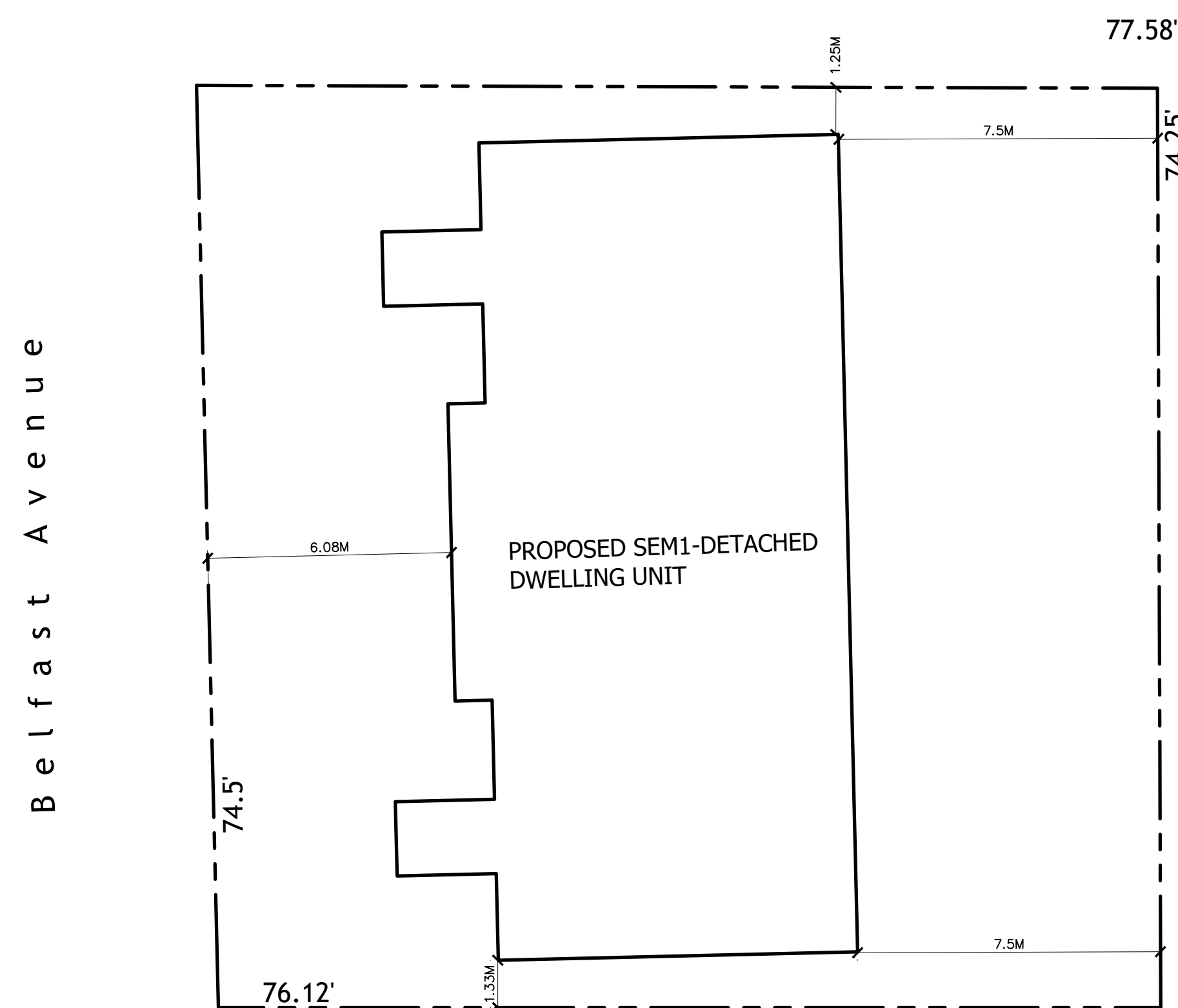


Property Reference Plan
SCALE 1" = 20'-0"



Building Location Plan
Site Information R2 ZONE
SITE AREA - 5726.40 SF
MAX LOT COVERAGE - 45%
MIN LANDSCAPED OPEN SPACE 30%
MAXIMUM HGT - 10M (32.81')

NOTE: THIS SKETCH IS NOT A PLAN OF SURVEY
SKETCH FOR PLANNING PURPOSES ONLY

7859 MULHERN STREET
CITY OF NIAGARA FALLS
REGIONAL MUNICIPALITY OF NIAGARA

SCALE 1 : 250

J.D. BARNES LIMITED
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METRIC NOTE
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

KEY PLAN (not to scale)

SUBJECT LANDS

MULHERN STREET

CITY OF NIAGARA FALLS

LEGAL DESCRIPTION
LOT 48, PLAN 82

BOUNDARY INFORMATION HAS BEEN DERIVED FROM AVAILABLE RECORDS AND/OR FIELD MEASUREMENTS. THIS IS NOT A PLAN OF SURVEY.

MARCH 17, 2021
DATE

Allan Hewwood
ALLAN HEWWOOD
ONTARIO LAND SURVEYOR

TW	DRAWN
AH	CHECKED
MAR 17/2021	DATE
21-16-025-00	Ref. No.
	Plot No.

J.D. BARNES LIMITED
LAND INFORMATION SPECIALISTS
418 PORTAGE ROAD - UNIT 2, NIAGARA FALLS, ON L2E 4A4
T: (905) 338-3691 F: (905) 338-4224 www.jdbarnes.com

JOB #5373

CERTIFICATION OF EXISTING AND PROPOSED GRADES
I hereby certify that this proposed Lot Grading Plan satisfies the technical requirements described on sheet 2 of this certificate and conforms to the latest revision of the Subdivision Control Plan for this project.
NAME: JASON SCHOOLEY (P.ENG.) SIGNATURE: *J. Schooley*
FIRM: UPPER CANADA CONSULTANTS DATE: MAY 12, 2023

CERTIFICATION OF FINAL AS-CONSTRUCTED GRADES
I hereby certify that I have taken the finished grades shown on this Lot Grading Plan and that the grading of this lot generally conforms with the intent of the approved Subdivision Grade Control Plan for this project.
NAME: SIGNATURE: _____
FIRM: DATE: _____

OFFICE USE ONLY ACCEPTED BY: _____ DATE: _____

PROPERTY INFORMATION
MUNICIPAL ADDRESS: 7859 MULHERN
LOT No. PT LT 48 PLAN No. 82
APPLICANT (OWNER)
PHONE No. _____
BUILDER: ALEKSANDAR MIMOVIC
PHONE No. 289-687-5522
SUBDIVISION NAME: _____

UPPER CANADA CONSULTANTS
ENGINEERS / PLANNERS
3-30 Huronville Drive
St. Catharines, ON
L7W 1A3
Phone: (905) 688-9400
Fax: (905) 688-5274

LEGEND
→ Drainage direction
--- 7.0m± Setback measurement
⊙ Downspout & direction of discharge
[42.87] Proposed ground elevation
As constructed ground elev.

SCALE 1:200 BENCHMARK REV. No.
DRAWN BY: K.A./R.D.
CHECKED BY: J.S.

Site Servicing / Grading Plan
SCALE 1" = 20'-0"

7859 MULHERN



andrew allen hellwig | design inc
consultant



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code
ANDREW HELLWIG 18776
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code
Andrew Allen Hellwig Design Consultants Inc. 114357
FIRM NAME BCIN

drawing

Site Plan
Project information

disclaimer
do not scale drawings, verify all dimensions and information prior to construction report any errors and omissions to the maker of these plans immediately. All construction must meet or exceed all applicable current building codes including all revisions. Contractor shall be responsible for processing with and verify all codes in relation to the drawings are fully adhered to in regards to the basic design intent.

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date of issues and revisions
A- ISSUED FOR BUILDING PERMIT 2023-08-25 AAH

drawn drawing no.
reviewed **SP1.01**
plot A **2023-70**

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NAME	SIGNATURE BCIN
REGISTRATION INFORMATION	
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Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Foundation Basement Plan

disclaimer

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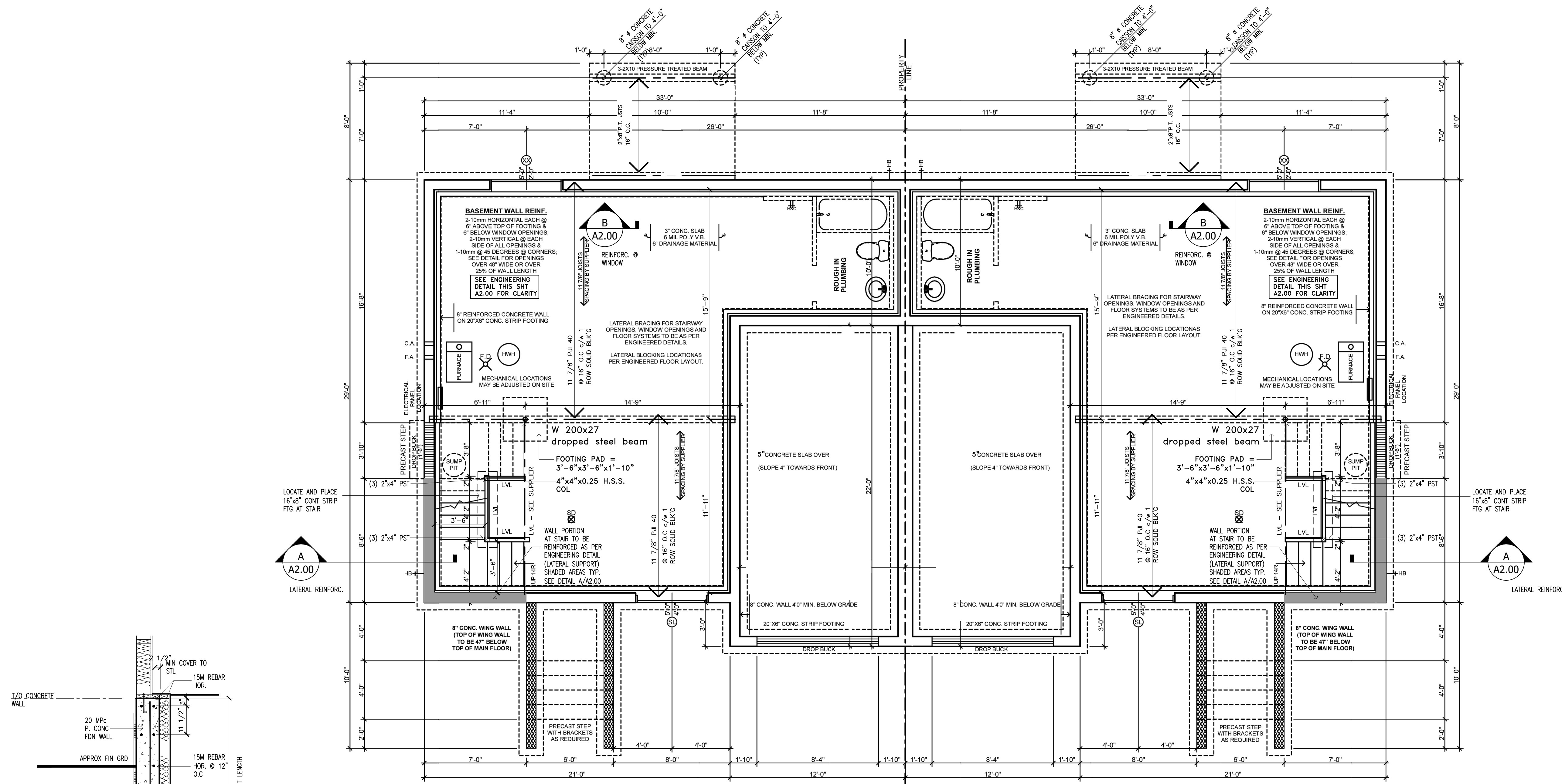
date of issues and revisions

