03-05

CLIENT:  
INFURNA HOLDINGS INC  
6221 ARAD STREET  
NIAGARA FALLS, ON L2G 2Z7

PROJECT:  
2-STOREY GARAGE ADDITION  
6221 ARAD STREET  
NIAGARA FALLS, ON L2G 2Z7

SHEET TITLE:  
GENERAL NOTES,  
TYPICAL DETAILS,  
& KEY PLAN

JOB NUMBER: 24105	DATE: JANUARY/2025
DRAWN BY: AI	DESIGNED BY: AI
CHECKED BY: JH	SCALE: AS SHOWN
DWG. C0	REV. 2

**SITE STATISTICS - 6221 ARAD STREET**

PROPERTY DETAILS  
 OFFICIAL PLAN DESIGNATION: RESIDENTIAL  
 ZONING: (TRM) TRANSITION RESIDENTIAL MULTIPLE  
 ADDRESS: 6221 ARAD STREET, NIAGARA FALLS, ON

SITE AREA: 0.037 ha

EX. SURFACE STATS	AREA (m <sup>2</sup> )	% COVERAGE
EX. BUILDING CVRG	91.0	25.0%
EX. PARKING & DRIVE	54.0	15.0%

PR. SURFACE STATS	AREA (m <sup>2</sup> )	% COVERAGE
PR. BUILDING CVRG	47.0	13.0%
PR. PARKING & DRIVE AREA	30.0	8.0%

TOTAL SURFACE STATS	AREA (m <sup>2</sup> )	% COVERAGE
TOTAL BUILDING CVRG	138.0	37.0%
TOTAL PARKING & DRIVE	84.0	23.0%

LANDSCAPED AREA	150.0	40.0%
TOTAL	371.0	100.0%

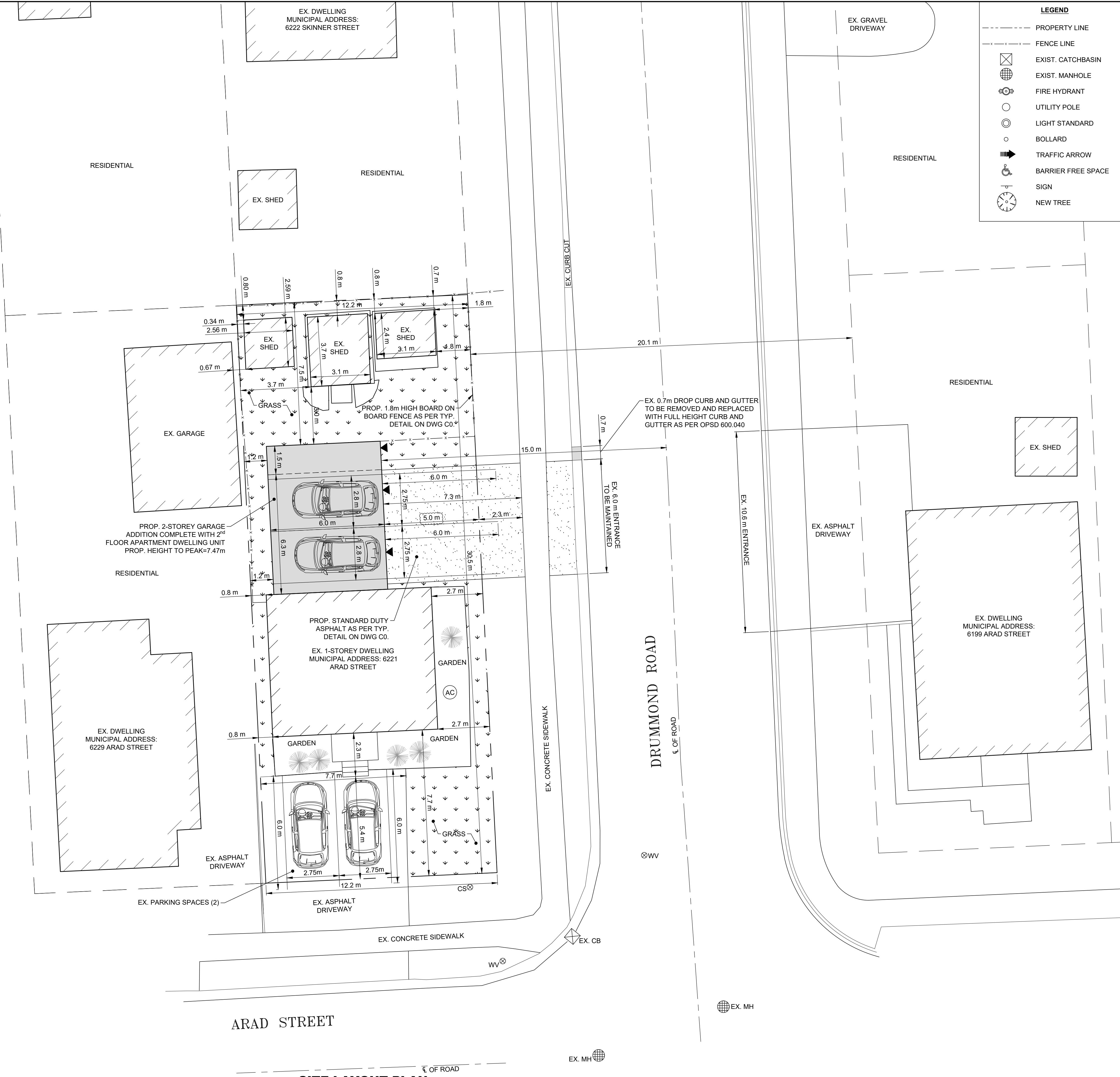
ACCESSORY BLDGS	REQUIRED	PROVIDED
MAX COVERAGE	55.7m <sup>2</sup>	25.7m <sup>2</sup>
FRONT COVERED PORCH	1.8m	0.0m
FRONT STAIRS	2.5m	2.3m
REAR SHED SETBACK	0.80m	0.45m
REAR SHED HEIGHT	3.0m	2.0m

