

(ARTISTIC EXPRESSION VIEW)

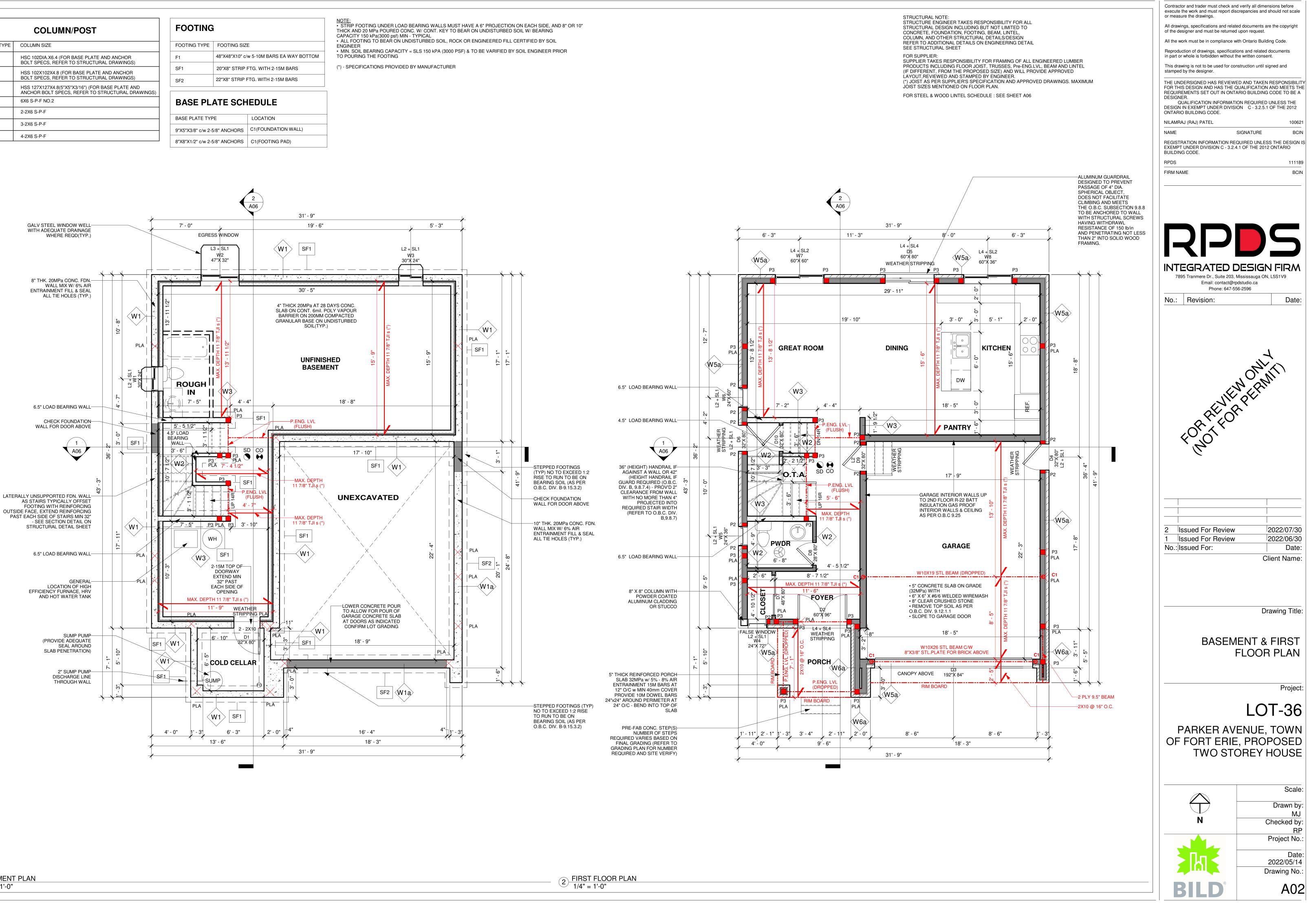
	Sheet List			
Sheet Number Sheet Name				
A00	COVER SHEET			
A01	SITE PLAN			
A02	BASEMENT & FIRST FLOOR PLAN			
A03	SECOND FLOOR & ROOF PLAN			
A04	FRONT & RIGHT SIDE ELEVATION			
A05	REAR & LEFT SIDE ELAVATION			
A06	HOUSE SECTIONS & LINTEL SCHEDULES			
A07	<b>TYPICAL WALL SECTION &amp; WALL SCHEDULES</b>			
A08	TYPICAL DETAILS			
A09	GENERAL NOTES			
A10	DOOR & WINDOW SCHEDULE			

PERFOMANCE COMPLIANCE		
	SPACE HEA	TING FUEL
	GAS	
		PROPANE
	EARTH	SOLID FU
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci)	3.52 ci (R20 ci)
BELOW GRADE SLAB ENTIRE SURFACE >600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS SLIDING GLASS DOORS (MAX U-VALUE / MIN. ER)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV. EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.80	0.80

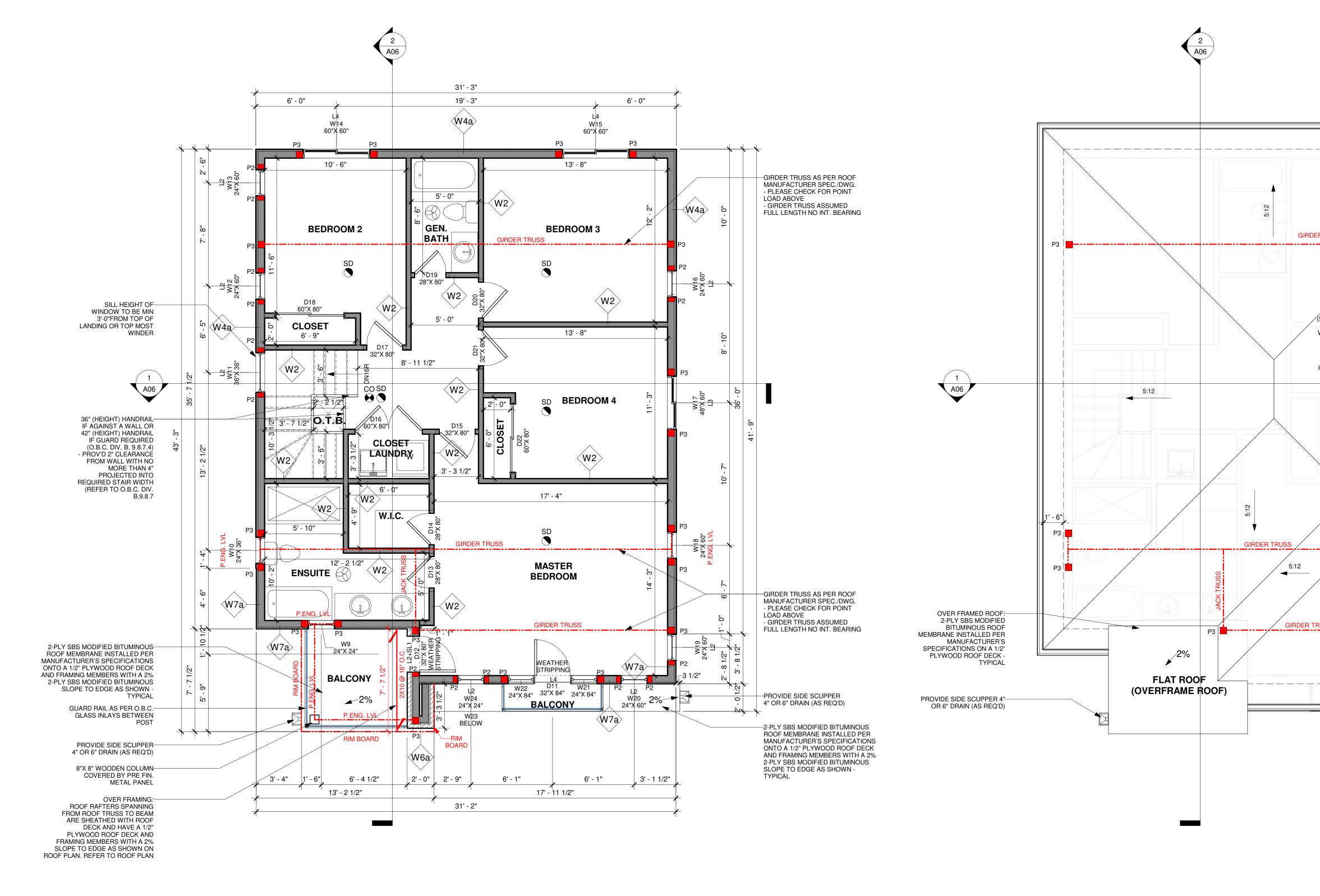
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COLUMN/POST			
COLUMN TYPE	COLUMN SIZE		
C1	HSC 102DIA.X6.4 (FOR BASE PLATE AND ANCHOR BOLT SPECS, REFER TO STRUCTURAL DRAWINGS)		
C2	HSS 102X102X4.8 (FOR BASE PLATE AND ANCHOR BOLT SPECS, REFER TO STRUCTURAL DRAWINGS)		
C3	HSS 127X127X4.8(5"X5"X3/16") (FOR BASE PLATE AND ANCHOR BOLT SPECS, REFER TO STRUCTURAL DRAWINGS)		
P1	6X6 S-P-F NO.2		
P2	2-2X6 S-P-F		
P3	3-2X6 S-P-F		
P4	4-2X6 S-P-F		

