

- LEGEND
- property line
  - 2 existing tree number (refer to chart)
  - existing vegetation to remain
  - ⊗ existing vegetation to be removed
  - ⊘ dead tree specimen
  - existing elevations
  - tree protection fence (with silt fence) - see detail D1, L-2
  - tree protection fence location once building is removed (with silt fence) - see detail D1, L-2

**NOT FOR CONSTRUCTION**  
ISSUED FOR REVIEW & COMMENTS ONLY

NOTE:  
Vegetation inventory undertaken by Adesso Design Inc. Matthew Madigan on August 25th, 2021.

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2021-09-02	Issued for review
2	2021-10-27	Issued for submission



CLIENT  
Panoramic Properties Inc.  
MUNICIPALITY  
City of Niagara Falls

PROJECT  
Four storey apartment Building  
6259 Dorchester Road

MUNICIPAL FILE NUMBER

SHEET  
Tree Inventory  
Preservation Plan

L-1

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Trees #22 - 29



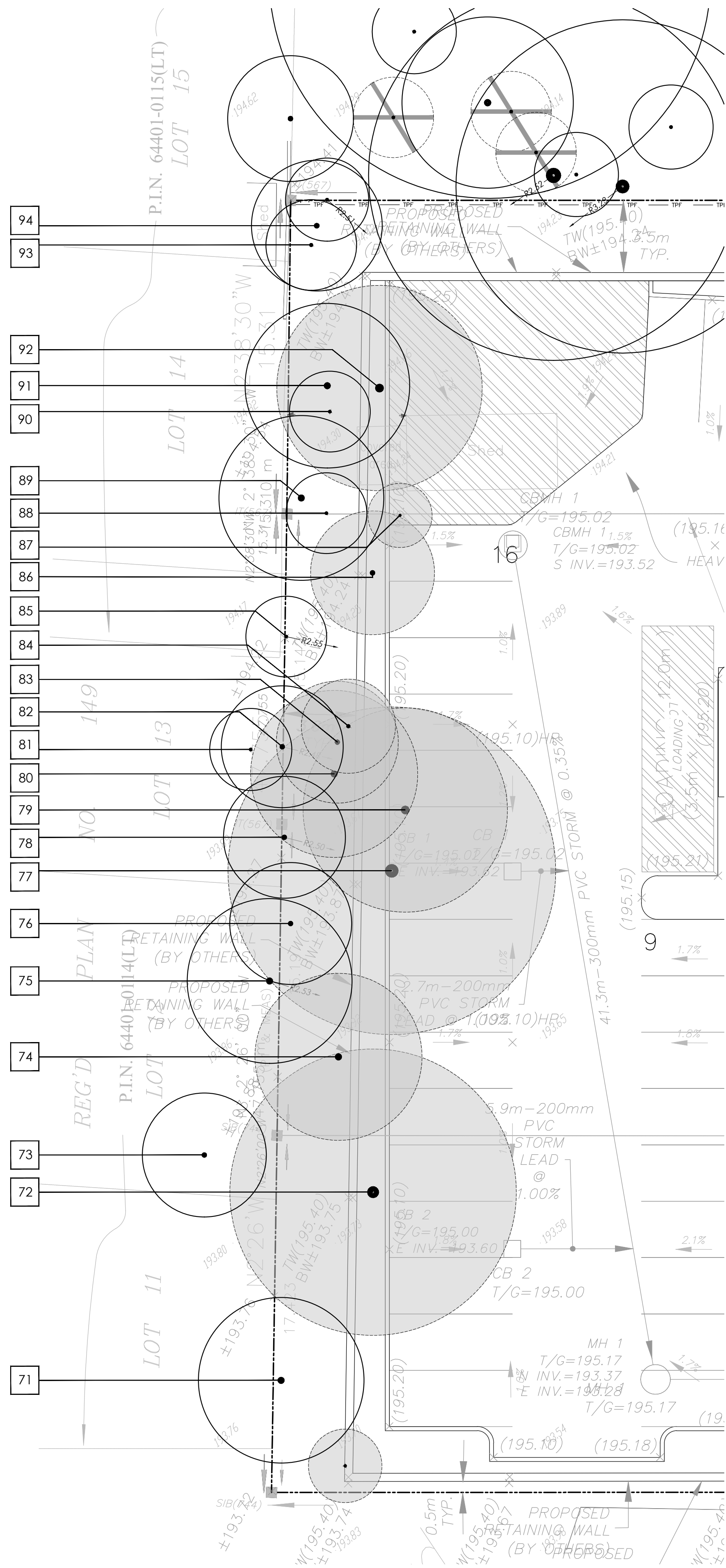
Tree #59



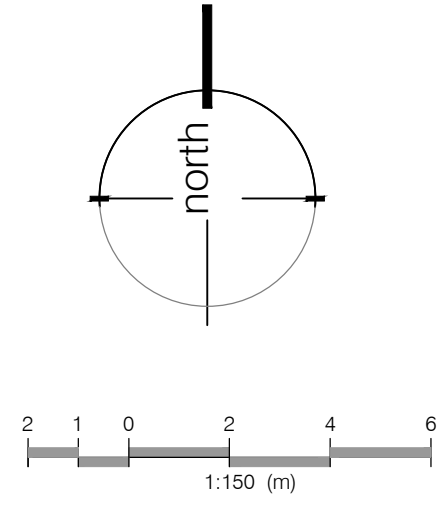
Tree #60



Trees #68 -69



ENLARGEMENT 'A' - Trees #71 - #94  
SCALE 1:150



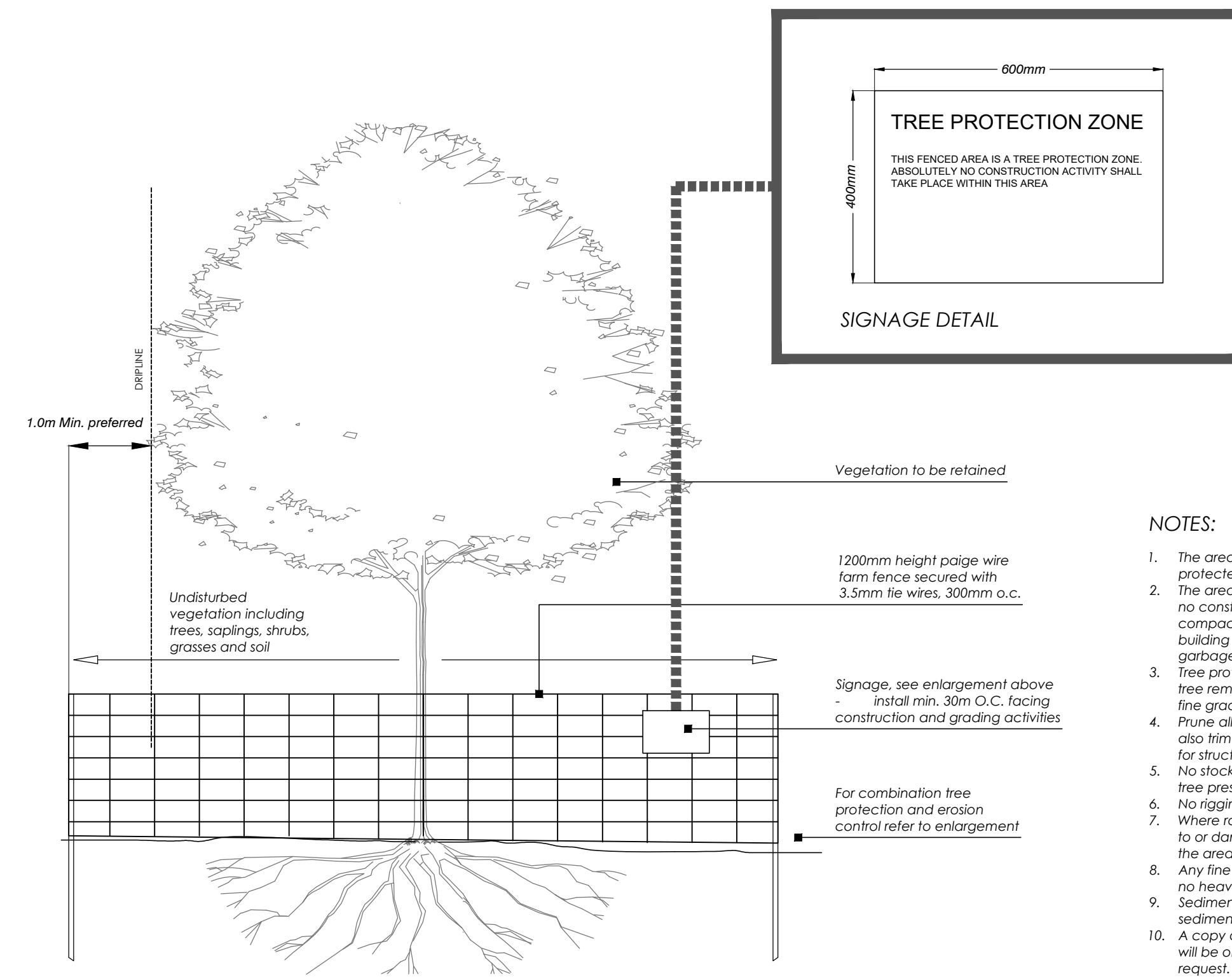
Trees #72-85



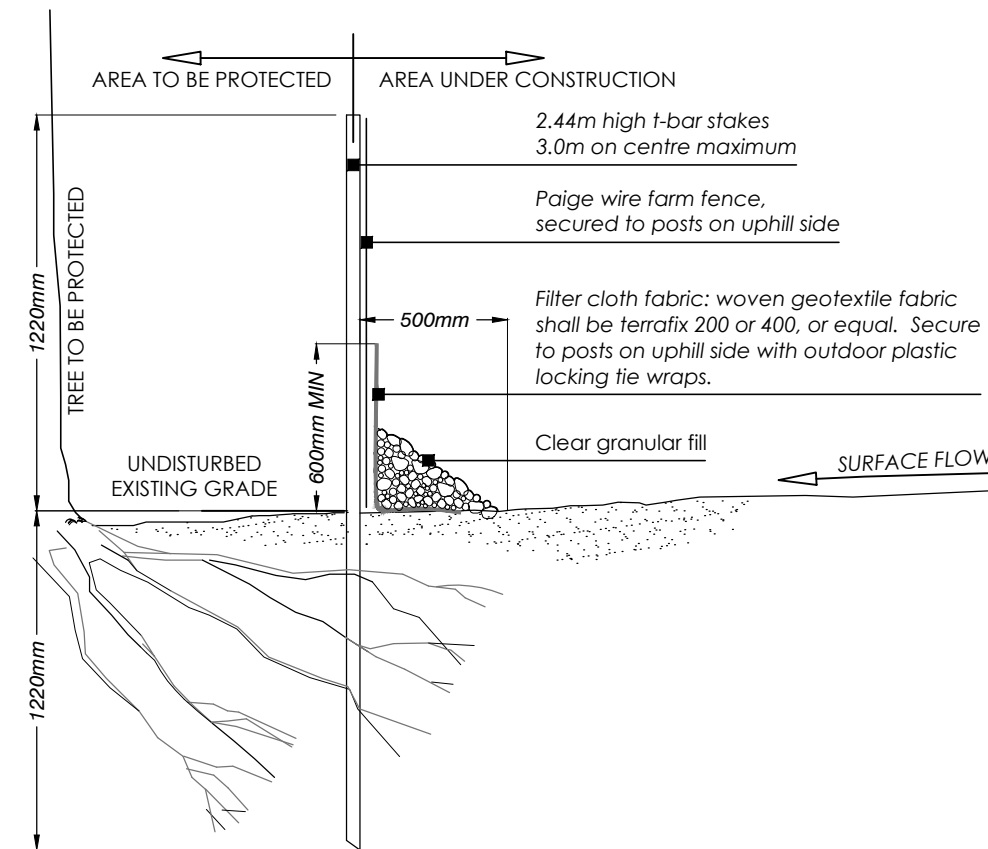
Tree #82



Tree #85



Tree Protection Fencing (with silt fence)  
SCALE: NTS



NOTES:

