



Trees #22 - 29



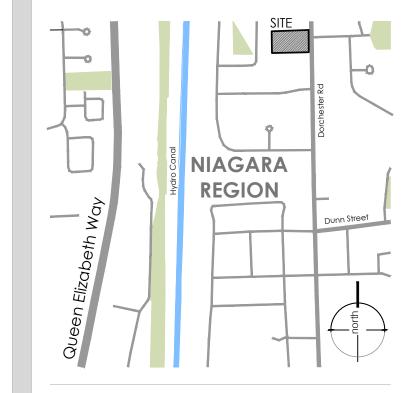
Tree #59





Trees #68 -69

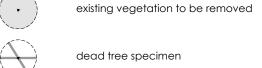
KEY MAP - N.T.S.



LEGEND

existing tree number (refer to chart)

existing vegetation to remain



existing elevations

tree protection fence (with silt fence)
- see detail D1, L-2 tree protection fence location once

building is removed (with silt fence)
- see detail D1, L-2

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Vegetation inventory undertaken by Adesso Design Inc, Matthew Madigan on August 25th, 2021.

REVISIONS/ SUBMISSIONS

Issued for review 2021-09-02 2 2021-10-27 Issued for submission



Panoramic Properties Inc. MUNICIPALITY

City of Niagara Falls

Four storey apartment Building 6259 Dorchester Road

MUNICIPAL FILE NUMBER

PROJECT

Tree Inventory Preservation Plan

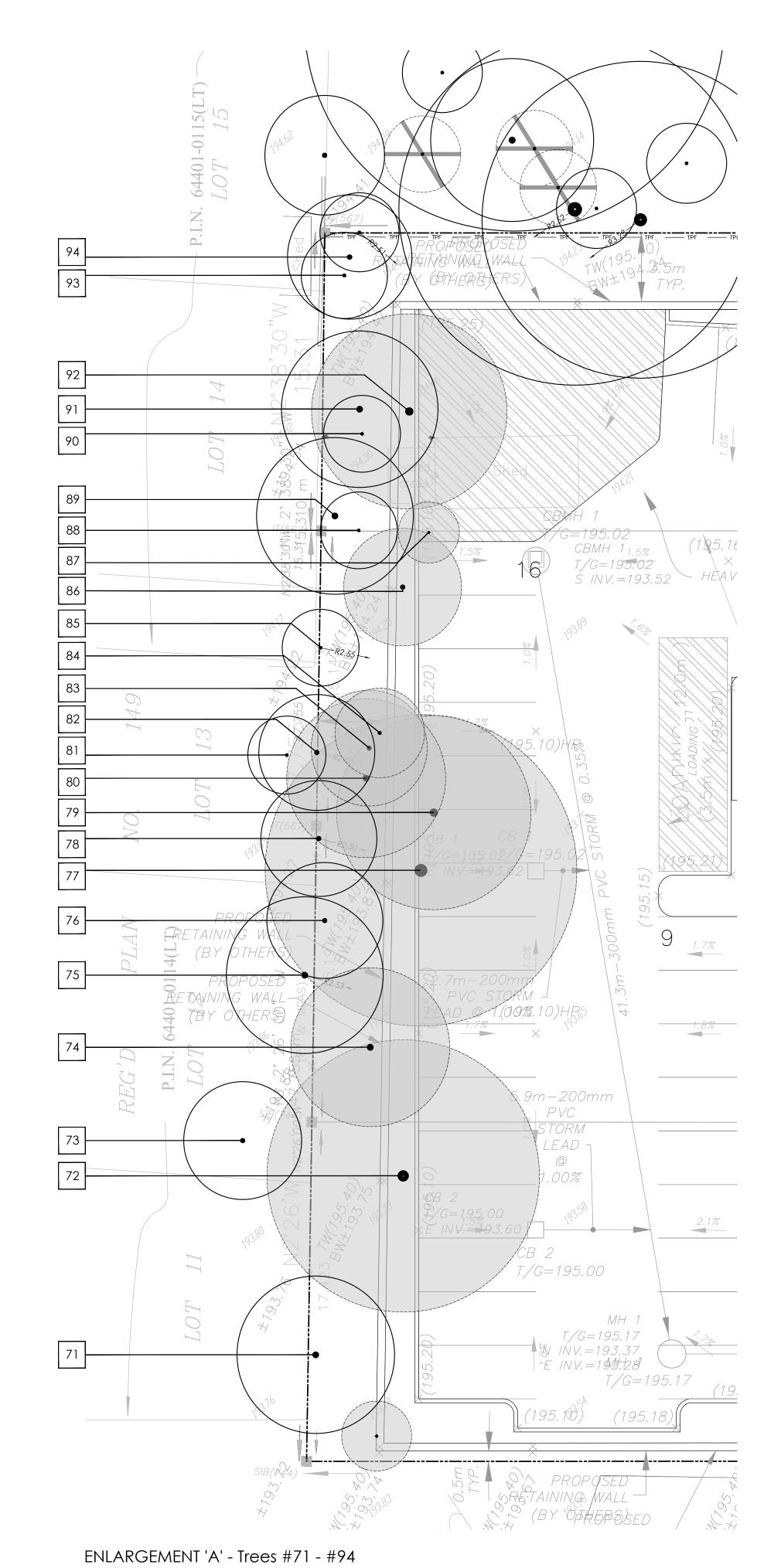
L-

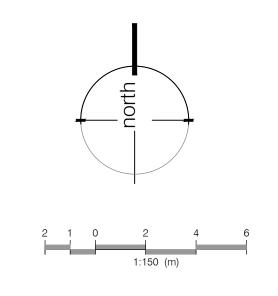
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SCALE 1:150









Tree #82



Tree #85

AREA TO BE PROTECTED AREA UNDER CONSTRUCTION 2.44m high t-bar stakes 3.0m on centre maximum Paige wire farm fence, secured to posts on uphill side Filter cloth fabric: woven geotextile fabric shall be terrafix 200 or 400, or equal. Secure to posts on uphill side with outdoor plastic locking tie wraps. EXISTING GRADE

TREE PROTECTION ZONE THIS FENCED AREA IS A TREE PROTECTION ZONE. ABSOLUTELY NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE WITHIN THIS AREA \_presented SIGNAGE DETAIL 1.0m Min. preferred Vegetation to be retained NOTES: 1200mm height paige wire farm fence secured with 3.5mm tie wires, 300mm o.c. 1. The area within the dripline of all existing trees shall be properly protected with temporary fencing.

> Signage, see enlargement above - install min. 30m O.C. facing construction and grading activities

For combination tree