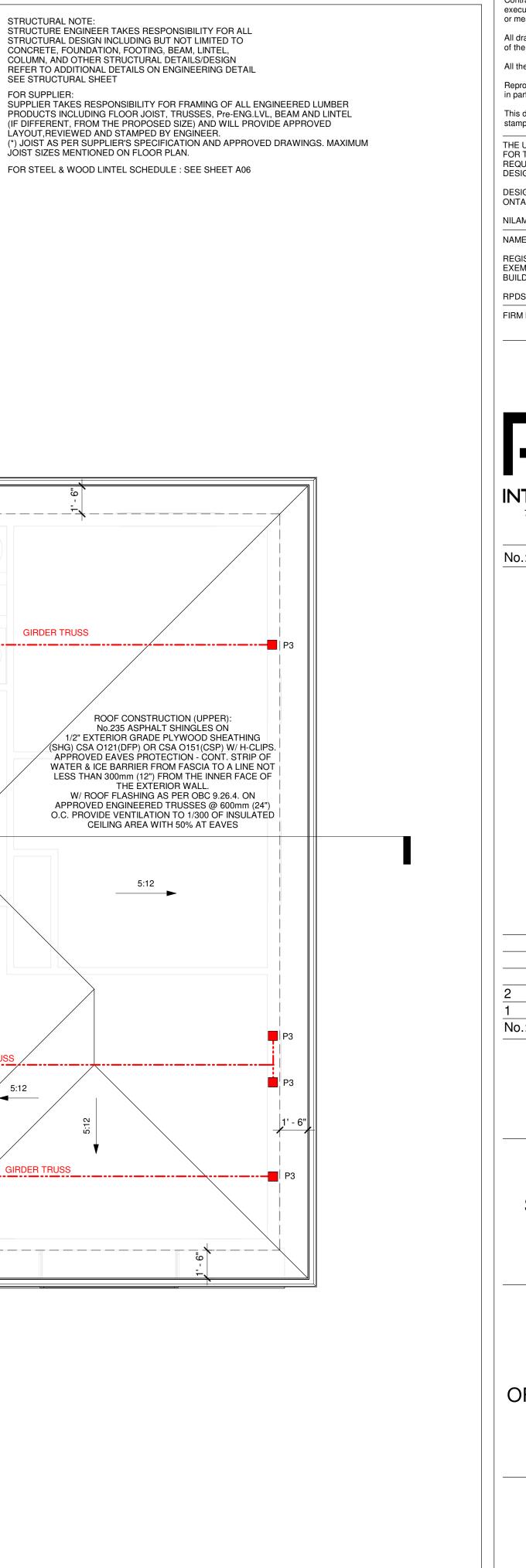
48"X48"X10" c/w 5-10M BARS EA WA



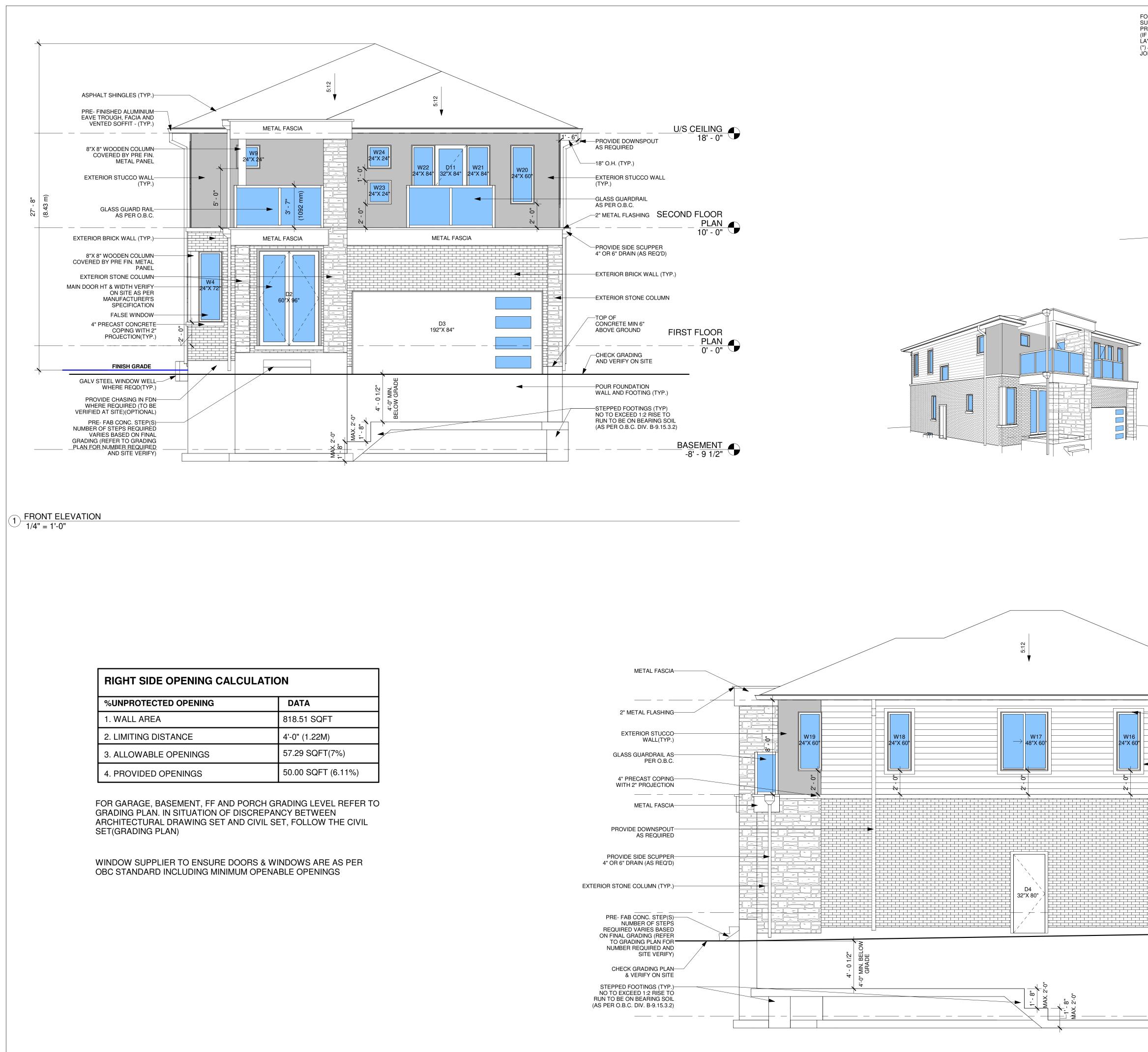
COLUMN/POST			
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C1	HSC 102DIA.X6.4 (FOR BASE PLATE AND ANCHOR BOLT SPECS, REFER TO STRUCTURAL DRAWINGS)		
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P1	6X6 S-P-F NO.2		
P2	2-2X6 S-P-F		
P3	3-2X6 S-P-F		
P4	4-2X6 S-P-F		