A- ISSUED FOR BUILDING PERMIT 2023-08-25 AAH

drawn drawing no.

reviewed **A2.00**

plot A **2023-70**

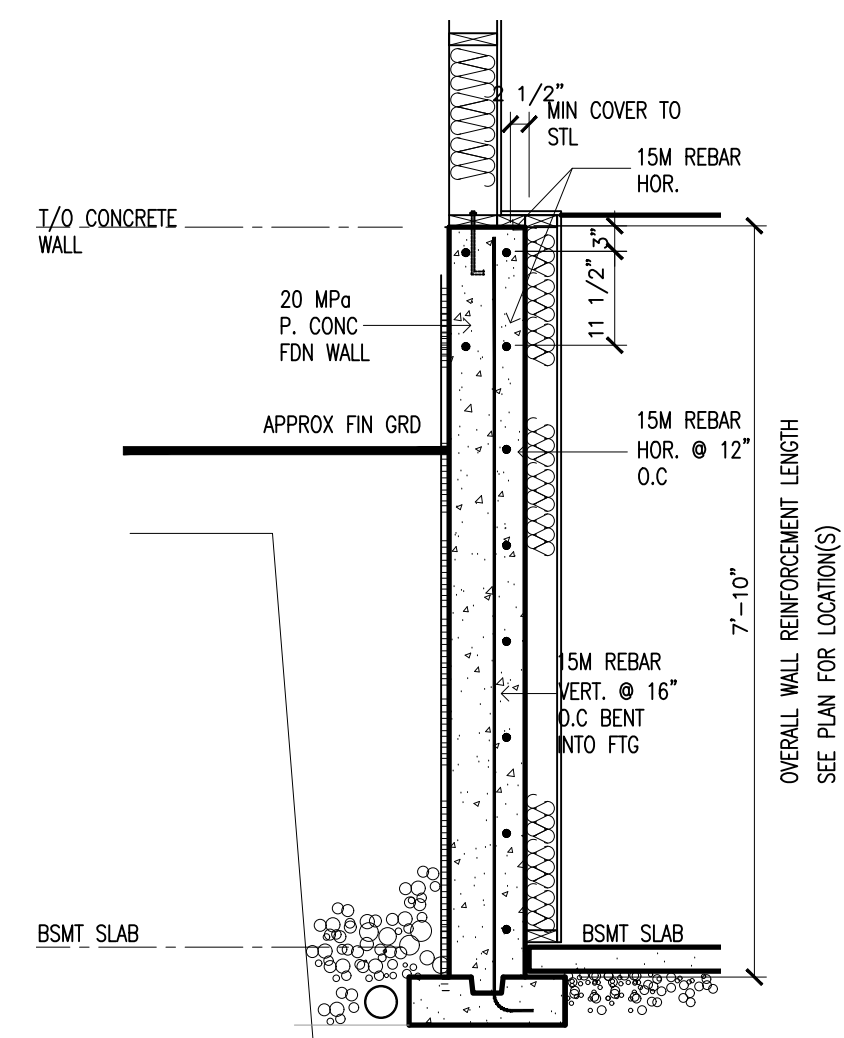


FOUNDATION PLAN
8" FOUNDATION

CONCRETE SLAB AREA= 664 SQ FT
GARAGE SLAB AREA= 237 SQ FT

CONCRETE SLAB AREA= 664 SQ FT
GARAGE SLAB AREA= 237 SQ FT

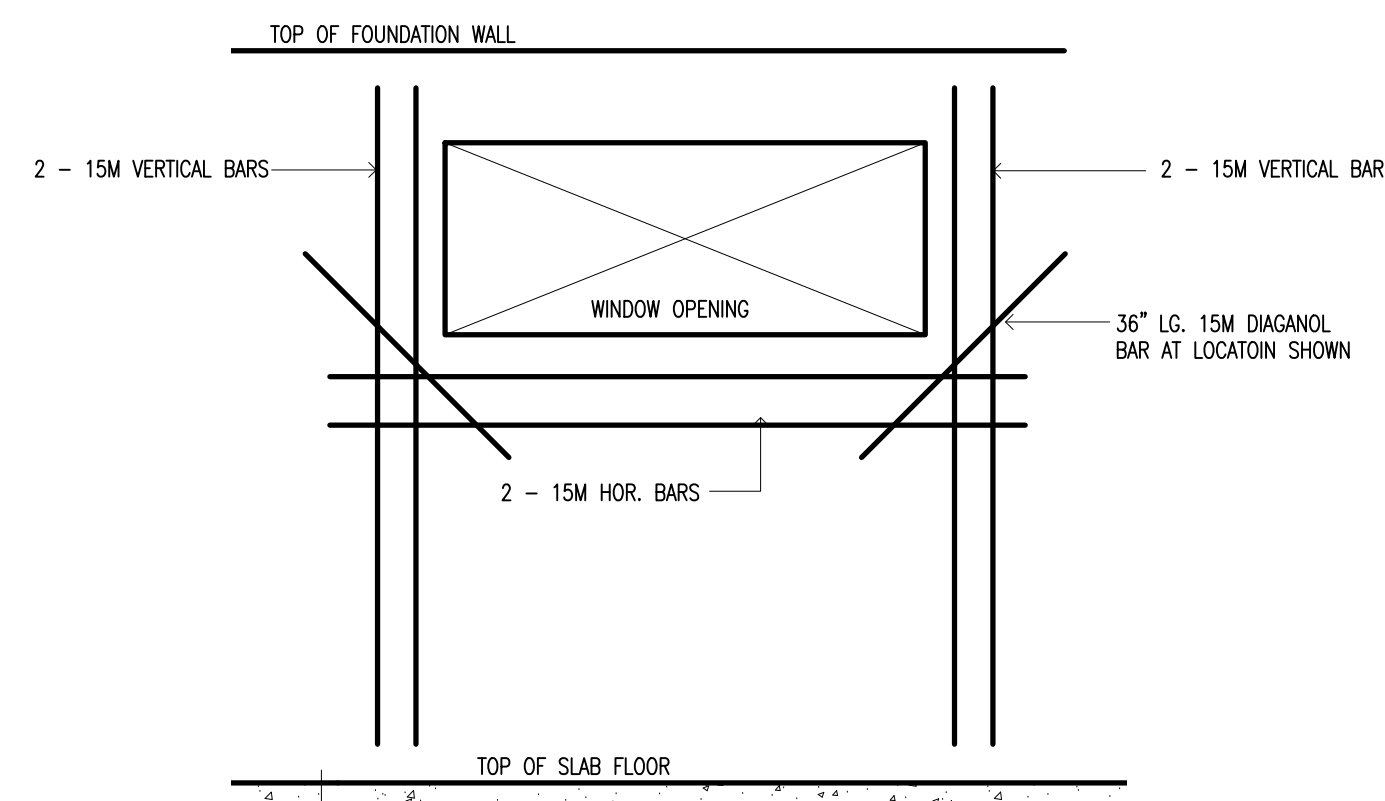
FOUNDATION PLAN
8" FOUNDATION



A wall reinforcement detail
scale 1/2" = 1'-0"
laterally unsupported at INTERIOR STAIRS

Foundation Plan
scale 1/4" = 1'-0"

664.0 SF



B wall reinforcement detail
scale 1/2" = 1'-0"
AT WINDOWS EXCEEDING 3'-0" WIDE



notes



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	BCIN
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Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Accessory Dwelling Basement Plan