protection and erosion control refer to enlargement

- 2. The area within the protective fencing shall remain undisturbed with no construction activity, grade changes, surface treatment, compaction, or excavation. Area shall not be used for the storage of building materials or equipment access/storage or project related 3. Tree protection measures shall be installed prior to any demolition, tree removal or construction and shall remain until the completion of
- fine grading and sodding or seeding. 4. Prune all trees for dead, diseased, weak or hazardous branches only. also trim back branches which will interfere with construction, prune for structural restoration where necessary.
- 5. No stockpiles and/or excavated material shall be placed within the tree preservation area. 6. No rigging cable shall be wrapped around or installed to trees.7. Where root systems of protected trees are exposed directly adjacent to or damaged by construction work they are to be root pruned and
- 8. Any fine grading within the preservation area is to be done by hand. no heavy equipment is permitted within the preservation zone.
  9. Sediment accumulations to be removed by subdivider/builder when sediment deposits reach within 150mm of top of filter fabric barrier. 10. A copy of the approved and signed Vegetation Management Plan

the area back filled with topsoil to prevent root desiccation.

will be on site for the duration of construction and available upon 11. This detail does not represent any particular tree species.

# BOULEVARD TREE NOTES:

 Trees on boulevard to use 1.2m ht. high tree hoarding of orange plastic web snow fencing on a wood frame made of 2x4s where staked hoarding is not possible

PROJECT

L-2

Four storey apartment Building 6259 Dorchester Road

Panoramic Properties Inc.

City of Niagara Falls

MUNICIPAL FILE NUMBER

MUNICIPALITY

KEY MAP - N.T.S.