# 2 ROOF PLAN 1/4" = 1'-0"



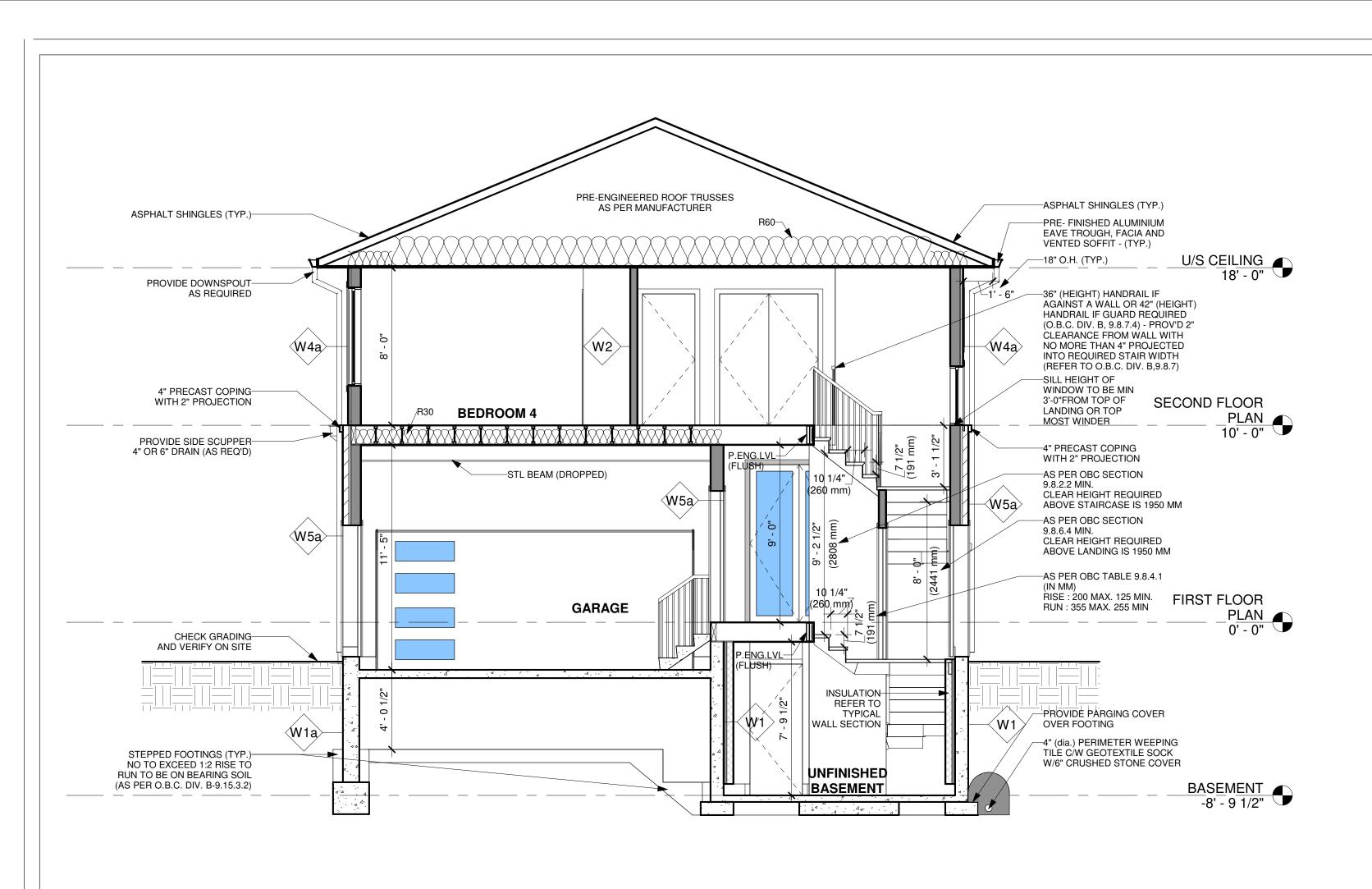
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ONTARIO BUILDING CODE. NILAMRAJ (RAJ) PATEL	10062
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION RE EXEMPT UNDER DIVISION C - 3.2. BUILDING CODE.	
RPDS	111185
FIRM NAME	BCIN
RP	DS
	DESIGN FIRM
7895 Tranmere Dr., Suite 203, Email: contact@r	Mississauga ON, L5S1V9
Phone: 647-5	56-2596
No.: Revision:	Date:
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<ul><li>2 Issued For Review</li><li>1 Issued For Review</li></ul>	2022/07/30
No.: Issued For:	Date:
	Client Name:
	Drawing Title:
SECOND FL	OOR & ROOF
	PLAN
	Project
	-
	LOT-36
PARKER AV	ENUE, TOWN
OF FORT ERIE	•
	ÓREY HOUSE
	Scale
	Drawn by MJ
Ν	Checked by
	RP Project No.
	Date
	2022/05/14
	Drawing No.
BILD	A03



2 RIGHT SIDE ELEVATION 1/4" = 1'-0"

FOR SUPPLIER: SUPPLIER TAKES RESPONSIBILITY FOR FRAMING OF ALL ENGIN PRODUCTS INCLUDING FLOOR JOIST, TRUSSES, Pre-ENG.LVL, B (IF DIFFERENT, FROM THE PROPOSED SIZE) AND WILL PROVIDE LAYOUT, REVIEWED AND STAMPED BY ENGINEER. (*) JOIST AS PER SUPPLIER'S SPECIFICATION AND APPROVED D JOIST SIZES MENTIONED ON FLOOR PLAN.	EAM AND LINTEL APPROVED	Contractor and trader must check ar execute the work and must report dis or measure the drawings. All drawings, specifications and relat of the designer and must be returned All the work must be in compliance w Reproduction of drawings, specificat in part or whole is forbidden without This drawing is not to be used for co- stamped by the designer. THE UNDERSIGNED HAS REVIEW FOR THIS DESIGN AND HAS THE OR REQUIREMENTS SET OUT IN ONT DESIGNER. QUALIFICATION INFORMAT DESIGN IN EXEMPT UNDER DIVIS ONTARIO BUILDING CODE. NILAMRAJ (RAJ) PATEL NAME REGISTRATION INFORMATION RE EXEMPT UNDER DIVISION C - 3.2. BUILDING CODE. RPDS FIRM NAME	ted documents are the copyright d upon request. with Ontario Building Code. tions and related documents the written consent. Instruction until signed and CED AND TAKEN RESPONSIBILITY QUALIFICATION AND MEETS THE ARIO BUILDING CODE TO BE A TION REQUIRED UNLESS THE ION C - 3.2.5.1 OF THE 2012 100621 SIGNATURE BCIN
		RPP INTEGRATEDI 7895 Tranmere Dr., Suite 203, Email: contact@r Phone: 647-5 No.: Revision:	Mississauga ON, L5S1V9 pdstudio.ca 56-2596 Date:
		FORDER	N PHMIT
	ASPHALT SHINGLES (TYP.) PRE- FINISHED ALUMINIUM EAVE TROUGH, FACIA AND VENTED SOFFIT - (TYP.) 	2 Issued For Review 1 Issued For Review No.:Issued For:	
	EXTERIOR SIDING WALL (TYP.) TRIM (TYP.) SECOND FLOOR <u>PLAN</u> 10' - 0"	FRONT 8	RIGHT SIDE ELEVATION
		OF FORT ERIE	LOT-36 ENUE, TOWN PROPOSED OREY HOUSE
	<ul> <li>Check Ghading PLAN</li> <li>&amp; VERIFY ON SITE</li> <li>GALV STEEL WINDOW WELL WITH ADEQUATE DRAINAGE WHERE REQD (TYP.)</li> <li>POURED FOUNDATION WALL AND FOOTING (TYP.)</li> <li>BASEMENT -8' - 9 1/2"</li> </ul>		Scale: Drawn by: MJ Checked by: RP Project No.: Date: 2022/05/14 Drawing No.:
			A04



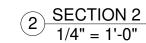


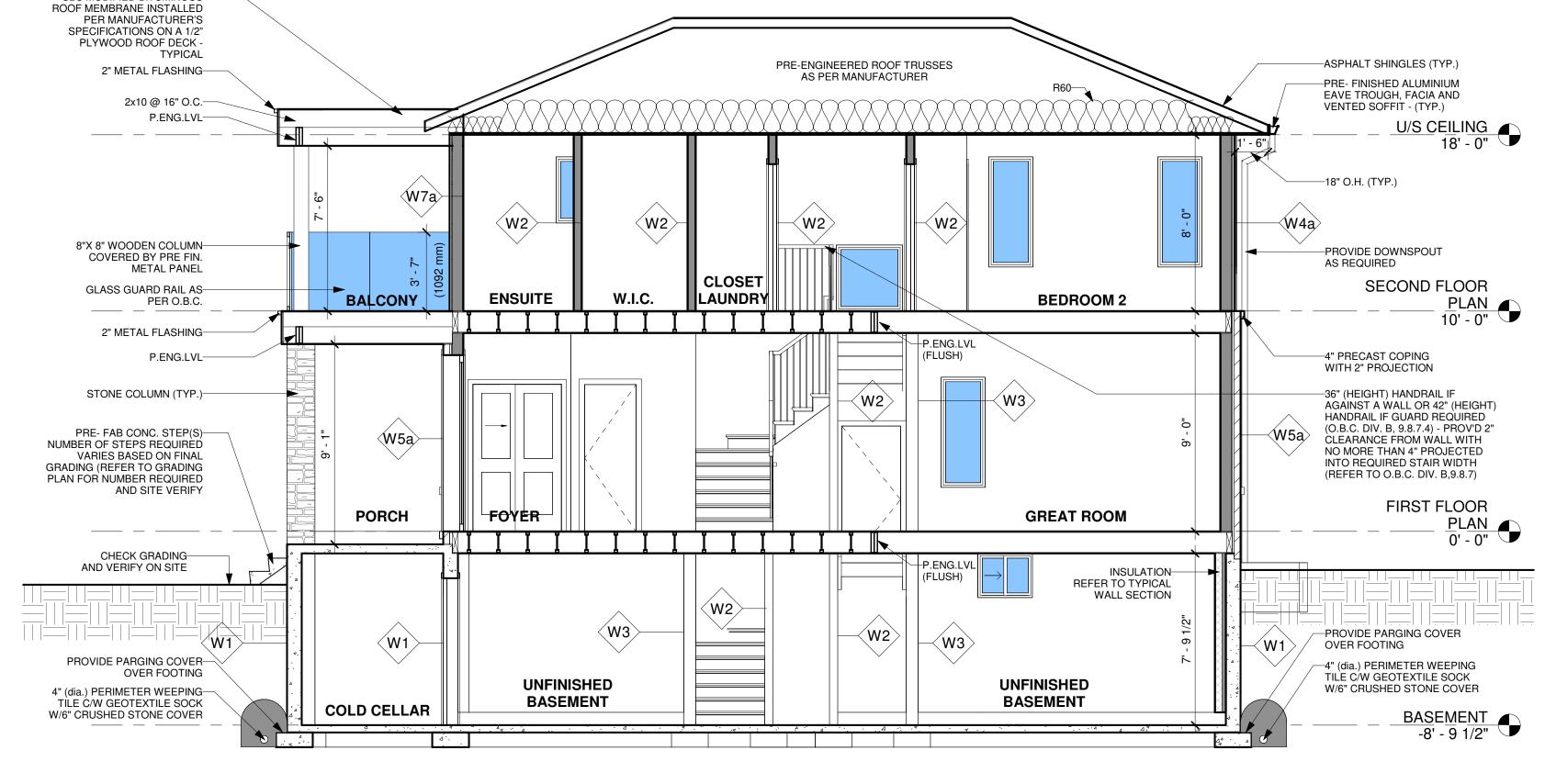
1 <u>SECTION 1</u> 1/4" = 1'-0"