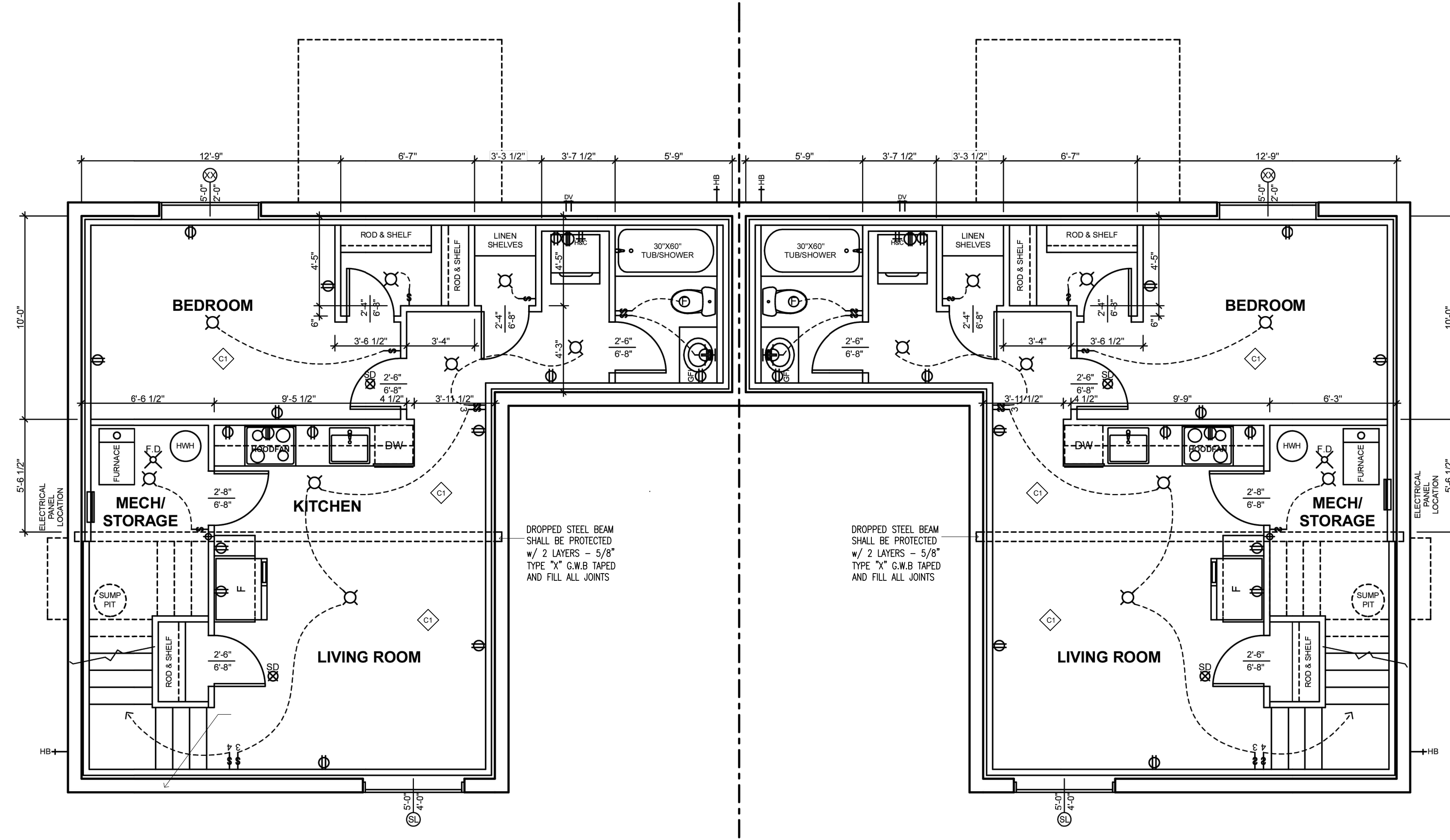
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664.0 SF

Floor/Ceiling Schedule

SEPARATION REQUIREMENT BETWEEN "ADU" + PRIMARY DWELLING - SEE DESCRIPTION AND FLOOR/ASSEMBLY TYPE INDICATED IN SCHEDULE BELOW

□ FLOOR/CEILING ASSEMBLY 30MIN F.R.R.

□ 1/4" FIN FLOORING (PLYWD.)
 □ 3/4" T+G SPRUCE PLY SUB-FLOOR
 □ PRE-ENGINEERED FLOOR JOISTS (12"DF) @ 16" O.C.
 □ SOUND ATTENUATION BATS IN CAVITY 2.8KG/M2 DENSITY
 □ 1 LAYER 5/8" TYPE "X" GYP. WALL BOARD

Note: On January 1, 2022, Table 9.8.4.1. of Division B of the Regulation is revoked and the following substituted: (See: O. Reg. 8839, s. 200 (2))

Table 9.8.4.1. Rise for Rectangular Treads, Tapered Treads and Winders and Run for Rectangular Treads					
Forming Part of Sentences 9.8.4.1. (1) and 9.8.4.2. (1)					
Item	Column 1 Stair Type	Column 2 Max. Rise, mm, for All Steps	Column 3 Min. Rise, mm, for All Steps	Column 4 Max. Run, mm, for Rectangular Treads	Column 5 Min. Run, mm, for Rectangular Treads
1.	Private stairs ⁽¹⁾	200	125	355	255
2.	Public stairs ⁽²⁾	180	125	no limit	280
3.	Service stairs ⁽³⁾	no limit	125	355	no limit
4.	Stairs to unoccupied attic space ⁽⁴⁾	no limit	125	355	no limit
5.	Stairs to crawl spaces	no limit	125	355	no limit
6.	Stairs that serve mezzanines not exceeding 20 m ² within the work units	no limit	125	355	no limit

Notes to Table 9.8.4.1.:

(1) Private stairs are:
 (a) interior stairs within a house or an individual dwelling unit,
 (b) exterior stairs serving a house or an individual dwelling unit, and
 (c) exterior stairs serving a garage that serves a house or an individual dwelling unit.

drawn

drawing no.


reviewed

A2.00B

plot A

2023-70

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code	
ANDREW HELLWIG 	18776
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
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Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Main Floor Plan

disclaimer

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date of issues and revisions

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drawing drawing no.

reviewed **A2.01**

plot A 2023-70

Wall Schedule

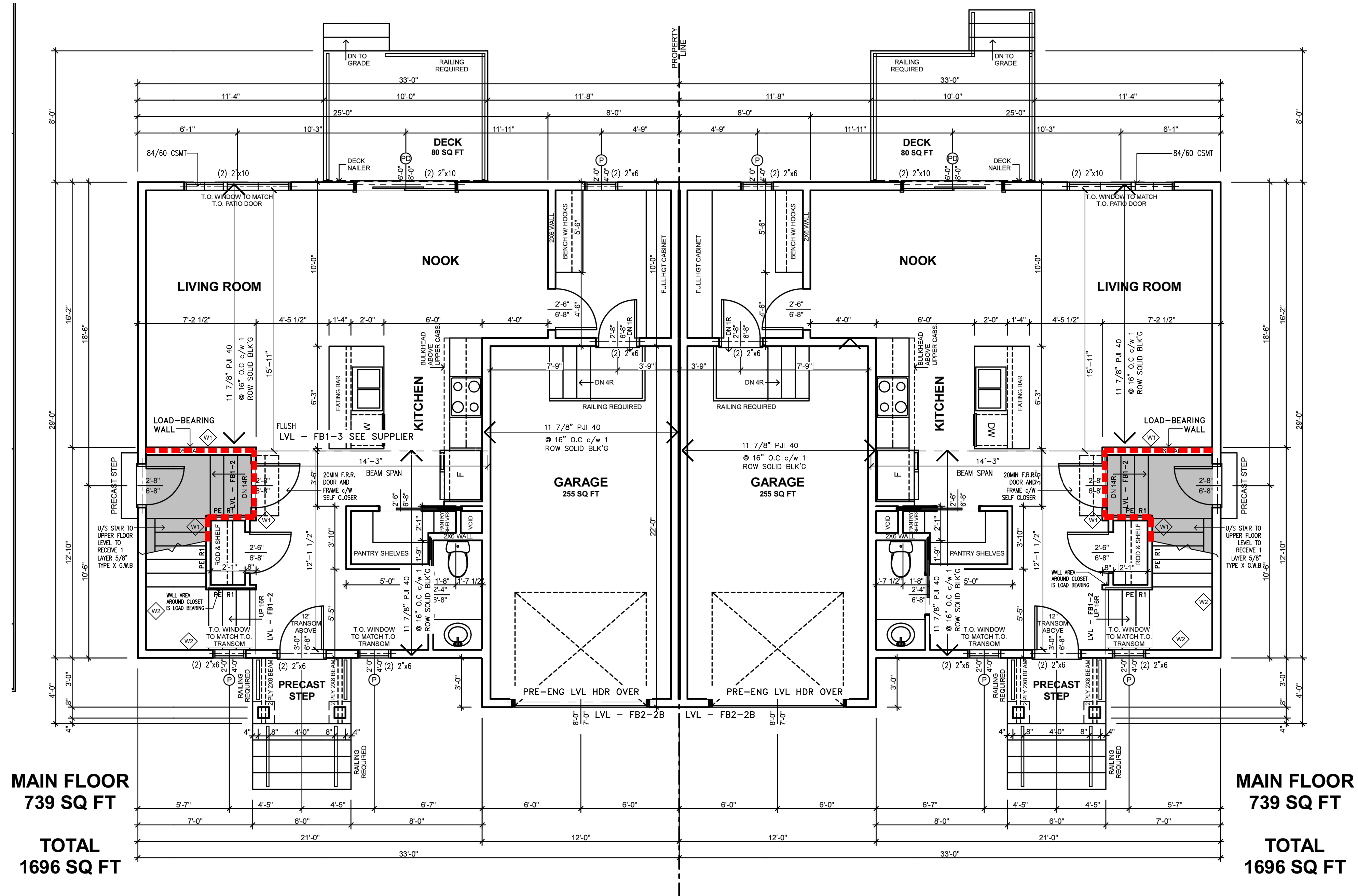
SEPARATION REQUIREMENT BETWEEN "ADU" + PRIMARY DWELLING - SEE DESCRIPTION OF WALL TYPE INDICATED IN SCHEDULE BELOW

- WALL TYPE - AROUND STAIRWELL UPPER/LOWER LEVEL
- WALL TYPE - 30MIN FIRE RESISTANCE RATING
- 2"x4" studs @ 16" O.C.
- 3 1/2" ABSORPTIVE MAT'L
- 1/2" TYPE "X" G.W.B. B/S

- TALL WALL @ STAIR

OBC TABLE 9.23.10.1 - TABLE A-31 BASED ON 1/150 HRLY WIND = 0.45 KPa

2"x6" STUDS @ 12" O.C. MAX UNSUPPORTED HGT = 5.6M BRACE STUDS WITH BLOCK'G @ MX 4'-0" C/C



MAIN FLOOR
739 SQ FT

TOTAL
1696 SQ FT

MAIN FLOOR
739 SQ FT

TOTAL
1696 SQ FT



Main Floor Level Plan

scale 1/4" = 1'-0"

739.0 SF

NOTE: PROVIDE NECESSARY IN WALL SOLID BLOCKING IN BATHROOMS TO ACCEPT FUTURE GRAB BARS AND MOBILITY ASSISTANT FIXTURES

Note: On January 1, 2022, Table 9.8.4.1. of Division B of the Regulation is revoked and the following substituted: (See: O. Reg. 8819, s. 200 (2))