LEGEND

NIAGARA **REGION** 

existing tree number (refer to chart)

existing vegetation to be removed

I tree protection fence location once building is removed (with silt fence)
- see detail D1, L-2

existing vegetation to remain

dead tree specimen

existing elevations

- TPF TPF tree protection fence (with silt fence)
- see detail D1, L-2

NOT FOR CONSTRUCTION

ISSUED FOR REVIEW & COMMENTS ONLY

Vegetation inventory undertaken by Adesso Design

DESCRIPTION

Issued for review Issued for submission

Inc, Matthew Madigan on August 25th, 2021.

REVISIONS/ SUBMISSIONS

2021-09-02

Tree Protection Plan

L-2

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Tree Protection Fencing (with silt fence)

Undisturbed

grasses and soil

vegetation including

trees, saplings, shrubs,

Tree #	G VEGETATION IDENTIF  Species (Common Name)	Species (Botanical Name)	DBH (cm)	Crown Class*	Condition**	Comments	Potential Impacts from Construction	Ownership	Recommendo
1	Silver Maple	Acer saccharinum	85	D	G			Off Property	Save
2	American Elm	Ulmus americana	22	I	FG			Boundary	Save
3	N/A	N/A	N/A	N/A	N/A	Dead	N/A	Off Property	N/A
<u>4</u> 5	White Spruce  American Elm	Picea glauca  Ulmus americana	25 37	D	G G			Off Property Off Property	Save Save
6	Silver Maple	Acer saccharinum	85	D	G			Off Property	Save
7	N/A	N/A	N/A	N/A	N/A	Dead	N/A	Off Property	N/A
8	N/A	N/A	N/A	N/A	N/A	Dead	N/A	Off Property	N/A
9	American Elm White Spruce	Ulmus americana Picea glauca	25 18	С	FG P	Leader non dominant, lean to west  Light supressed		Off Property Off Property	Save
11	Norway Spruce	Picea abies	46	D	G	Ligiti supressed		Off Property	Save Save
12	Manitoba Maple	Acer negundo	25	I	Р	Light supressed		Off Property	Save
13	American Larch	Larix Iaricina	50	D	G	Lean to north		Off Property	Save
14	White Mulberry	Morus alba	17	I	F	Light supressed vines		Off Property	Save
15 16	Silver Maple  American Elm	Acer saccharinum  Ulmus americana	46	D	G G			On Property Off Property	Save Save
17	American Elm	Ulmus americana	38,34	D	G			Boundary	Save
18	Eastern White Pine	Pinus strobus	34	С	G			Off Property	Save
19	American Elm	Ulmus americana	35	С	G			Off Property	Save
20	Black Cherry	Prunus serotina	13	С	P	Bark wound		Boundary	Save
21	White Mulberry Norway Spruce	Morus alba Picea abies	12 65	С	G G			Off Property Off Property	Save Save
23	Norway Spruce	Picea abies	30	С	G			Off Property	Save
24	Norway Spruce	Picea abies	50	С	G			Off Property	Save
25	Norway Spruce	Picea abies	40	С	G			Off Property	Save
26	Norway Spruce	Picea abies	45	С	G			Off Property	Save
27 28	Norway Spruce  American Elm	Picea abies  Ulmus americana	40 25	С	G F	Light supressed		Off Property Off Property	Save Save
29	Norway Spruce	Picea abies	45	D	G	, p		Off Property	Save
30	Black Walnut	Juglans nigra	35	D	G			Off Property	Save
31	Siberian Elm	Ulmus pumila	20	С	Р	Off shoot of stump		Off Property	Save
32	Eastern White Pine	Pinus strobus	15		G			Off Property	Save
33	Siberian Elm  Eastern White Pine	Ulmus pumila Pinus strobus	65 15	D I	G F			Off Property Off Property	Save Save
35	N/A	N/A	N/A	N/A	N/A	Dead	N/A	Off Property	N/A
36	Norway Spruce	Picea abies	43	D	G			Off Property	Save
37	River Birch	Betula nigra	40	С	G			Off Property	Save
38	Norway Maple Norway Spruce	Acer platanoides  Picea abies	25 41	C D	G G			Off Property Off Property	Save
40	Norway Spruce	Picea abies	21	С	FP	No leader		Off Property	Save Save
41	Horse chesnut	Aesculus hippocastanum	65	D	G	The Isaasi		Off Property	Save
42	Norway Spruce	Picea abies	30	С	G			Off Property	Save
43	Black Walnut	Juglans nigra	18	С	G	No overhang canopy		Off Property	Save
44 45	Black Walnut  American Larch	Juglans nigra  Larix Iaricina	30,35 50	D	G P/Dead	Almost no no adles left		Off Property Off Property	Save
46	Green Ash	Fraxinus Pennsylvanica	35		P	Almost no needles left		Off Property	Save Save
47	White Mulberry	Morus alba	13,13	С	FP			Boundary	Save
48	American Elm	Ulmus americana	12	С	G	City tree		Off Property	Save
49	Austrian Pine	Pinus nigra	43	С	G	C'h ha		On Property	Save