STEEL BEAMS SUPPORTING MASONARY VENEER O.B.C. 9.20.5.2 (C)				
SECTION	2 3/4" BRICK	3 1/2" BRICK	4" STONE	
W 6 x 15	13'-11"	13'-5"	12'-11"	
W 6 x 20	15'-4"	14'-10"	14'-2"	
W 8 x 18	17'-3"	16'-8"	15'-10"	
W 8 x 21	18'-3"	17'-7"	16'-9"	
W 8 x 24	18'-9"	18'-0"	17'-2"	

WOOD LINTEL SCHEDULE
(O.B.C. 9.23.12.3)

		1					
				MAXIMU	JM SPAN, m	ı.	
LINTEL	LINTEL SIZE	EXTERIOR WALLS					
SUPPORTING		SPECIFIED SNOW LOAD, kPa				INTERIOR	
		1.0	1.5	2.0	2.5	3.0	WALLS
LIMITED	2 - 1 1/2 x 3 1/2 (L1-2 - 2 x 4)	1.0	1.0	2.0	2.0	0.0	4' - 2"
ATTIC	2 - 1 1/2 x 5 1/2 (L2-2 - 2 x 6)						6' - 4"
STORAGE	2 - 1 1/2 x 7 1/4 (L3-2 - 2 x 8)						7' - 9"
AND	2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10)						9' - 5"
CEILING	2 - 1 1/2 x 11 1/4 (L5-2 - 2 x 12)						11' - 0"
ROOF AND	2 - 1 1/2 x 3 1/2 (L1-2 - 2 x 4)	8' - 4"	7' - 4"	6' - 8"	6' - 2"	5' - 10"	6' - 2"
CEILING ONLY	2 - 1 1/2 x 5 1/2 (L2-2 - 2 x 6)	13' - 1"	11' - 6"	10' - 5"	9' - 9"	9' - 1"	9' - 9"
(TRIBUTARY	2 - 1 1/2 x 7 1/4 (L3-2 - 2 x 8)	17' - 4"	15' - 2"	13' - 9"	12' - 9"	12' - 0"	12' - 9"
WIDTH OF 0.6 M	2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10)	20' - 11"	18' - 11"	17' - 6"	16' - 3"	15' - 4"	16' - 3"
MAXIMUM) ROOF AND	2 - 1 1/2 x 11 1/4 (L5-2 - 2 x 12)	24' - 2"	21' - 11"	20' - 4"	19' - 3"	18' - 5"	19' - 3"
CEILING	2 - 1 1/2 x 3 1/2 (L1-2 - 2 x 4)	4' - 2"	3' - 8"	3' - 4"	3' - 1"	2' - 10"	3' - 1"
ONLY	2 - 1 1/2 x 5 1/2 (L2-2 - 2 x 6)	6' - 4"	5' - 5"	4' - 10"	4' - 5"	4' - 1"	4' - 5"
(TRIBUTARY WITH	2 - 1 1/2 x 7 1/4 (L3-2 - 2 x 8)	7' - 9"	6' - 8"	5' - 11"	5' - 5"	5' - 0"	5' - 5"
OF 4.9 M	2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10)	9' - 5"	8' - 1"	7' - 3"	6' - 7"	6' - 0"	6' - 7"
MAXIMUM)	2 - 1 1/2 x 11 1/4 (L5-2 - 2 x 12)	11' - 0"	9' - 5"	8' - 5"	7' - 8"	6' - 10"	7' - 8"
ROOF,	2 - 1 1/2 x 3 1/2 (L1-2 - 2 x 4)	3' - 5"	3' - 2"	2' - 11"	2' - 9"	2' - 7"	2' - 5"
CEILING,	2 - 1 1/2 x 5 1/2 (L2-2 - 2 x 6)	4' - 11"	4' - 6"	4' - 2"	3' - 11"	3' - 9"	3' - 4"
AND 1	2 - 1 1/2 x 7 1/4 (L3-2 - 2 x 8)	6' - 0"	5' - 6"	5' - 1"	4' - 9"	4' - 5"	3' - 11"
STOREY	2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10)	7' - 3"	6' - 8"	6' - 2"	5' - 8"	5' - 3"	4' - 9"
OTOILET	<u>2 - 1 1/2 x 11 1/4 (L5-2 - 2 x 12)</u>	8' - 6"	7' - 9"	7' - 1"	6' - 5"	5' - 11"	5' - 5"
ROOF,	2 - 1 1/2 x 3 1/2 (L1-2 - 2 x 4)	3' - 1"	2' - 11"	2' - 9"	2' - 7"	2' - 6"	2' - 1"
CEILING	$2 - 1 \frac{1}{2} \times 5 \frac{1}{2} (L2 - 2 \times 6)$	4' - 5" 5' - 4"	4' - 2" 5' - 0"	3' - 11"	3' - 9" 4' - 5"	3' - 6" 4' - 1"	2' - 11" 3' - 5"
AND 2	2 - 1 1/2 x 7 1/4 (L3-2 - 2 x 8) 2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10)	5' - 4" 6' - 6"	5' - 0" 6' - 2"	4' - 9" 5' - 8"	4" - 5" 5' - 3"	4' - 1" 4' - 11"	3' - 5" 4' - 2"
STOREYS	2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10) 2 - 1 1/2 x 11 1/4 (L5-2 - 2 x 12)	7' - 7"	6' - 11"	5 - 6 6' - 5"	5-3 6'-0"	4 - 11 5' - 7"	4 - 2 4' - 9"
	2 - 1 1/2 x 11 1/4 (L3-2 - 2 x 12) 2 - 1 1/2 x 3 1/2 (L1-2 - 2 x 4)	2' - 11"	2'-9"	2' - 8"	2'-6"	2' - 5"	4 - 9
ROOF,	$2 - 1 \frac{1}{2} \times 5 \frac{1}{2} (L^2 - 2 \times 6)$	4' - 1"	3' - 11"	3' - 9"	3' - 7"	3' - 4"	2' - 8"
CEILING	2 - 1 1/2 x 7 1/4 (L3-2 - 2 x 8)	5' - 0"	4' - 9"	4' - 5"	4' - 2"	4' - 0"	3' - 2"
AND 3	2 - 1 1/2 x 9 1/4 (L4-2 - 2 x 10)	6' - 1"	5' - 8"	5' - 4"	5' - 0"	4' - 9"	3' - 10"
STOREYS	2 - 1 1/2 x 11 1/4 (L5-2 - 2 x 12)	6' - 11"	6' - 5"	6' - 0"	5' - 9"	5' - 5"	4' - 5"





### STRUCTURAL NOTE: STRUCTURE ENGINEER TAKES RESPONSIBILITY FOR ALL STRUCTURAL DESIGN INCLUDING BUT NOT LIMITED TO CONCRETE, FOUNDATION, FOOTING, BEAM, LINTEL,

COLUMN, AND OTHER STRUCTURAL DETAILS/DESIGN REFER TO ADDITIONAL DETAILS ON ENGINEERING DETAIL SEE STRUCTURAL SHEET

FOR SUPPLIER: SUPPLIER TAKES RESPONSIBILITY FOR FRAMING OF ALL ENGINEERED LUMBER PRODUCTS INCLUDING FLOOR JOIST, TRUSSES, Pre-ENG.LVL, BEAM AND LINTEL (IF DIFFERENT, FROM THE PROPOSED SIZE) AND WILL PROVIDE APPROVED LAYOUT, REVIEWED AND STAMPED BY ENGINEER.

(\*) JOIST AS PER SUPPLIER'S SPECIFICATION AND APPROVED DRAWINGS. MAXIMUM JOIST SIZES MENTIONED ON FLOOR PLAN.