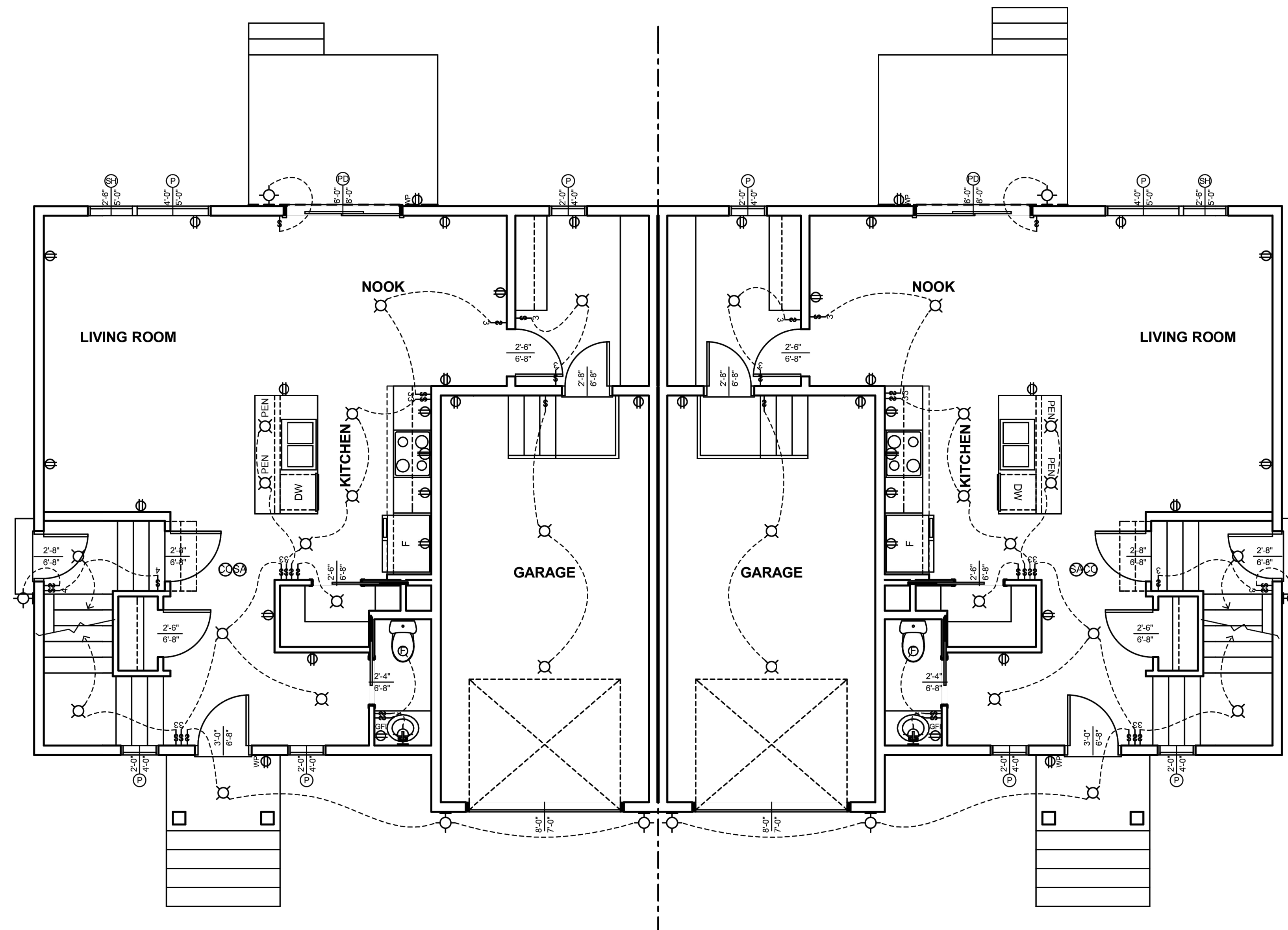
Table 9.8.4.1. Rise for Rectangular Treads, Tapered Treads and Winders and Run for Rectangular Treads					
Forming Part of Sentences 9.8.4.1.(1) and 9.8.4.2.(1)					
Item	Column 1 Stair Type	Column 2 Max. Rise, mm, for All Steps	Column 3 Min. Rise, mm, for All Steps	Column 4 Max. Run, mm, for Rectangular Treads	Column 5 Min. Run, mm, for Rectangular Treads
1.	Private stairs ⁽¹⁾	200	125	355	255
2.	Public stairs ⁽²⁾	180	125	no limit	280
3.	Service stairs ⁽³⁾	no limit	125	355	no limit
4.	Stairs to unoccupied attic space ⁽⁴⁾	no limit	125	355	no limit
5.	Stairs to crawl spaces	no limit	125	355	no limit
6.	Stairs that serve mezzanines not exceeding 20 m ² within live/work units	no limit	125	355	no limit

Notes to Table 9.8.4.1.:

- (1) Private stairs are:
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notes



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ANDREW HELLWIG 18776
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code

Andrew Allen Hellwig Design Consultants Inc. 114357
 FIRM NAME BCIN

drawing

Main Floor Plan
 Electrical Layout

disclaimer

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Main Floor Level Electrical Plan

scale 1/4" = 1'-0"

739.0 SF

drawn drawing no.

reviewed **A2.01E**

plot **A** 2023-70



notes



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NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
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Andrew Allen Hellwig Design Consultants Inc.		114357
FIRM NAME		BCIN

drawing

Upper Floor Plan

disclaimer

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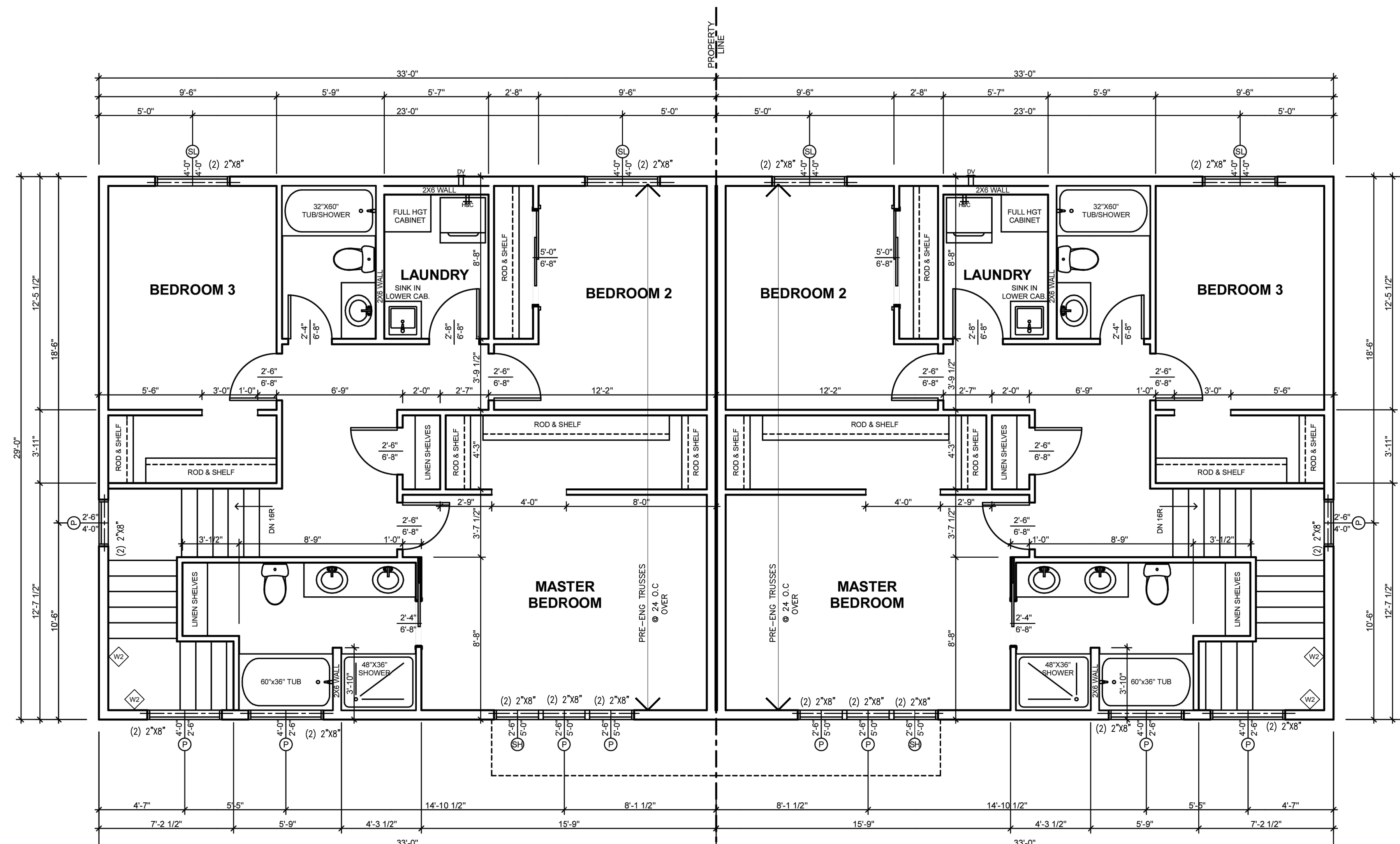
date of issues and revisions

A- ISSUED FOR BUILDING PERMIT 2023-08-25 AAH

drawing no. drawing no.

reviewed A2.02

plot A 2023-70



UPPER FLOOR
957 SQ FT

UPPER FLOOR
957 SQ FT

- ◇ TALL WALL ● STAIR
- QBC TABLE 9.23.10.1 - TABLE A-31 BASED ON 1/150 HRLY WIND = 0.45 GSL = 2.0 KPa
- 2"x6" STUDS @ 12" O.C MAX UNSUPPORTED HGT = 5.6M
BRACE STUDS WITH BLOCKS @ MAX 4'-0" C/C

Upper Floor Level Plan



scale

1/4" = 1'-0"

957.0 SF

Note: On January 1, 2022, Table 9.8.4.1. of Division B of the Regulation is revoked and the following substituted: (See: O. Reg. 8819, s. 200 (2))

