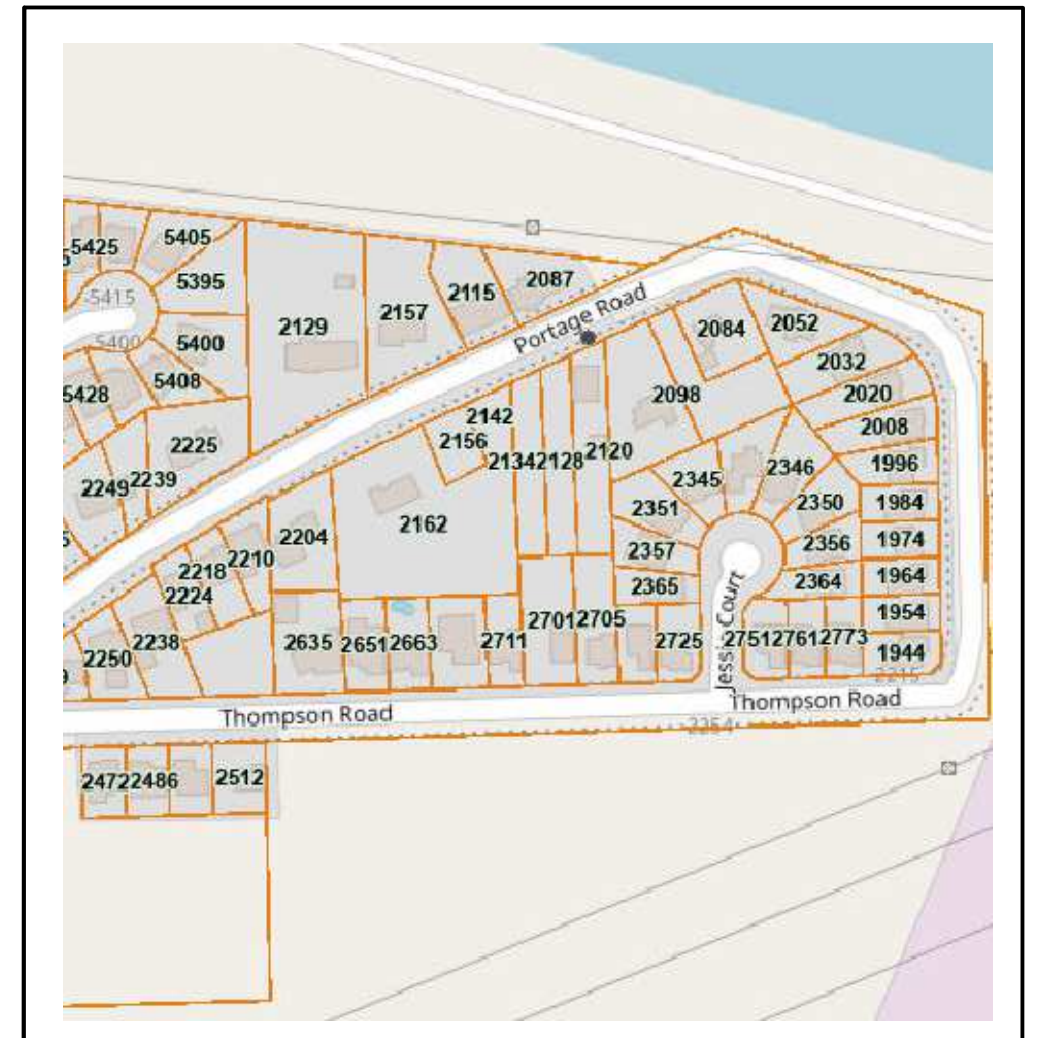


PRELIMINARY GRADING PLAN
SCALE=1:150



KEY PLAN N.T.S.

AS CONSTRUCTED GRADING CERTIFICATION

I hereby certify that I have taken the finished grades shown, and that the grading of this lot generally conforms to the latest revision of the subdivision drainage plan for this subdivision, properties and this lot will drain satisfactorily and not adversely affect adjacent properties.

NAME: _____ SIGNATURE: _____
LIC#: _____ DATE: _____

PART 1 LOT AREA	±634.76m ²
PART 2 LOT AREA	±634.76m ²
PART 3 LOT AREA	±634.76m ²
PART 4 LOT AREA	±122.64m ²
TOTAL LOT AREA	±2023.53m²
LOT COVERAGE	0.0%

CITY OR TOWN _____
ACCEPTED BY _____
DATE _____

LEGEND

- 174.05 — EXISTING ELEVATION
- 100.00 — PROPOSED APRON ELEVATION
- x100.00 — PROPOSED ELEVATION
- — DIRECTION OF DRAINAGE FLOW
- ⊙ — DOWNSPOUT DISCHARGE
- ⊙(SP) — SUMP PUMP DISCHARGE

PRELIMINARY LOT AND GRADING PLAN

LOT # PT TWP LT 169
PLAN # _____
PIN # 64264-0095
ADDRESS 7040 GARNER ROAD
HOUSE STYLE VACANT LOT

CERTIFICATION OF EXISTING AND PROPOSED GRADES

I hereby certify that this proposed Lot Grading Plan satisfies the technical requirements for City of Niagara Falls drainage policy. The proposed grades shown are compatible with adjacent properties and this lot will drain satisfactorily and not adversely affect adjacent properties.

NAME: Garrett Russell SIGNATURE: Garrett Russell
LIC#: 1005068448 DATE: Oct 30, 2024

#	REVISION	DATE	INIT
0	ISSUED FOR APPROVAL	2024-10-09	

NOTES:

- THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWER, AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- THIS DRAWING IS TO ONLY BE USED FOR THE PURPOSE DISPLAYED IN THE TITLE BLOCK. PROPERTY LINES WERE PLOTTED USING REGISTERED PLANS AND BARS LOCATED IN THE FIELD TO VERIFY THE ACCURACY OF THESE PROPERTY LINES, A LEGAL SURVEY SHOULD BE PERFORMED PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION MUST COMPLY WITH THE NIAGARA PENINSULA STANDARD CONTRACT DOCUMENT.

DRAFTING
RG

DESIGN
RG

CHECKED BY
GR

APPROVED BY
—

NOTE:
BUILDER AND SURVEYOR TO VERIFY LOCATION OF ALL SERVICES AND UTILITIES PRIOR TO CONSTRUCTION.

SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOCATION PRIOR TO LAYOUT OF BUILDING FOUNDATION

GRADING NOTES:
-ROOFWATER LEADERS ON THE PROPOSED DWELLING TO SPILL TO GRADE ON SPLASH PAD.
-SUMP PUMP OUTLET TO BE DIRECTED TO GRADE PATTERNS SO NOT TO IMPACT DRAINAGE ADJUTING PROPERTIES
-MIN. 2% TO A MAX. 5% SLOPE FOR REGRADING PROPOSED APRON TO MATCH INTO EXISTING GRADE

RUSSELL TECHNICAL SERVICES

43 DARBY RD
WELLAND, ONTARIO L3B 5N4
Tel: 289 213 3807
email: russellrts43@gmail.com

7040 GARNER ROAD
CITY OF NIAGARA FALLS
PRELIMINARY LOT GRADING

CONSULTANT FILE No. 7040TS
DATE 2024-10-28
PRINTED
SCALE 1:150 m
REF No. .
DWG No. 7040TS
REV 0