- The area within the dipline of all existing trees shall be properly protected with temporary fencing.
- The area within the protective fencing shall remain undisturbed with no construction activity, grade changes, surface treatment, compaction, or excavation. Area shall not be used for the storage of building materials or equipment access/storage or project related garbage.
- Tree protection measures shall be installed prior to any demolition, tree removal or construction and shall remain until the completion of fine grading and sodding or seeding.
- Prune all trees for dead, diseased, weak or hazardous branches only, also trim back branches which will interfere with construction, prune for structural restoration where necessary.
- No stockpiles and/or excavated material shall be placed within the tree preservation area.
- No rigging cable shall be wrapped around or installed to trees.
- Where root systems of protected trees are exposed directly adjacent to or damaged by construction work they are to be root pruned and the area back filled with topsoil to prevent root abscission.
- Any fine grading within the preservation area is to be done by hand, no heavy equipment is permitted within the preservation zone.
- Sediment accumulations to be removed by subdivider/builder when sediment deposits reach within 150mm of top of filter fabric barrier.
- A copy of the approved and signed Vegetation Management Plan will be on site for the duration of construction and available upon request.
- This detail does not represent any particular tree species.

BOULEVARD TREE NOTES:

- Trees on boulevard to use 1.2m ht. high free hoarding of orange plastic web snow fencing on a wood frame made of 2x4s where staked hoarding is not possible

KEY MAP - N.T.S.



LEGEND

- property line
- existing tree number (refer to chart)
- existing vegetation to remain
- existing vegetation to be removed
- dead tree specimen
- existing elevations
- free protection fence (with silt fence) - see detail D1, L-2
- free protection fence location once building is removed (with silt fence) - see detail D1, L-2

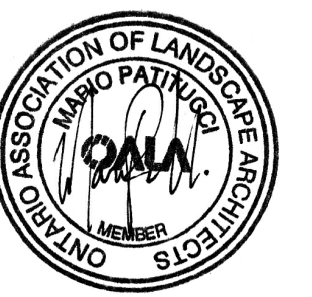
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STAMP



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MUNICIPALITY  
City of Niagara Falls