Item	Column 1 Stair Type	Table 9.8.4.1. Rise for Rectangular Treads, Tapered Treads and Winders and Run for Rectangular Treads			
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1.	Private stairs ⁽¹⁾	200	125	355	255
2.	Public stairs ⁽²⁾	180	125	no limit	280
3.	Service stairs ⁽³⁾	no limit	125	355	no limit
4.	Stairs to unoccupied attic space ⁽⁴⁾	no limit	125	355	no limit
5.	Stairs to crawl spaces	no limit	125	355	no limit
6.	Stairs that serve mezzanines not exceeding 20 m ² within live/work units	no limit	125	355	no limit

Notes to Table 9.8.4.1:

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notes



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ANDREW HELLWIG	18776
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
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Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Upper Floor Plan
electrical Layout

disclaimer

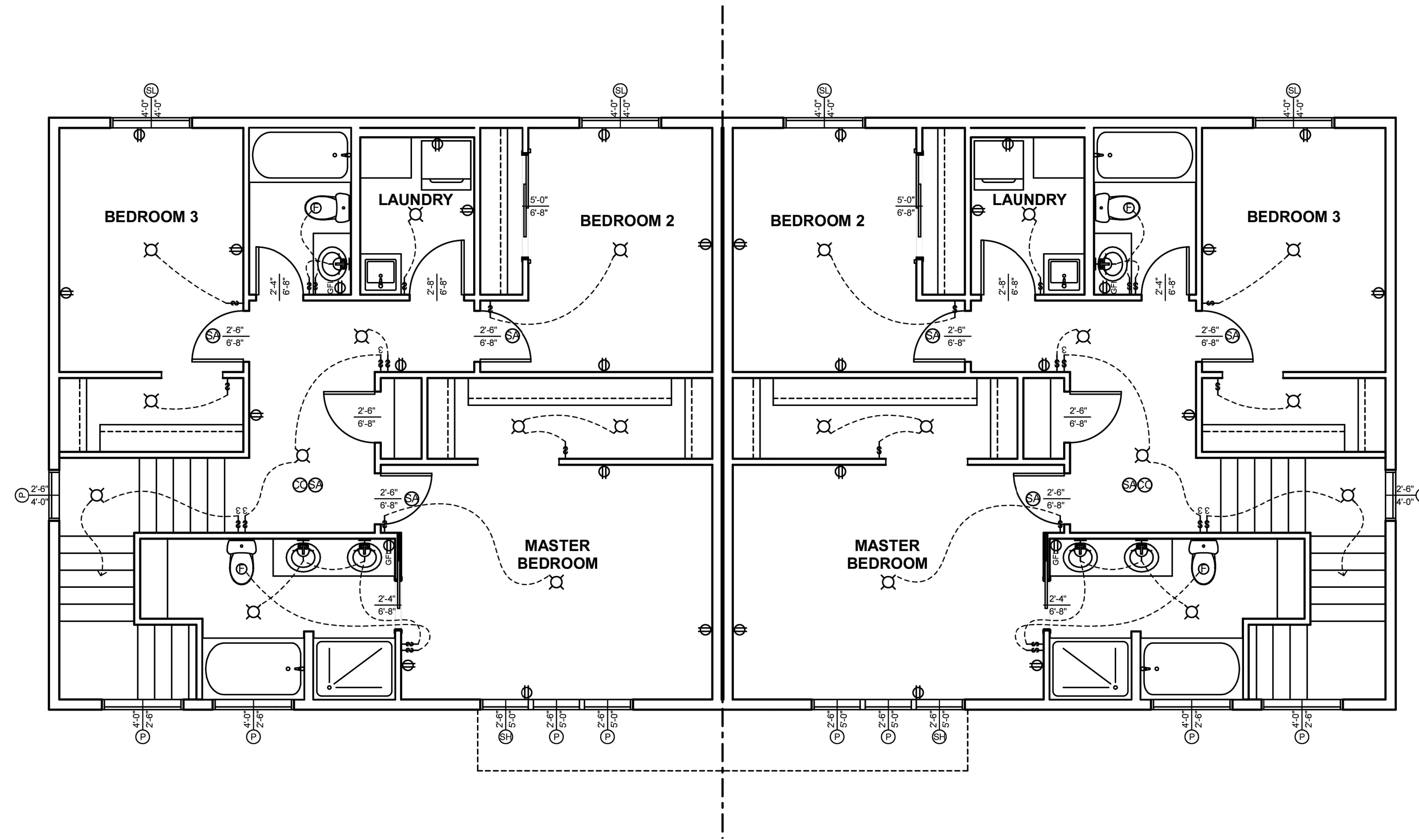
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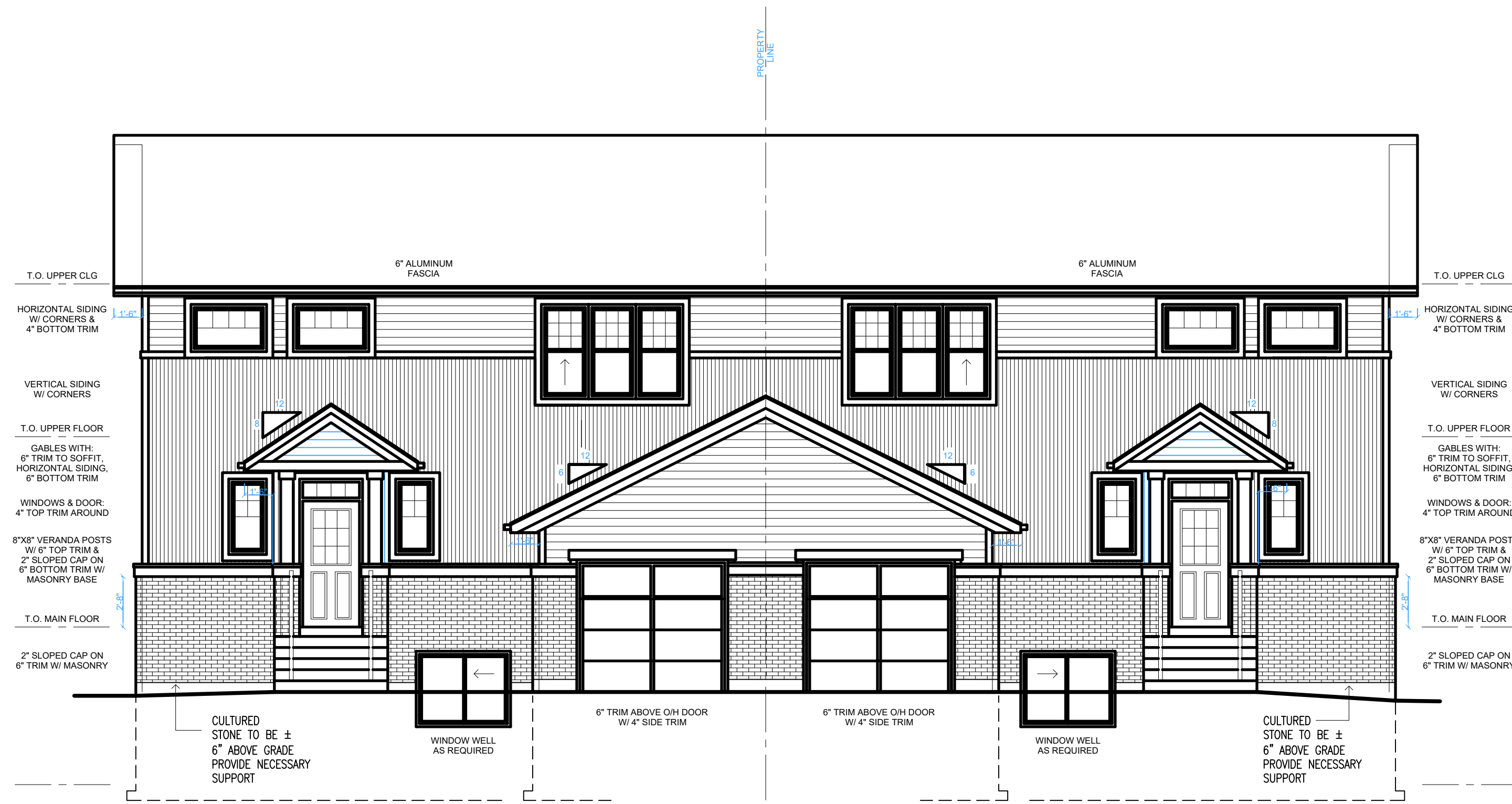
Upper Floor Level Electrical Plan
scale 1/4" = 1'-0"
957.0 SF

drawn drawing no.