50 51	American Elm  Austrian Pine	Ulmus americana Pinus nigra	14,11 39	С	G	City tree	Conflicts with proposed parking	Off Property  On Property	Save Remove
52	Colorado Spruce	Picea punges	41	D	GF		Conflicts with proposed driveway	On Property	Remove
53	White Spruce	Picea glauca	48	D	G			On Property	Save
54	American Elm	Ulmus americana	20	I	G			On Property	Save
55	White Spruce Norway Maple	Picea glauca  Acer platanoides	48	D C	G		Conflicts with proposed building	On Property  On Property	Save
56 57	Norway Maple  Norway Maple	Acer platanoides  Acer platanoides	15	I	G		Conflicts with proposed building	On Property	Remove Remove
58	Norway Maple	Acer platanoides	30	D	G		Conflicts with proposed building	On Property	Remove
59	Norway Maple	Acer platanoides	52	D	G/F	Die back on the west side		Off Property	Save
60	Colorado Spruce	Picea punges	55	D	G	Slight lean east		Off Property	Save
61	White Mulberry  American Elm	Morus alba  Ulmus americana	Multi stem	D D	G		Conflicts with proposed berm	On Property  On Property	Save
63	Norway Maple	Acer platanoides	16	I	G	Tar spot	Conners with proposed bottom	On Property	Remove
64	White Spruce	Picea glauca	43	D	G			On Property	Save
65	Apple	Malus spp.	65	D	G			On Property	Save
66	Silver Maple	Acer saccharinum	Multi stem	С	P	Suckering from base		On Property	Save
67 68	Scots Pine Eastern White Cedar	Pinus sylvestris  Thuja occidentalis	35 30,30,32,25	C D	F G	Slight lean east, asymetrical growth  Multi stem		Boundary Off Property	Save Save
69	Norway Spruce	Picea abies	32	D	G	Asymetrical branch growth		Off Property	Save
70	Eastern White Pine	Pinus strobus	19	D	Р	Completely light suppressed by grapevine	Conflicts with proposed retaining wall	On Property	Remove
71	American Elm	Ulmus americana	19	D	P	Dead leader, grapevine		On Property	Save
72 73	Black Walnut  Magnolia	Juglans nigra  Magnolia spp.	47 20	D C	G		Conflicts with proposed retaining wall	On Property Off Property	Remove Save
74	Black Locust	Robinia pseudoacacia	14	С	G		Conflicts with proposed retaining wall	On Property	Remove
75	Norway Maple	Acer platanoides	25	D	G			Off Property	Save
76	American Elm	Ulmus americana	17	С	G			On Property	Save
77	Black Locust	Robinia pseudoacacia	37	D	G	Rounden/trop possibility to a	Conflicts with proposed retaining wall	On Property	Remove
78 79	Black Locust  Black Locust	Robinia pseudoacacia Robinia pseudoacacia	21 15	D C	G	Boundary tree, permission to remove required	Conflicts with proposed parking	Boundary On Property	Save Remove
80	Silver Maple	Acer saccharinum	12	С	F	Tar spot	Conflicts with proposed retinaing wall	On Property	Remove
81	Silver Maple	Acer saccharinum	12	С	F			Off Property	Save
82	Black Locust	Robinia pseudoacacia	15	D	G			Boundary	Save
83	Black Locust	Robinia pseudoacacia	18	C-D	G/F F	Grapevine	Conflicts with proposed retaining wall  Conflicts with proposed retaining wall	On Property	Remove
84 85	Silver Maple Black Locust	Acer saccharinum  Robinia pseudoacacia	12 30,14	C-D D	F F	Lean to south	Commens with proposed retaining wall	On Property  Boundary	Remove Save
86	Black Locust	Robinia pseudoacacia	23	D	F		Conflicts with proposed retaining wall	On Property	Remove
87	American Elm	Ulmus americana	16	С	F		Conflicts with proposed retaining wall	On Property	Remove
88	Black Cherry	Prunus serotina	12	I	F	Light suppressed, growing from old stump		On Property	Save
89	Black Cherry	Prunus serotina	17	ı	F/P	Poorly trimmed, light suppressed, growing from old stump		On Property	Save
90	White Spruce	Picea glauca	16	1	G/F			On Property	Save
91	Silver Maple	Acer saccharinum	66	C-D	F/G	Storm damage, Light supp., lean to west		On Property	Save
92	Silver Maple	Acer saccharinum	65	D	G		Conflicts with proposed retaining wall	On Property	Remove
93 94	Silver Maple Silver Maple	Acer saccharinum  Acer saccharinum	54 75	C-D D	P	Broken leader, storm damage  Asymetrical canopy, lean northwest		On Property On Property	Save
95	Peach	Prunus persica	12	D	G		Conflicts with proposed parking	On Property	Save Remove
96	American Elm	Ulmus americana	11	D	F	Growing into/out of structure	Conflicts with proposed building	On Property	Remove