PROJECT  
Four storey apartment Building  
6259 Dorchester Road

MUNICIPAL FILE NUMBER

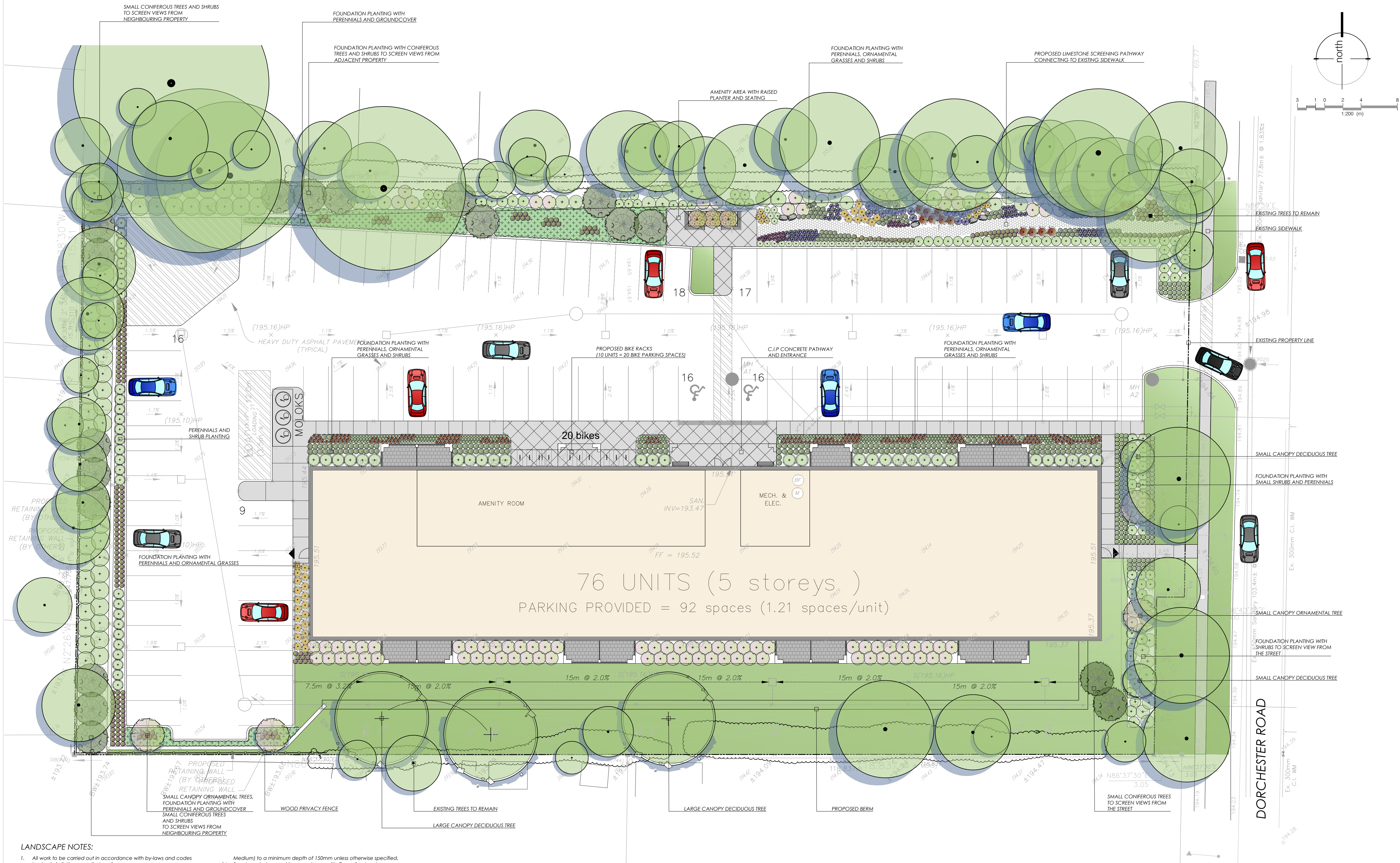
SHEET  
Tree Protection Plan

L-2

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KEY MAP - N.T.S.



LEGEND

- property line
- existing tree to remain
- proposed deciduous tree
- proposed shrub
- proposed perennial
- existing elevation
- (195.10)HP x proposed elevation
- min. 150mm topsoil, fine grade & sod
- C.I.P. concrete

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MUNICIPALITY  
City of Niagara Falls

PROJECT  
Four storey apartment Building  
6259 Dorchester Road

MUNICIPAL FILE NUMBER

SHEET  
Landscape  
Concept Plan

L-01

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landscape architecture

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- LANDSCAPE NOTES:
- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
  - Complete all work to the satisfaction of the Landscape Architect.
  - Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
  - It is the contractor's responsibility to determine existing service locations.
  - Exact locations of plant material will be determined by placement of site services such as hydro vaults, meters, utilities roof rain water leaders, driveways, light standards, etc.
  - All plant material locations to be staked or marked out and approved by Landscape Architect prior to installation.
  - Supply all plant material in accordance with the Canadian Standards for Nursery Stock (8th ed.).
  - Install plant material according to details shown.
  - Supply and place mulch in accordance with Canadian Landscape Standard (Section 10, Mulching). Disturbed soil areas around trees and shrubs are to be covered with shredded conifer bark mulch such as "Cedar Bark Mulch" by All Treat Farms or "Classic Cedar Mulch" by Gro-Bark, or approved equivalent. Alternative mulches must be approved by the Landscape Architect.
  - Contractor to utilize layout dimensions where provided.
  - Provide planting bed area as noted on the drawing or to accommodate mature size of plant material.
  - All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
  - Supply and place topsoil in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) to a minimum depth of 150mm unless otherwise specified.
  - Supply and place sod in accordance with Canadian Landscape Standard (Section 7, Lawns & Grass and Section 8, Turfgrass Sod) unless otherwise specified.
  - Supply and place seed in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 3:1 or greater slopes to be seeded with tackifier. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
  - All dimensions in meters unless otherwise noted.
  - If discrepancies arise between plant material count shown on drawing and plant list, the drawing shall be considered correct.
  - Contractor to provide minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
  - Any site plan or grading and servicing shown is for information only. Refer to approved drawings.
  - Not for construction unless stamped, signed and dated by Landscape Architect.
  - Drawings not to be reproduced without written consent from Landscape Architect.
  - Approval of landscape plan to be obtained from municipality.
  - All plant material to be planted a minimum of 1.0m from any swales or ditches.
  - For grading and servicing information refer to the consulting Engineer's drawings.
  - For lighting information and power distribution refer to the electrical consultant's drawings.