reviewed A2.02E

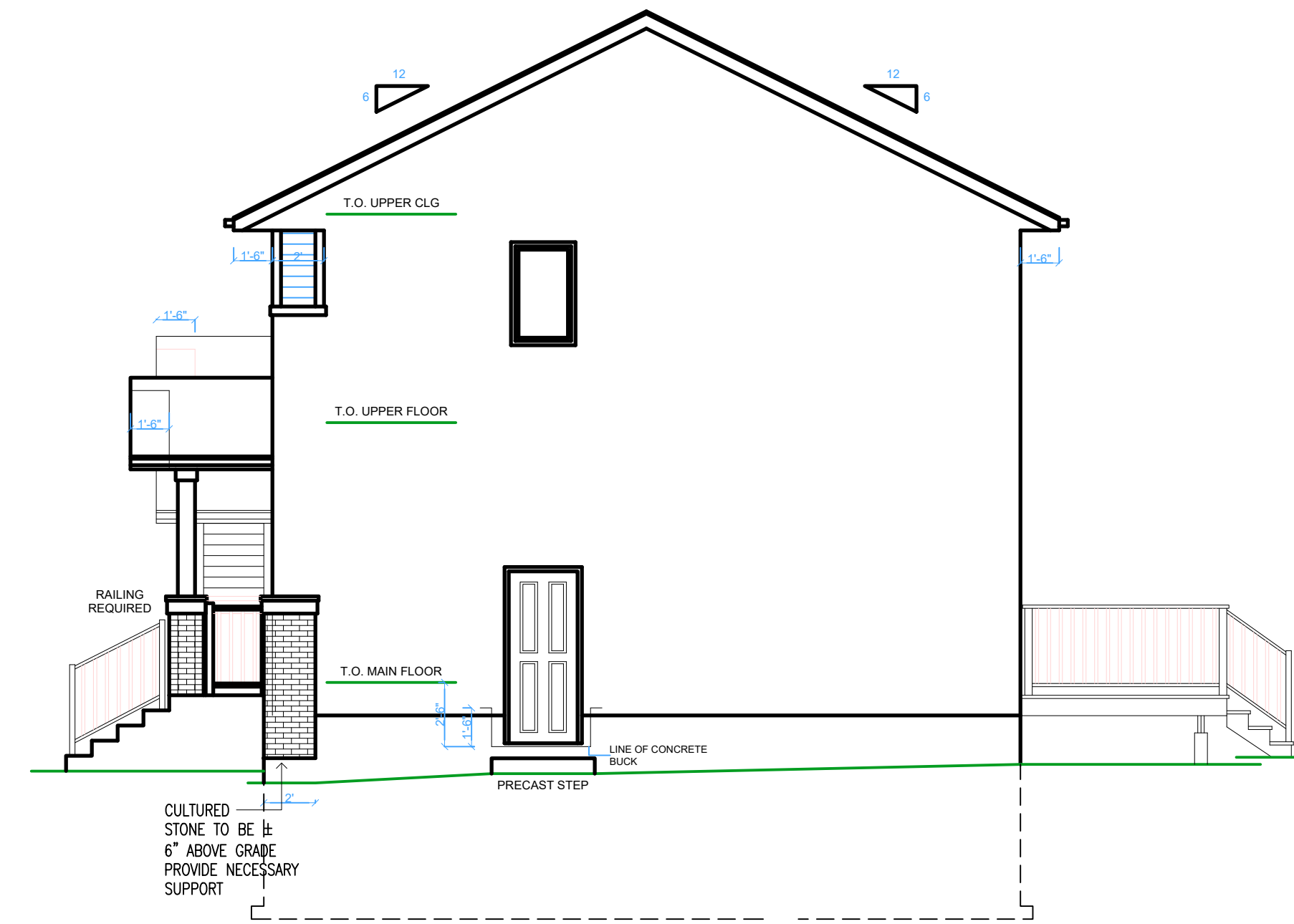
plot A 2023-70

notes



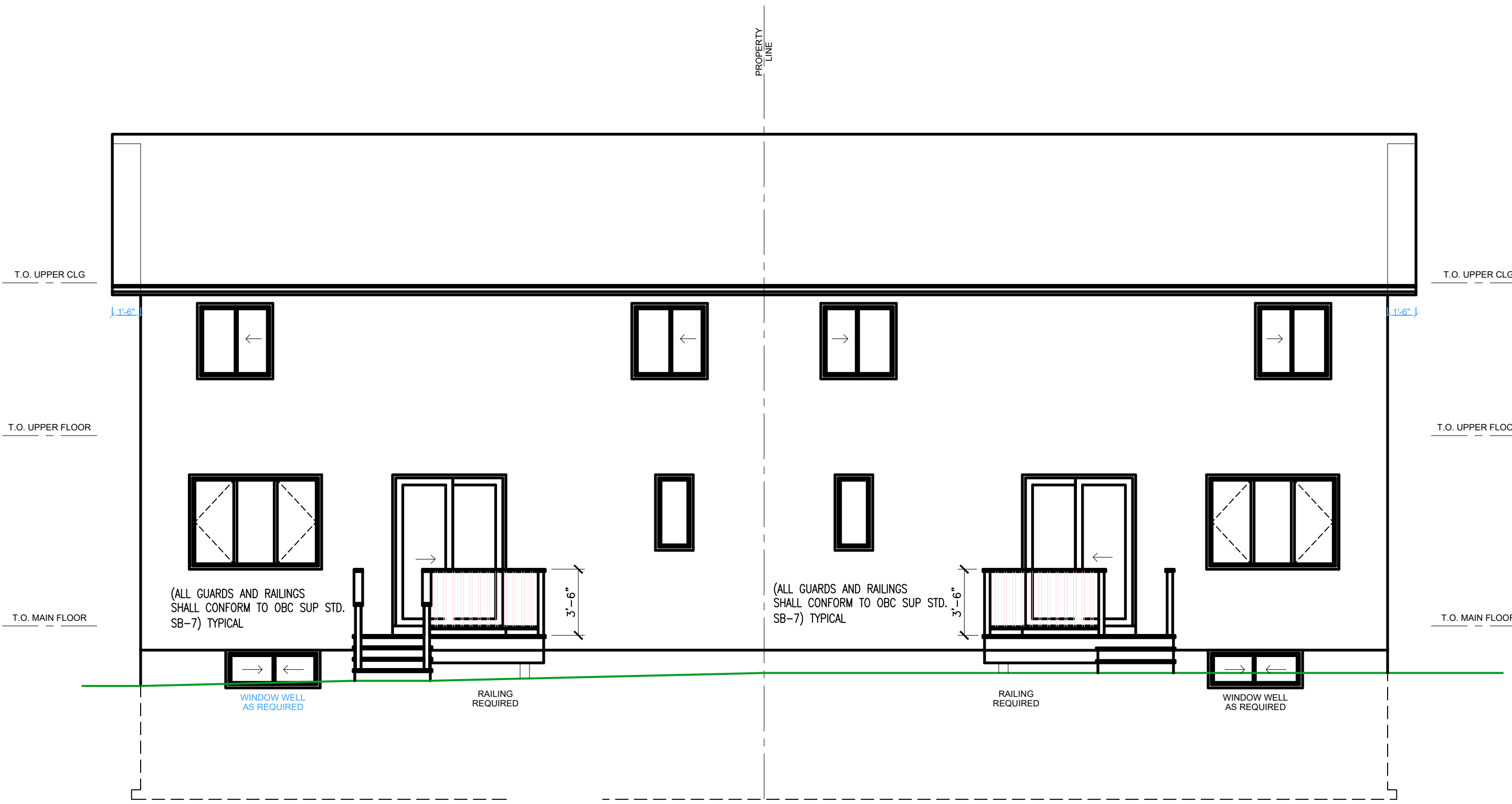
West Elevation - facing Belfast Avenue

scale 1/4" = 1'-0"



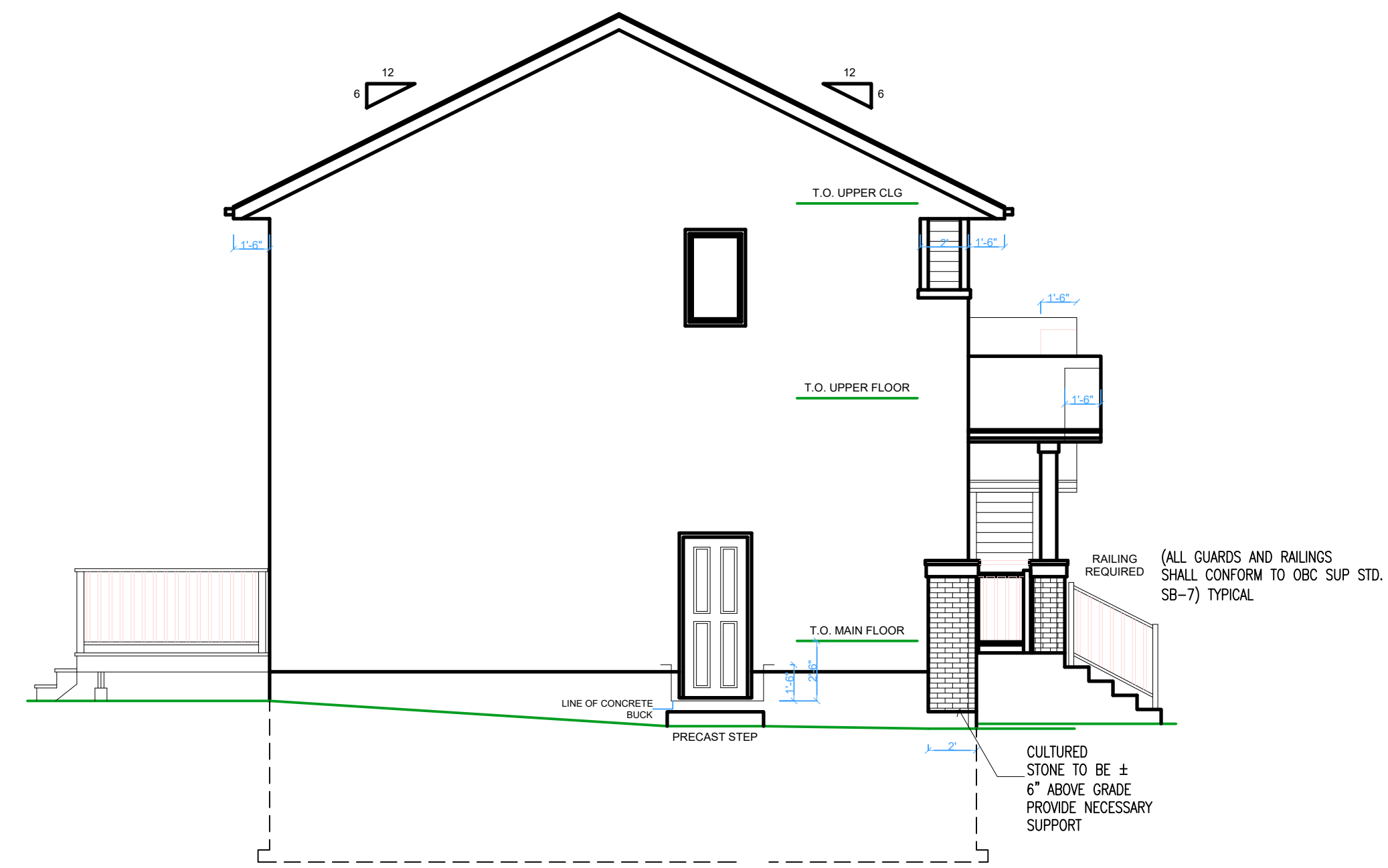
South Elevation - facing Mulhern

scale 1/4" = 1'-0"



East Elevation - facing Rear Yard

scale 1/4" = 1'-0"



North Elevation - facing Side Yard

scale 1/4" = 1'-0"