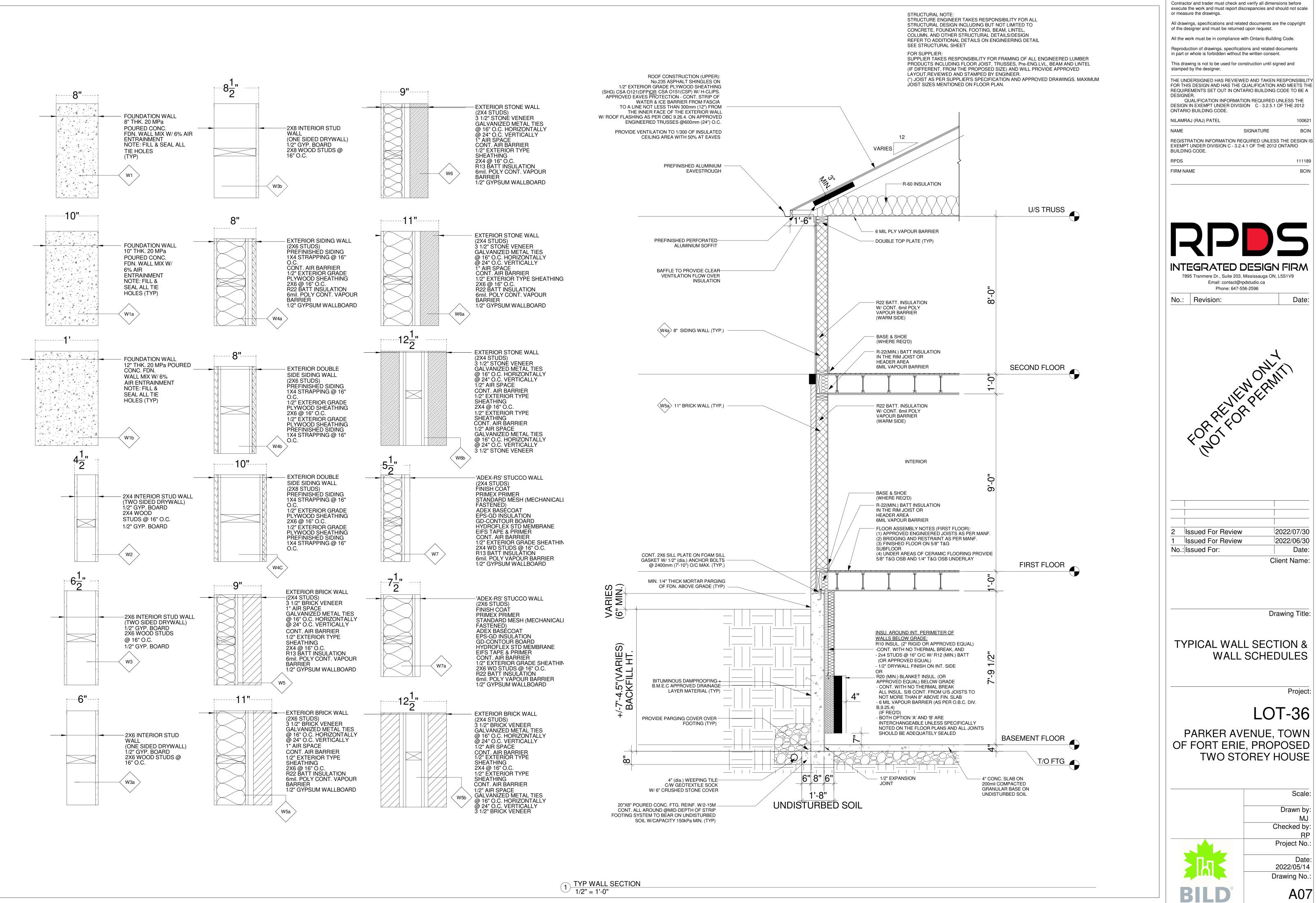
# WOOD LINTEL SCHEDULE

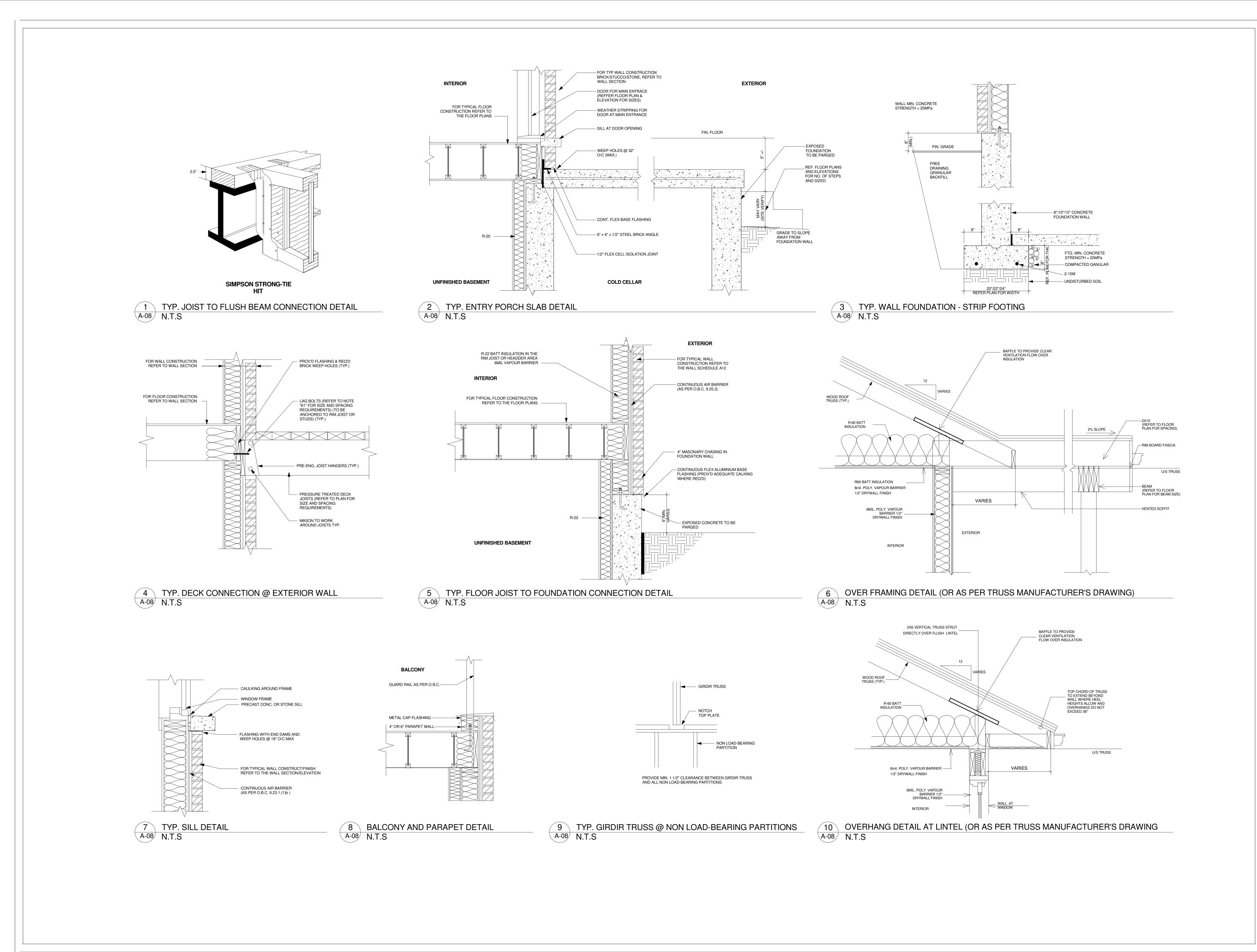
	MIN. ANGLE SIZE	
L1	2-2X4	
L2	2-2X6	
L3	2-2X8	
L4	2 - 2 X 10	
L5	2 - 2 X 12	

# STEEL ANGLE LINTEL SCHEDULE

FOR STEEL LINTEL SUFFORTING MISSON TVENEER (0.D.C. 5.20.3.2.D)					
		MAX. ALLOWABLE SPAN			
	MIN. ANGLE SIZE	FOR BRICK (2 3/4")	FOR BRICK (3 1/2")	FOR	
SL1	L-3 1/2" x 3 1/2" x 1/4"	8'-6" OR LESS	8'-1" OR LESS	7'-9" OR LESS	
SL2	L-4" x 3 1/2" x 1/4"	9'-2"	8'-9"	8'-2"	
SL3	L-47/8" x 3 1/2" x 5/16"	11'-5"	10'-10"	10'-1"	
SL4	L- 4 7/8" x 3 1/2" x 3/8"	11'-11"	11'-5"	10"-8"	
SL5	L- 4 7/8" x 3 1/2" x 1/2"	12'-7"	11'-9"	10'-11"	
SL6	L- 5 7/8" x 3 1/2" x 3/8"	13'-4"	12'-7"	<mark>11'-8"</mark>	
SL7	L- 5 7/8" x 3 1/2" x 1/2"	14'-2"	13'-5"	12'-5"	
SL8	L- 5 7/8" x 4" x 1/2"	14'-4"	13'-6"	12'-7"	
SL9	L- 7 1/8" x 4" x 3/8"	15'-0"	14'-1"	13'-1"	
SL10	L- 7 1/8" x 4" x 13 1/2"	16'-0"	15'-1"	14'-0"	

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NILAMRAJ (RAJ) PATEL	
NAME REGISTRATION INFORMATION RI	
EXEMPT UNDER DIVISION C - 3.2 BUILDING CODE.	.4.1 OF THE 2012 ONTARIO
RPDS FIRM NAME	111189 
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	MJ Checked by
	RP
	Project No.
	Date 2022/05/14
	Drawing No.
	A08

### **EXCAVATION AND BACKFILL**

EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO AVOID ANY DAMAGE TO EXISTING STRUCTURES ARROUND. ADJACENT PROPERTY AND UTILITIES.

THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

- IF TERMITES ARE KNOWN TO EXIST. ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11 3/4" IN EXCAVATED ABEAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NOT LESS THAN 17 3/4"

BACKFILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9 7/8" IN DIAMETER

DAMPPROOFING AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATIONS WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMPPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.

MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 1/4" OF MORTAR COVED OVER THE FOOTING PRIOR TO DAMPPROOFING.

-4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.

WINDOW WELLS SHALL BE DRAINED TO THE FOOTING. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY THE WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.

- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.

THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FOUNDATION WALLS

- TO BE POURED CONCRETE, UNIT MASONRY OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS)

DAMPPROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.

- FOUNDATION WALL TO EXTEND MINIMUM 6" ABOVE FINISHED GRADE.

A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF:

- MIN. 3/4" MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 3.6LB/SF - MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, OR

- AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE

FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

### FOOTINGS

MINIMUM 20 MPa POURED CONCRETE.

MINIMUM 48" BELOW FINISHED GRADE

FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 75

INCREASE FOOTING WIDTH BY 2 5/8" FOR EACH STOREY OF BRICK VENEER SUPPORTED, AND BY 5 1/8" FOR EACH STOREY OF MASONRY.

THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN IT THICKNESS.

STEP FOOTINGS

VERTICAL BISE 23 5/8" MAX, FOR FIRM SOILS

15 3/4" MAX. FOR SAND OR GRAVEL

HORIZONTAL RUN 23 5/8" MIN.

### CONCRETE FLOOR SLABS

GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 4650PSI (32MPa) CONCRETE WITH 5-8% AIR ENTRAINMENT C/W 6X6 WELDED WIRFMASH

- MINIMUM 5" THICK, PLACED ON A MINIMUM 4" OF COARSE, CLEAN, GRANULAR MATERIAL.

ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

MASONRY VENEER

MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" THICK IF JOINTS ARE RAKED.

MINIMUM 1" AIR SPACE TO SHEATHING.

PROVIDE WEEP HOLES @ 31 1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.

DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20mil. POLY FLASHING EXTENDING MINIMUM 5 7/8" UP BEHIND THE SHEATHING

VENEER TIES MINIMUM 0.030" THICK X 7/8" WIDE CORROSION RESISTANT STRAPS SPACED @ 23 5/8" VERTICALLY AND 15 3/4" VERTICALLY.

FASTEN TIES WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1 3/16" INTO STUDS.

### MASONRY WALLS

- WHERE CONSTRUCTED OF 3 1/2" BRICK, WALL SHALL BE BONDED WITH HEADER COURSE EVERY 6TH COURSE. PROVIDE 2" SOLID MASONRY OR CONTINUOUS 1 1/2" PLATE

UNDER ALL ROOF AND FLOOR FRAMING MEMBERS. - PROVIDE 7 1/2" SOLID MASONRY UNDER BEAMS AND COLUMNS.

- MASONRY WALLS TO BE TIED TO EACH TIER OF JOISTS WITH 1 9/16" X 3/16" CORROSION RESISTANT STEEL STRAPS, KEYED MINIMUM 4" INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 6'-7' O.C.

INSIDE BACK OF WALL TO BE PARGED AND COVERED WITH No.15 BREATHER-TYPE ASPHALT PAPER.

- FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT. TIE MINIMUM 3 1/2" BRICK TO MINIMUM 3 1/2" BACK-UP BLOCK WITH CORBOSION RESISTANT TIES AT LEAST 0.028in2 IN CROSS SECTION AREA, SPACED 7 7/8" VERTICALLY AND 2'-11" HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 5 7/8" END BEARING.

WOOD FRAME CONSTRUCTION

- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1&2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.

- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION. - WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6mil. POLYETHYLENE.

### WALLS

- EXTERIOR WALLS SHALL CONSIST OF:

- CLADDING - CONT. AIR BARRIER - 7/16" EXTERIOR GRADE SHEATHING - 2X6 STUDS @ 16 O.C.
- 2X6 BOTTOM PLATE AND DOUBLE 2X6 TOP PLATE INTERIOR LOADBEARING WALLS SHALL CONSIST OF:
- 2X4 STUDS @ 16" O.C - 2X4 BOTTOM PLATE AND DOUBLE 2X4 TOP PLATE 2X4 MID-GIRTS IF NOT SHEATHED 1/2" GYPSUM WALLBOARD

### FLOORS

- SEE FLOOR PLANS FOR FLOOR JOIST SIZE AND SPACING. JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING.

JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'-10" O.C.

HEADER JOISTS BETWEEN 3'-11" AND 10'-6" IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 10'-6" SHALL BE SIZED BY CALCULATIONS.

TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2'-7" AND 6'-7". TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 6'-7".

2X2 CROSS BRIDGING REQUIRED NOT MORE THAN 6'-11" FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.

JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS, AND HEADERS.

JOISTS LOCATED UNDER PARALLEL NON-LOADBEARING PARTITIONS SHALL BE DOUBLED.

### ROOFING

FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 1/2" INTO ROOF SHEATHING.

- EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS.

EAVES PROTECTION SHALL EXTEND 2'-6" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDING.

OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MINIMUM 23 5/8" WIDE.

FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS.

SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" SHEET LEAD, 0.013" GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019" ALUMINUM.

**INSULATION & WEATHERPROOFING** 

- AS PER OBC SB-12 - PACKAGE A1 CEILING WITH ATTIC R60 ROOF WITHOUT ATTIC R31

EXTERIOR WALL R22 FOUNDATION WALLR20 EXPOSED FLOORR31

SLABS ON GRADE R10 (UNHEATED) R 10 (HEATED)

SUPPLY DUCTS IN UNHEATED SPACESR12

INSULATION SHALL BE PROTECTED WITH GYPSUM WALLBOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6mil. POLY IS SUFFICIENT FOR FIBREGLASS TYPE INSULATIONS.

DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

EXTERIOR WALLS. CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 3.8 SF AND NO DIMENSION LESS THAN 15", WHICH IS OPERABLE FROM THE INSIDE WITHOUT TOOLS.

FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK. - THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR

VIEWER, TRANSPLANT GLAZING OR A SIDELIGHT.

COLUMNS, BEAMS & LINTELS

- STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.

- STEEL COLUMNS TO HAVE A MINIMUM OUTSIDE DIAMETER OF

- WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3 1/2" X 3 1/2" IN ALL OTHER CASES EITHER 5 1/2" X 5 1/2" OR 7 1/4" ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE

SUPPORTED MEMBER. - MASONRY COLUMNS SHALL BE MINIMUM OF 1 3/8" X 11 3/8" OR 9 1/2" X 15".

- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS REFER TO DATA SHEET BY LVL.

SMOKE AND CARBON MONOXIDE DETECTORS/ALARMS AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 2'-11" OR MORE ABOVE AN ADJACENT LEVEL.

- SMOKE ALARMS SHALL BE INTERCONNECTED IN ELECTRICAL FLOOR. SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS OF NFPA 72 "NATIONAL FIRE ALARM AND SIGNALLING CODE"

A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON OR NEAR THE CEILING IN EVERY ROOM CONTAINING A SOLID FUEL BURNING FIREPLACES OR STOVE.

GARAGE GASPROOFING

- THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES. - ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED

ROOF & CEILINGS

- SEE DRAWING A-03 FOR RAFTER, ROOF JOIST AND CEILING JOIST SIZE AND REQUIREMENTS.

RAFTERS. BRACE AT MID SPAN IF COLLAR EXCEEDS 7'-10" IN LENGTH.

HEIGHT

STAIRS

THAN 1980 mm

REQUIRE FOUNDATIONS.

# - EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7"

- MINIMUM 3 1/2" END BEARING FOR WOOD AND STEEL BEAMS, WITH 7 7/8" SOLID MASONRY BENEATH THE BEAM.

3 1/2" AND MINIMUM WALL THICKNESS OF 1/4".

