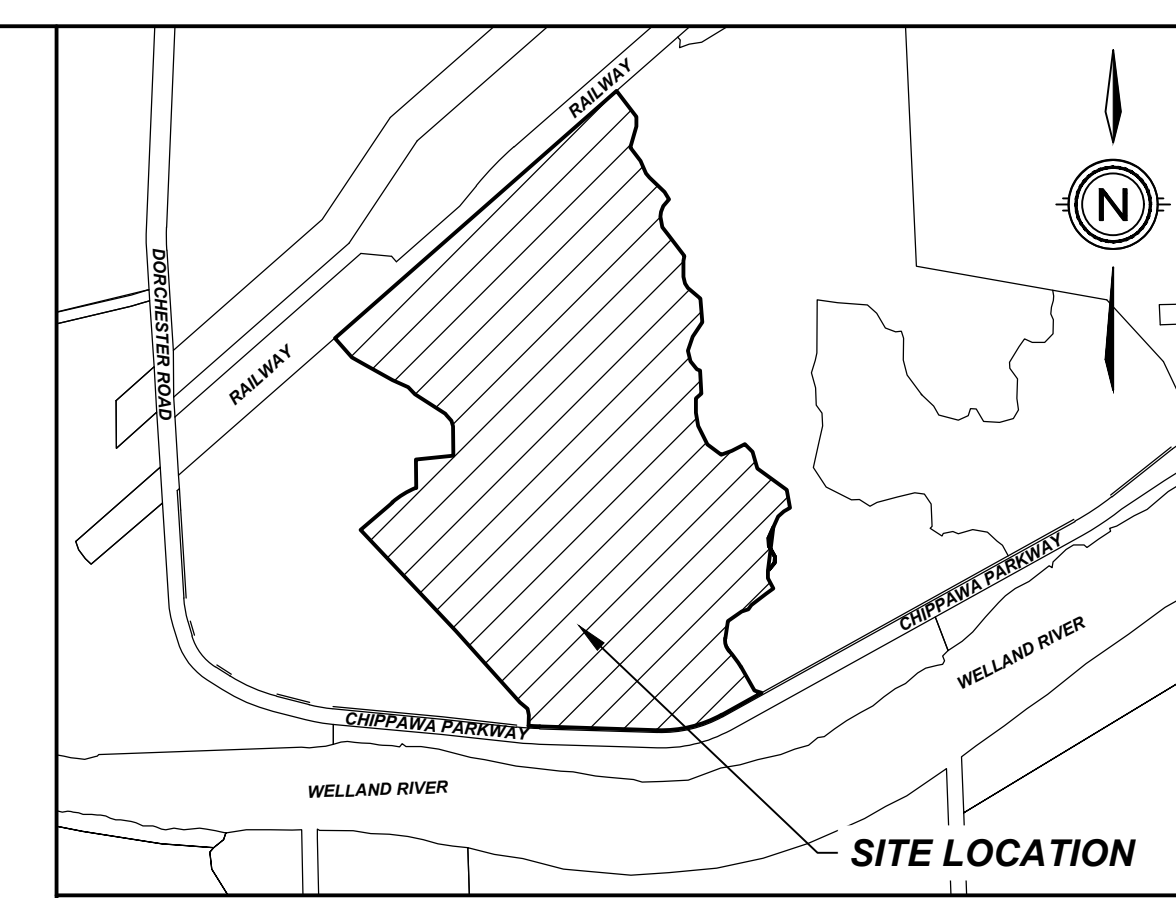
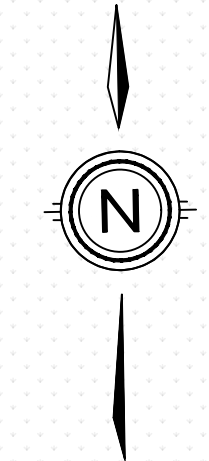
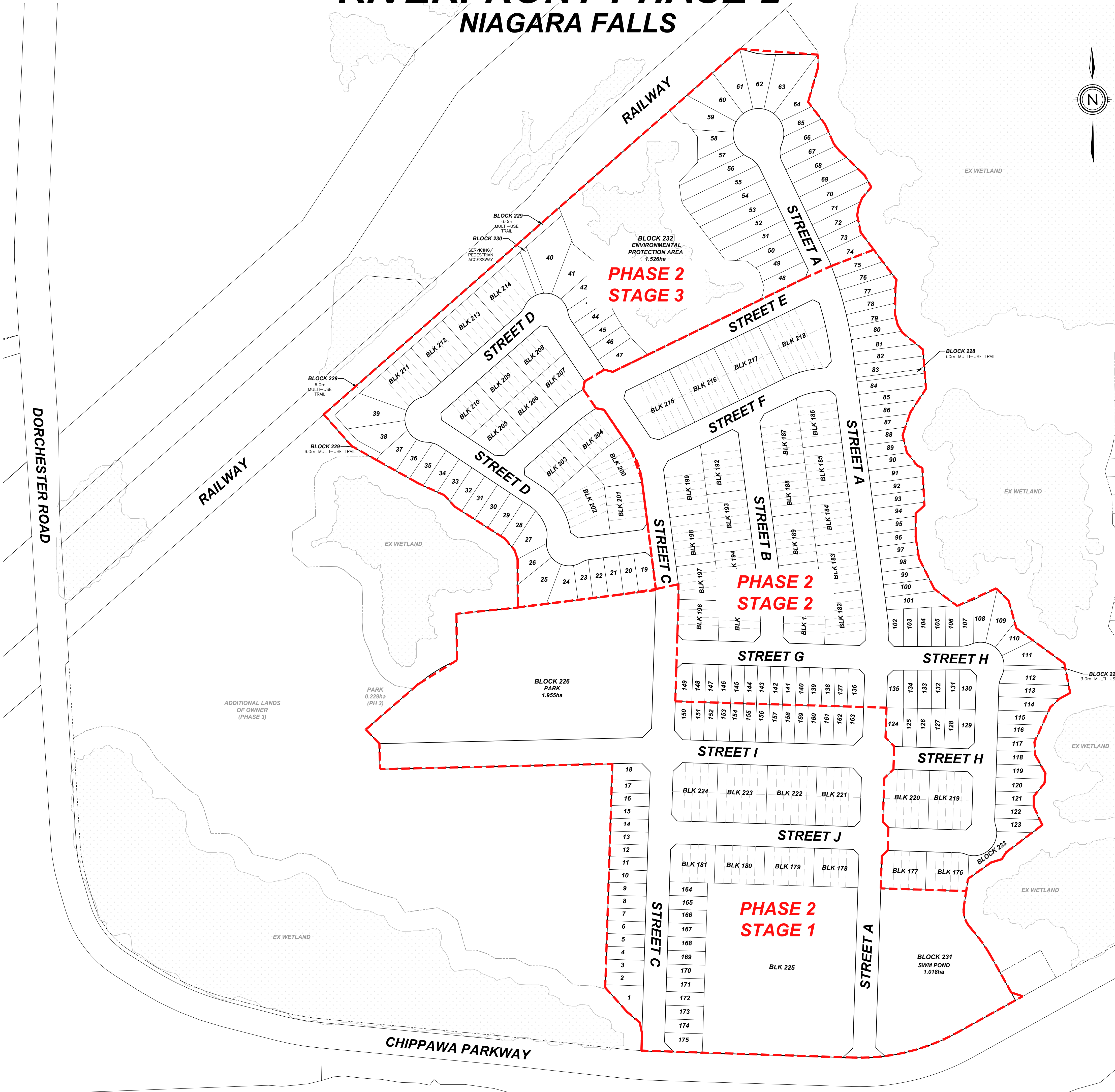