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REGISTRATION INFORMATION	
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Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Elevations

disclaimer

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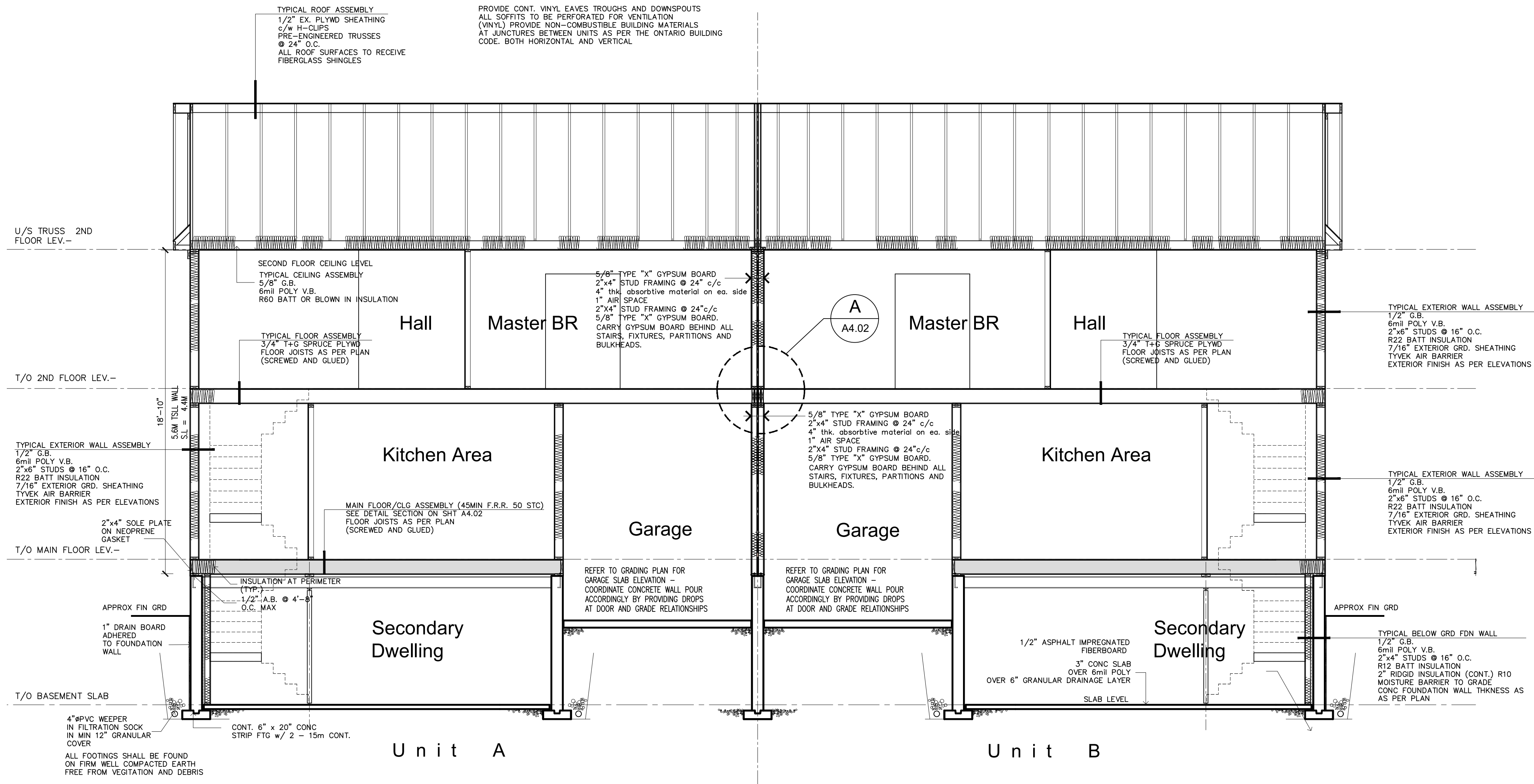
drawn drawing no.

reviewed **A3.01**

plot A 2023-70

GENERAL NOTES - ROOF-F.R.W. CONTROL
 PROVIDE EAVES PROTECTION AT ALL EAVES
 w DOW WEATHERSHIELD TO EXTEND UP ROOF SLOPE MIN
 12" INSIDE OF WALL.

PROVIDE CONT. VINYL EAVES TROUGHS AND DOWNSPOUTS
 ALL SOFFITS TO BE PERFORATED FOR VENTILATION
 (VINYL) PROVIDE NON-COMBUSTIBLE BUILDING MATERIALS
 AT JUNCTURES BETWEEN UNITS AS PER THE ONTARIO BUILDING
 CODE, BOTH HORIZONTAL AND VERTICAL.



1 Typical Building Section
 SCALE 1/4" = 1'-0"

7859 MULHERN



andrew allen hellwig | design inc
 consultant

notes



DISCLAIMER:
 DRAWINGS SHALL NOT BE SCALED
 CONTRACTOR SHALL BE RESPONSIBLE
 FOR THE ACCURACY AND COORDINATION
 ACROSS THE TRADES. DO NOT PROCEED
 WITH WORK THAT MAY BE QUESTIONED FOR
 ACCURACY, INFORM THE MAKER OF THESE
 PLANS OF ANY ERRORS INCONSISTENCIES OR
 OMISSIONS ALL WORK MUST CONFORM TO THE
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NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code	
Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Building Details

disclaimer

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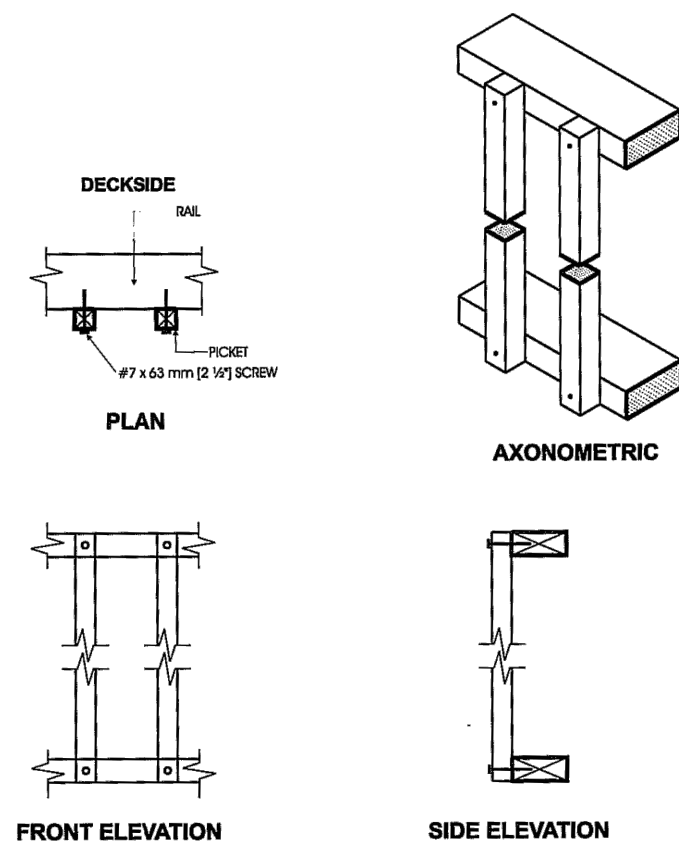
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drawn drawing no.
 reviewed **A4.01**
 plot A 2023-70



Detail EC-3
Exterior Connection Infill Picket Screwed to Rail

SB-7 • Page 21

typical guard, post rails+pickets

scale NTS

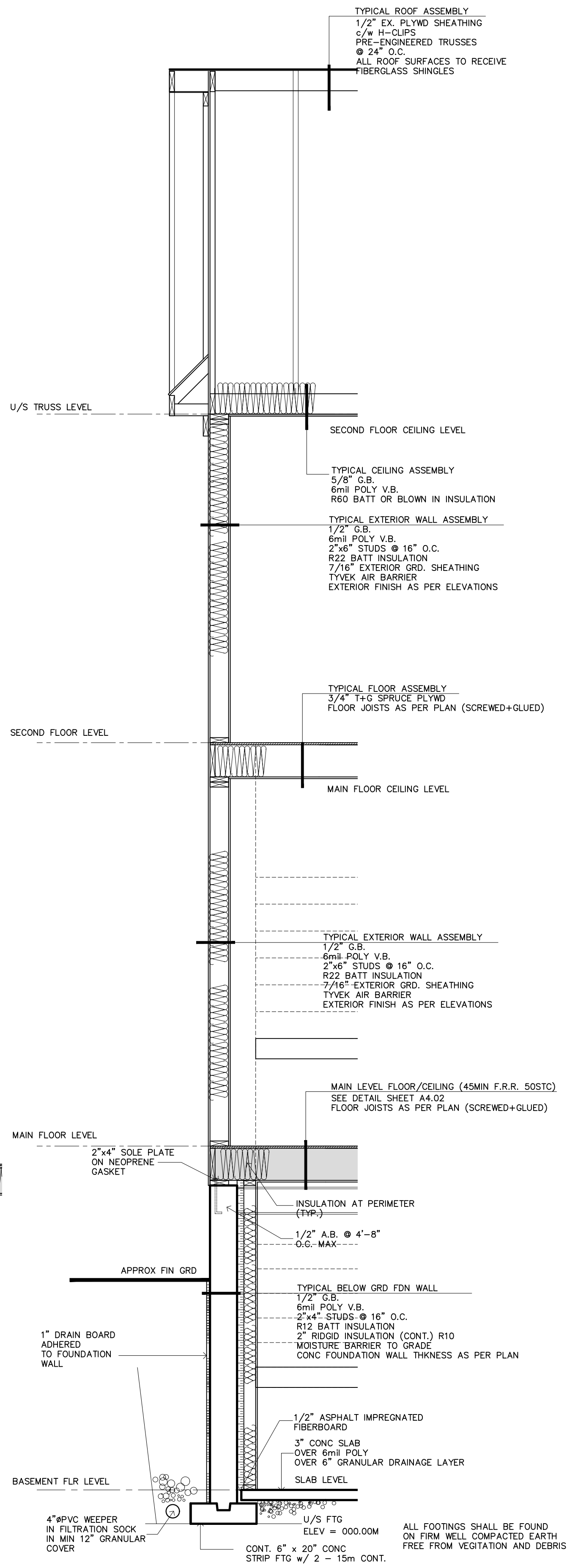
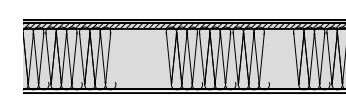
for all exterior areas indicated