## CIRCUIT WITH BATTERY BACKUP, AND LOCATED SUCH THAT ONE IS WITHIN 16'-5" OF EVERY BEDROOM DOOR, IN EVERY BEDROOM, AND NO MORE THAN 49'-3" TRAVEL DISTANCE FROM ANY POINT ON A

- DOORS BETWEEN DWELLING AND ATTACHED GARAGE MAY

### NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER.

- HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON

# - 2X4 COLLAR TIES @ RAFTER SPACING WITH 1X4 CONTINUOUS - SEE DRAWING A-03 FOR ROOF SHEATHING REQUIREMENTS.

ACCESS TO ATTICS AND CRAWL SPACES

### ACCESS HATCH MINIMUM 19 3/4" X 2'-4" TO BE PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108 SF OR MORE IN AREA AND MORE THAN 23 5/8" IN

STAIRS		
- MINIMUM RISE - MINIMUM RUN - MINIMUM HEADROOM - MINIMUM WIDTH	125 MM 255 MM 1950 MM 860 MM	(OBC TABLE 9.8.4.1)
a) IS NOT LESS THAN 15 b) COMPLIES WITH THE SPECIFIED IN TABLE 9.8	LL HAVE A RUN THAT 50 MM AT THE NARROW E DIMENSIONS FOR RECTA 3.4.1. WHEN MEASURED A E OF THE INSIDE HANDRA	ND OF THE TREAD, & NGULAR TREADS T A POINT 300 MM
TURN THROUGH AN AN WITH NO LESS THAN 30	A POINT IN STAIRS MUST GLE OF NO MORE THAN 9 (deg.) OR MORE THAN 45 ERS MUST BE SEPARATEI E STAIR.	(deg.) PER
WHICH THEY OCCUR, AI	S THE WIDTH OF THE STA ND S THE WIDTH OF THE STA	
- THE CLEAR HEIGHT O' LANDINGS SHALL BE NO		(OBC 9.8.6.4)

### STEPS IN SHALL BE NOT LESS THAN 1950 mm (OBC 9.8.2.2) STEPS IN SPIRAL STAIRS SHALL BE NOT LESS (OBC 9.8.4.5A)

- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS

HANDRAILS AND GUARDS - A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE ADJACENT LEVEL.

INTERIOR AND EXTERIOR GUARDS MIN. 2'-11 1/2" HIGH. EXTERIOR GUARDS SHALL BE 3'-6 1/8" HIGH WHERE HEIGHT ABOVE ADJACENT SURFACES EXCEEDS 5'-11"

### GUARDS SHALL HAVE NO OPENINGS GREATER THAN 4" AND NO MEMBER BETWEEN 4" AND 2'-11 1/2" THAT WILL FACILITATE CLIMBING

# PLUMBING - SEE FLOOR PLANS

 EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT

AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES. IT SHALL BE CONNECTED TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL.

# NATURAL VENTILATION

### - EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF INSULATED AREA.

INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF INSULATED AREA.

ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.

UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 SF OF VENTILATION FOR EACH 538 SF. MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL

VENTILATION IS NOT PROVIDED, ARE: BATHROOMS 0.97 SF OTHER ROOMS 3 SF

UNFINISHED BASEMENTS 0.2% OF FLOOR AREA

# EXTERIOR WALLS

- NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 3'-11" FROM PROPERTY LINES.

### 5/8" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-11" FROM

PROPERTY LINES. NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 23 5/8" FROM PROPERTY LINES.

# CERAMIC TILE

WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 1/2" THICK & REINFORCED WITH GAI VANIZED DIAMOND MESH LATH APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS OR CROSS BRIDGING.

# **ELECTRICAL**

- AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH

- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE

PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.

- BASEMENTS REQUIRE A LIGHT FOR EACH 323 SF, CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

# MECHANICAL VENTILATION

A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF: - 10 CFM EACH FOR BASEMENT AND MASTER BEDROOM - 5 CFM FOR EACH OTHER ROOM

A PRINCIPLE DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.

SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT

LESS THAN THE TOTAL REQUIRE CAPACITY. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU

OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

# FASTENERS FOR SHEATHING AND SUBFLOORING

O.B.C. 9.23.3.5 

	MINIMUM LENGTH FOR FASTENERS, in				MINIMUM NUMBER OR	
ELEMENT	COMMON OR SPIRAL NAILS	RING THREAD NAILS OR SCREWS	ROOFING NAILS	STAPLES	MAXIMUM SPACING OF FASTENERS	
OARD LUMBER 7 1/4" OR LESS WIDE	2"	1 3/4"	N/A	2"	2 PER SUPPORT	
OARD LUMBER MORE THAN 7 1/4" WIDE	2"	1 3/4"	N/A	2"	2 PER SUPPORT	
IBREBOARD SHEATHING UP TO 1/2" HICK	N/A	N/A	1 3/4"	1 1/8"		
YPSUM SHEATHING UP TO 1/2" THICK	N/A	N/A	1 3/4"	N/A	5 7/8" O/C ALONG EDGES	
LYWOOD, OSB OR WAFERBOARD UP TO /8" THICK	2"	1 3/4"	N/A	1 1/2"	AND 11 3/4" O/C ALONG INTERMEDIATE	
LYWOOD, OSB OR WAFERBOARD FROM /8" TO 13/16" THICK	2"	1 3/4"	N/A	2"	SUPPORTS	
LYWOOD, OSB, OR WAFERBOARD VER 13/16" THICK	2 1/4"	2"	N/A	N/A		

# **DRAWING NOTES**

1. FINISHED FLOOR ELEVATION 0'-0" SHOWN ON ARCHITECTURAL DRAWINGS REFERS TO TOP OF PLYWOOD SUBFLOORING, AND REFERENCE SURVEYOR OF RECORD DOCUMENTS FOR ELEVATION ABOVE SEA LEVEL.

CONTRACTOR'S EXPENSE. 4. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE.

- 5. FIRE DEPARTMENT ACCESS AND WATER TO SITE SHALL BE MAINTAINED DURING CONSTRUCTION.
- 7. GLAZING IN DOORS, ADJACENT TO DOORS, AND CLOSER THAN 18" TO FINISH FLOOR SHALL BE TEMPERED.
- 8. THE CONTRACTOR SHALL PROVIDE ALL WORK NECESSARY TO COMPLETE A WEATHER TIGHT, FINISHED PRODUCT.

9. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. THROUGHOUT CONSTRUCTION.

11. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BEFORE STARTING WORK. 12. THE STARTING OF WORK BY ANY CONTRACTOR OR SUB-CONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY. 13. ALL COMPONENTS, EQUIPMENT, PRODUCTS SHALL BE INSTALLED PER LICENSED DESIGNER AND MANUFACTURERS PRINTED INSTRUCTIONS. 14. AT THE JUNCTURE OF ALL DISSIMILAR MATERIALS, PROVIDE PROTECTIVE SEALANT TO COATINGS AS APPLICABLE PER PLANS AND SPECS. 15. PROVIDE ALL FIRE BLOCKING, FIRE STOPS AND DRAFT STOPS IN FLOORS, WALLS, PLENUMS AND ATTICS AS REQUIRED BY CODE. 16. ANY CHANGE IN ALL PLANS OR SPECS MUST BE FIRST APPROVED BY LICENSED DESIGNER IN WRITING. 17. DOORS AND WINDOWS ARE TO COMPLY WITH "RESISTANCE TO FORCED ENTRY" REQUIREMENTS - OBC 9.6.6. 18. LIGHTING AND ELECTRICAL FACILITIES - OBC 9.34.

19. GRAB BAR REINFORCEMENT & GRAB BAR INSTALLATION SPECIFCATIONS SHALL BE AS PER OBC 3.8.38.

	-NFHB	NON-FREEZE HOSE BIB
$\bigotimes$		EXHAUST FAN
FD	FD	FLOOR DRAIN
	SD	SMOKE DETECTOR (INTERCONNECTED)
	СО	CARBON MONOXIDE DETECTOR (INTERCONNECTED)
	SB	SOLID BEARING
х	PLA	POINT LOAD ABOVE

ACRONYMS				
A B	ANCHOR BOLT			
AFF	ABOVE FINISHED FLOOR			
BRG. PL	BEARING PLATE			
DJ	DOUBLE JOIST			
EST	ESTIMATED			
E.I.F.S	EXTERIOR INSULATION FINISH SYSTEM			
FDN	FOUNDATION			
FD	FLOOR DRAIN			
FTG	FOOTING			
GT	GIRDER TREATED LUMBER			
HRV	HEAT RETURN VENTILATION UNIT			
HWT	HOT WATER TANK			
LVL	LAMINATED VENEER LUMBER			
ОН	OVERHEAD			
PLA	POINT LOAD ABOVE			
PT	PRESSURE TREATED LUMBER			
PWDR	POWDER ROOM			
REQ'D	REQUIRED			
RO	ROUGH OPENING			
RT	ROOF TRUSS			
SPEC.	SPECIFICATIONS			
TJ	TRIPLE JOIST			
TYP	TYPICAL			
T/O	TOP OF			
U/S	UNDER SIDE			
WD	WOOD			
W.I.C	WALK IN CLOSET			
011				

# ANCHOR BOLT SPACING

OVER HANG

O.H

O.B.C. TABLE 9.20.17.5				
MAX CLEAR FLOOR SPAN	STAGGERED 1/2" ANCHOR BOLTS	STAGGERED 5/8" ANCHOR BOLTS		
8'-0"	18"	20"		
9'-10"	9'-10" 16"			
13'-1.5"	12"	16"		
16'-4"	11"	13"		

2. WHEN REFERENCE IS MADE TO A PARTICULAR MANUFACTURED SYSTEM, ALL PARTS AND MATERIALS APPLICABLE SHALL BE SUPPLIED AND INSTALLED.