PARKING	REQUIRED	PROVIDED
DETACHED DWELLING:	2 SPACES	6 SPACES
TOTAL PARKING:	2 SPACES	6 SPACES

MAX YARD PARKING AREA	REQUIRED (m <sup>2</sup> )	PROVIDED(m <sup>2</sup> )
REAR YARD:	40.0	13.7
EXTERIOR YARD:	50.0	16.2

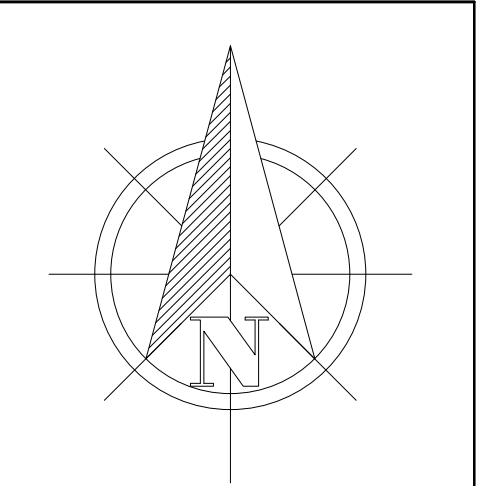
BUILDING SETBACKS	REQUIRED	PROVIDED
EX. FRONTAGE :		12.0m
EX. FRONT YARD:		7.7m
EX. SIDE YARD:		0.8m
PR. FRONT YARD:	6.0m	5.0m
PR. SIDE YARD:	1.2m	1.2m
PR. REAR YARD:	7.5m	7.5m

MAX. BUILDING HEIGHT	REQUIRED	PROVIDED
BUILDING HEIGHT	10.0m	7.47m



**LEGEND**

- PROPERTY LINE
- - - FENCE LINE
- ⊠ EXIST. CATCHBASIN
- ⊕ EXIST. MANHOLE
- ⊙ FIRE HYDRANT
- UTILITY POLE
- ⊙ LIGHT STANDARD
- BOLLARD
- ➔ TRAFFIC ARROW
- ⊕ BARRIER FREE SPACE
- ⊙ SIGN
- ⊙ NEW TREE



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**HALLEX CIVIL ENGINEERING LTD.**

4999 Victoria Avenue  
 Niagara Falls, ON L2G 2Z7  
 Tel: 905-557-4015 Fax: 905-553-1185

REV.	ISSUED FOR:	YYYYMMDD
0	APPROVAL	2025-01-21
1	APPROVAL	2025-02-28
2	APPROVAL	2025-03-03
3	APPROVAL	2025-03-05

CLIENT:  
 INFURNA HOLDINGS INC  
 6221 ARAD STREET  
 NIAGARA FALLS, ON L2G 2Z7

PROJECT:  
 2-STORY GARAGE ADDITION  
 6221 ARAD STREET  
 NIAGARA FALLS, ON L2G 2Z7

SHEET TITLE:  
 SITE LAYOUT PLAN

JOB NUMBER:	241105
DATE:	JANUARY/2025
DRAWN BY:	AI
DESIGNED BY:	AI
CHECKED BY:	JH
SCALE:	1:100
DWG.:	C1
REV.:	3

**SITE LAYOUT PLAN**  
 SCALE: 1:100