Floor/Ceiling Schedule

SEPARATION REQUIREMENT BETWEEN "ADU" + PRIMARY DWELLING - SEE DESCRIPTION AND FLOOR/ASSEMBLY TYPE INDICATED IN SCHEDULE BELOW

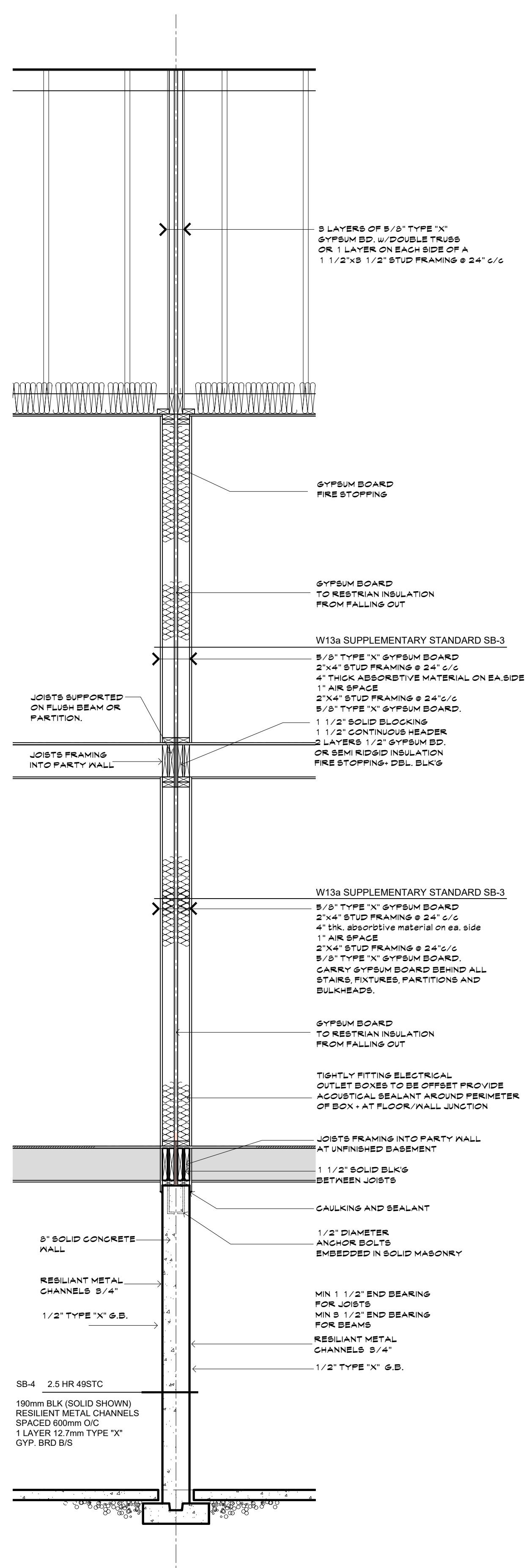
FLOOR/CEILING ASSEMBLY MIN 30MIN F.R.R.

- 1/4" FIN FLOORING (PLYWD.)
- 3/4" T+G SPRUCE PLY SUB-FLOOR
- PRE-ENGINEERED FLOOR JOISTS (12"SP) @ 16" O.C.
- SOUND ATTENUATION BATS IN CAVITY 2.8KG/M2 DENSITY
- 1 LAYER 5/8" TYPE "X" GYP. WALL BOARD



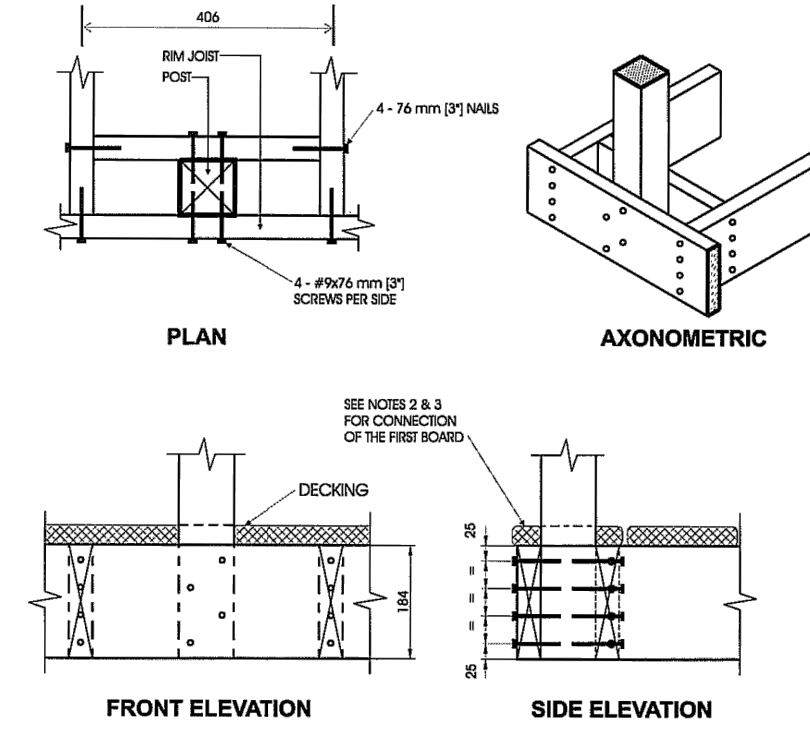
Typical Exterior Wall Section

SCALE 1/2" = 1'-0"



Typical Party Wall Section

SCALE 1/2" = 1'-0"

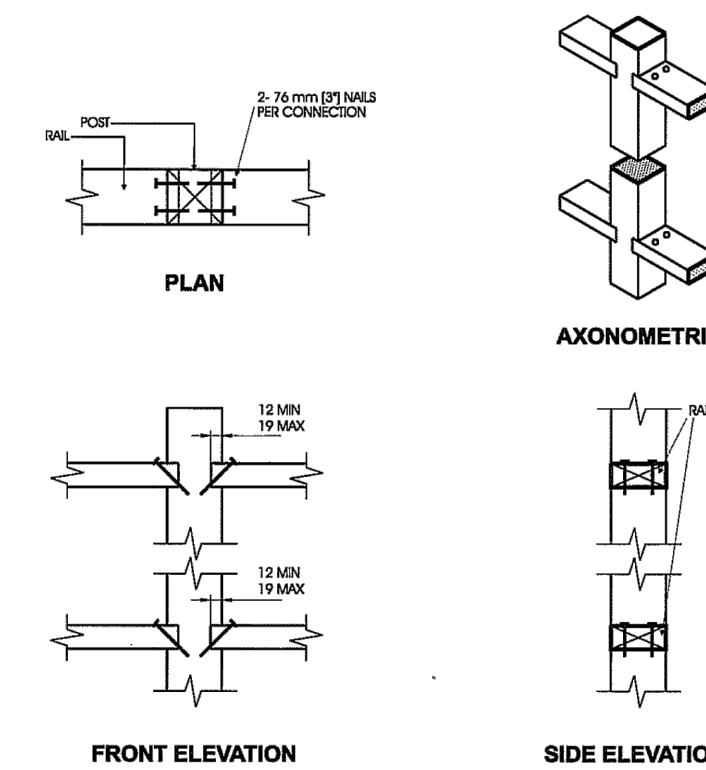


Detail EB-2
Exterior Connection Post Screwed to Rim Joist

- Notes:
- Decking is centred from the plan view and the axonometric view for clarity.
 - Fasten 25 mm x 140 mm (1 1/2" x 5 1/2") nominal outer deck board to rim joist with 63 mm (2 1/2") nails at 300 mm (12").
 - Fasten 25 mm x 140 mm (1 1/2" x 5 1/2") nominal outer deck board to floor joist with 1 - 63 mm (2 1/2") nail at each joist.
 - The post may be positioned anywhere between the joists.
 - #9 screws may be replaced by #8 screws if the maximum spacing between posts is not more than 1.20 m (3'-11").
 - Dimensions shown are in mm unless otherwise specified.

MAXIMUM SPAN OF RAIL BETWEEN POSTS	
Species	Maximum Span, m (ft-in)
Douglas Fir-Larch, Hem-Fir, Spruce-Pine-Fir	1.56 (5'-1")
Northern Species	1.20 (3'-11")
Column 1	2

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Detail EA-2
Exterior Connection Top/Bottom Rail Show Nailed to Post - 76 mm (3") Nails

- Notes:
- The maximum span is more often governed by post spacing.
 - Provide support to bottom rail at intervals not more than 2.0 m (6'-7").
 - The bottom rail may be braced as detailed in Figure 2.1.2.
 - Dimensions shown are in mm unless otherwise specified.

MAXIMUM SPAN OF RAIL BETWEEN POSTS	
Species	Maximum Span, m (ft-in)
Douglas Fir-Larch, Hem-Fir, Spruce-Pine-Fir	2.72 (8'-11")
Northern Species	2.18 (7'-2")
Column 1	2

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typical guard, post rails+pickets

scale NTS

for all exterior areas indicated



consultant

notes



DISCLAIMER:
DRAWINGS SHALL NOT BE SCALED
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PLANS OF ANY ERRORS INCONSISTENCIES OR
OMISSIONS. ALL WORK MUST CONFORM TO THE
ONTARIO BUILDING CODE LATEST EDITIONS AND
REVISIONS

QUALIFICATION INFORMATION	
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code	
ANDREW HELLOWIG	18776
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code	
Andrew Allen Hellwig Design Consultants Inc.	114357
FIRM NAME	BCIN

drawing

Building Details

disclaimer

All drawings are the sole property of Andrew Allen Hellwig Design Consultants Inc. All construction must meet or exceed all applicable current building codes including all revisions. Contractor shall be responsible for providing with work not fully checked or verified, on site to ensure intent of the drawings are fully adhered to in regards to the basic design intent.

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date of issues and revisions

A- ISSUED FOR BUILDING PERMIT 2023-08-25 AAH

drawn drawing no.

reviewed A4.02

plot A 2023-70