RIVERFRONT-PHASE 2 NIAGARA FALLS



DRAFT PLAN OF SUBDIVISION

LEGAL DESCRIPTION

PART OF LOTS 213 & 214 AND PART OF ROAD ALLOWANCE BETWEEN LOTS 212 & 213 GEOGRAPHIC TOWNSHIP OF STANFORD, NOW IN THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA

PHASE 2-STAGE 1

LAND USE	LOT/BLOCK	# OF UNITS	AREA(ha)	AREA(%)
SINGLE FAMILY RESIDENTIAL	1-18, 150-175	44	1.413	15.27
STREET TOWNHOUSE	178-181	22	0.443	4.79
BACK-TO-BACK TOWNS	221-224	44	0.675	7.29
MULTIPLE FAMILY	225	138	1.581	17.08
PARK (PHASE 1-2)	226		1.955	21.12
STORM MANAGEMENT POND	231		1.020	11.02
ROADWAY			2.168	23.43
TOTAL		248	9.255	100.00

DEVELOPABLE AREA = 6.280ha (EXCL. SWM AND PARK)
DEVELOPABLE DENSITY = 39.49 units/ha

PHASE 2-STAGE 2

LAND USE	LOT/BLOCK	# OF UNITS	AREA(ha)	AREA(%)
SINGLE FAMILY RESIDENTIAL	75-149	75	2.866	31.00
STREET TOWNHOUSE	176-177,182-199	110	2.375	25.69
BACK-TO-BACK TOWNS	215-220	66	1.081	11.69
3.0m MULTI-USE TRAIL	227-228		0.036	0.40
OPEN SPACE	233		0.062	0.67
ROADWAY			2.825	30.55
TOTAL		225	9.245	100.00

DEVELOPABLE AREA = 9.245ha
DEVELOPABLE DENSITY = 24.34 units/ha

PHASE 2-STAGE 3

LAND USE	LOT/BLOCK	# OF UNITS	AREA(ha)	AREA(%)
SINGLE FAMILY RESIDENTIAL	19-74	56	3.189	40.85
STREET TOWNHOUSE	202-216	77	1.737	22.25
6.0m MULTI-USE TRAIL	229		0.177	2.27
6.0m ACCESSWAY	230		0.021	0.27
OPEN SPACE/WETLANDS	232		1.526	19.55
ROADWAY			1.155	14.81
TOTAL		133	7.805	100.00

DEVELOPABLE AREA = 6.396 (EXCL. O/S)
DEVELOPABLE DENSITY = 20.79 units/ha

#	ISSUED FOR REVIEW	2024-10-10	TA
0	REVISION	DATE	INIT



DRAWING TITLE	DRAFTING	TA
PHASE 2 STAGING PLAN	DATE	OCTOBER 10, 2024
	PRINTED	OCTOBER 10, 2024
	SCALE	1:1500
	DWG No.	2209-PH2-STG
	REV	0