3. IF THE CONTRACTOR OBSERVES ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, HE SHALL PROMPTLY NOTIFY THE LICENSED DESIGNER. THE CONTRACTOR PROCEEDS WITH WORK AFFECTED BY SUCH ERRORS, DISCREPANCIES, OR OMISSIONS WITHOUT RECEIVING CLARIFICATION. HE DOES SO AT HIS OWN SUCH CIRCUMSTANCES MADE BY THE CONTRACTOR, PRIOR TO APPROVAL BY RISK. ANY ADJUSTMENTS INVOLVING THE LICENSED DESIGNER, SHALL BE AT THE CONTRACTOR'S RISK AND ANY COMPLICATIONS OR DISPUTES ARISING THEREFROM SHALL BE AT THE

6. MAINTAIN MINIMUM 6" VERTICAL DISTANCE BETWEEN FINISH FLOOR AND ADJACENT GRADES, SLOPE MIN. 2%.

10. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE

	<b>OR FRAMI</b> I C. 9.23.3.4	
CONSTRUCTION DETAIL	MINIMUM LENGTH OF NAILS, in	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
FLOOR JOISTS TO PLATE - TOE NAIL	3 1/4"	2
WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	2 1/4"	2
CROSS BRIDGING TO JOISTS	2 1/4"	2 AT EACH END
DOUBLE HEADER OR TRIMMER JOISTS	3"	11 3/4" O/C
FLOOR JOIST TO STUD (BALLOON CONSTRUCTION)	3"	2
LEDGER STRIP TO WOOD BEAM	3 1/4"	2 PER JOIST
JOIST TO JOIST SPLICE (SEE ALSO TABLE 9.23.13.8)	3"	2 AT EACH END
HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER	4"	3
TAIL JOIST TO ADJACENT HEADER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
EACH HEADER JOIST TO ADJACENT TRIMMER	4 3 1/4"	5
JOIST (END NAILED) AROUND OPENINGS	4"	3
STUD TO WALL PLATE (EACH END) TOE NAIL OR END NAIL	2 1/2" 3 1/4"	4 2
DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3"	30" O/C
DOUBLED TOP WALL PLATES	3"	23 5/8" O/C
BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)	3 1/4"	15 3/4" O/C
INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4"	23 5/8" O/C
HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS - EACH END	3 1/4"	2
LINTELS TO STUDS	3 1/4"	2 AT EACH END
CEILING JOIST TO PLATE - TOE NAIL EACH END	3 1/4"	2
ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE - TOE NAIL	3 1/4"	3
RAFTER PLATE TO EACH CEILING JOIST	4"	2
RAFTER TO JOIST (WITH RIDGE SUPPORTED)	3"	3
RAFTER TO JOIST (WITH RIDGE UNSUPPORTED)	3"	SEE O.B.C. TABLE 9.23.13
GUSSET PLATE TO EACH RAFTER AT PEAK	2 1/4"	4
RAFTER AT RIDGE BOARD - TOE NAIL - END NAIL	3 1/4"	3
COLLAR TIE TO RAFTER - EACH END	3"	3
COLLAR TIE LATERAL SUPPORT TO EACH COLLAR TIE	2 1/4"	2
JACK RAFTER TO HIP OR VALLEY RAFTER	3 1/4"	2
ROOF STRUT TO RAFTER	3"	3
ROOF STRUT TO LOADBEARING WALL - TOE NAIL	3 1/4"	2
2" x 6" OR LESS PLANK DECKING TO SUPPORT	3 1/4"	2
PLANK DECKING WIDER THAN 2" x 6" TO SUPPORT	3 1/4"	3
2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
2" EDGE LAID PLANK TO EACHOTHER	3"	17 3/4" O/C

Contractor and trader must check and execute the work and must report disc or measure the drawings.	verify all dimensions before repancies and should not scale
All drawings, specifications and relate of the designer and must be returned i	
All the work must be in compliance wit Reproduction of drawings, specificatio	ins and related documents
in part or whole is forbidden without the This drawing is not to be used for cons stamped by the designer.	
THE UNDERSIGNED HAS REVIEWE FOR THIS DESIGN AND HAS THE QU REQUIREMENTS SET OUT IN ONTA	JALIFICATION AND MEETS THE
DESIGNER. QUALIFICATION INFORMATIC DESIGN IN EXEMPT UNDER DIVISIC	ON REQUIRED UNLESS THE
ONTARIO BUILDING CODE. NILAMRAJ (RAJ) PATEL	100621
REGISTRATION INFORMATION REQ	
EXEMPT UNDER DIVISION C - 3.2.4. BUILDING CODE. RPDS	1 OF THE 2012 ONTARIO 111189
FIRM NAME	BCIN
7895 Tranmere Dr., Suite 203, M Email: contact@rpc	lississauga ON, L5S1V9
No.: Revision:	6-2596
NO.: REVISION.	Date:
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\$ <u>,</u> 20.	
C.	
2 Issued For Review	2022/07/30
1Issued For ReviewNo.:Issued For:	2022/06/30 Date:
	Client Name:
	Drawing Title:
GENE	ERAL NOTES
	Project:
	LOT-36
	ENUE, TOWN
OF FORT ERIE TWO STC	, PROPOSED DREY HOUSE
	Scale:
-	Drawn by:
-	MJ Checked by:
	RP
	Project No.:
	Project No.: Date:
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DOC	OR SCHEE	DULE	WIND	OW SCHE	DULE
Mark	Width	Height	Mark	Width	Heig
D1	2' - 8''	6' - 8''	W1	2' - 6''	2' - 0
D2	5' - 0''	8' - 0''	W2	3' - 11"	2' - 8
D3	16' - 0''	7' - 0''	W3	2' - 6''	2' - 0
<b>D</b> 4	2' - 8''	6' - 8''	W4	2' - 0''	6' - 0
D5	5' - 0''	6' - 8''	W5	2' - 0''	3' - 0
<b>D6</b>	2' - 8''	6' - 8''	W6	2' - 0''	5' - 0
<b>D</b> 7	4' - 0''	6' - 8''	W7	5' - 0''	5' - 0
<b>D</b> 8	2' - 4''	6' - 8''	W8	5' - 0''	3' - 0
<b>D</b> 9	2' - 8''	6' - 8''	W9	2' - 0''	2' - (
D10	2' - 8''	6' - 8''	W10	2' - 0''	3' - 0
D11	2' - 8''	7' - 0''	W11	3' - 0''	3' - (
D12	2' - 8''	6' - 8''	W12	2' - 0''	5' - 0
D13	2' - 4''	6' - 8''	W13	2' - 0''	5' - 0
D14	2' - 4''	6' - 8''	W14	5' - 0''	5' - 0
D15	2' - 8''	6' - 8''	W15	5' - 0''	5' - 0
D16	5' - 0''	6' - 8''	W16	2' - 0''	5' - 0
D17	2' - 8''	6' - 8''	W17	4' - 0''	5' - 0
<b>D18</b>	5' - 0''	6' - 8''	W18	2' - 0''	5' - 0
D19	2' - 4''	6' - 8''	W19	2' - 0''	5' - 0
<b>D20</b>	2' - 8''	6' - 8''	W20	2' - 0''	5' - 0
D21	2' - 8''	6' - 8''	W21	2' - 0''	7' - 0
D22	5' - 0''	6' - 8''	W22	2' - 0''	7' - 0
			W23	2' - 0''	2' - 0
					1

DOOR & WINDOW SCHEDULES ARE FOR REFRENCE ONLY. DESIGNER IS NOT LIABLE FOR ANY DISCREPANCY.

WINDOW SUPPLIER TO ENSURE DOORS & WINDOWS ARE AS PER OBC STANDARD INCLUDING MINIMUM OPENABLE OPENINGS

W24 2'-0" 2'-0"

Contractor and trader must check and v execute the work and must report discret or measure the drawings.	
All drawings, specifications and related of the designer and must be returned up All the work must be in compliance with	oon request.
All the work must be in compliance with Reproduction of drawings, specifications in part or whole is forbidden without the	s and related documents
This drawing is not to be used for construction stamped by the designer.	
THE UNDERSIGNED HAS REVIEWED FOR THIS DESIGN AND HAS THE QU/ REQUIREMENTS SET OUT IN ONTAR DESIGNER. QUALIFICATION INFORMATION DESIGN IN EXEMPT UNDER DIVISION ONTARIO BUILDING CODE.	ALIFICATION AND MEETS THI IO BUILDING CODE TO BE A I REQUIRED UNLESS THE
NILAMRAJ (RAJ) PATEL	100621 GNATURE BCIN
REGISTRATION INFORMATION REQU EXEMPT UNDER DIVISION C - 3.2.4.1 BUILDING CODE.	
RPDS FIRM NAME	111189 
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Phone: 647-556-	
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2 Issued For Review	2022/07/30
1 Issued For Review No.: Issued For:	2022/06/30 Date:
	Client Name:
	Drawing Title:
DOOR	& WINDOW SCHEDULE
	SCHEDULL
	Project
	LOT-36
PARKER AVE OF FORT ERIE,	
-	REY HOUSE
	Scale
	Drawn by
	MJ Checked by
	<u>RP</u> Project No.
	Date 2022/05/14
	Drawing No.
BILD®	A10