\* CROWN CLASS

Dominant- (D) Emergent canopy (receives full sunlight)

Co-dominant - (C) Not fully emergent (top of canopy receives sunlight)

Intermediate - (I) Sub-canopy tree (receives partial sunlight)

\*\* CONDITION - consideration of trunk integrity, crown structure and crown vigor Good - few or no issues related to trunk integrity, crown structure or crown vigor Fair - minor issues related to trunk integrity, crown structure (form, some dead or damged branches) or crown vigor (20-80% healthy foliage)
Poor - issues with trunk integrity such as cavities or exposed dead wood, poor
crown structure (poor form, no clear leader, significant dead or damaged
branches) or poor crown vigor (<20% healthy foliage)

CONDITION OF TREES

The decision to remove or retain a tree is subject to the forecasted development impacts, the structural condition of the tree (e.g. cracks, cavities, decay, weak branching, leaning, hazard potential, the biological condition of the tree (e.g. pest or disease concerns, overall health) and the suitability of the tree in its location (e.g. hardiness, soil conditions, salt tolerance, visual obstruction, available

### MIGRATORY BIRDS AND NESTS:

The Owner and Contractor must be aware of the Migratory Birds Convention Act, 1994 - specifically;

No tree removal or construction activity shall contravene the

 Construction activities with the potential to harm migratory birds or their nest should be restricted from March 15 to August 31. If work must occur during the migratory bird breeding season, a nest survey should be taken by a qualified avian biologist. A mitigation plan (showing active nests and appropriate buffers) may be required for review and approval by the Canadian Wildlife Services.

### TREE REMOVAL:

1. No trees shall be removed prior to municipal approvals of the Tree Management/Tree Preservation Plan.

## BOUNDARY TREES:

Note that boundary trees are protected under the Ontario Forestry Act. Boundary trees are defined in the Forestry Act (Section 10.2) and are considered shared or co-owned property. The Forestry Act indicates that it is a prosecutable offense for one co-owner to injure or cut down a boundary tree without the other co-owner's permission. 3. Written permission from the neighbouring property owner is required prior to removal or injury of any boundary tree(shared ownership) or

any tree that is not fully on the subject property. 4. An ISA certified Arborist should be on site prior to any work being performed within the rootzone of a boundary or neighbouring tree to

#### perform root pruning as required. NEIGHBOURING TREES:

5. Permission from neighbour required to remove tree.

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# REVISIONS/ SUBMISSIONS

1 2021-09-02 Issued for review

2 2021-10-27 Issued for submission



Panoramic Properties Inc.

MUNICIPALITY City of Niagara Falls

PROJECT

Four storey apartment Building 6259 Dorchester Road

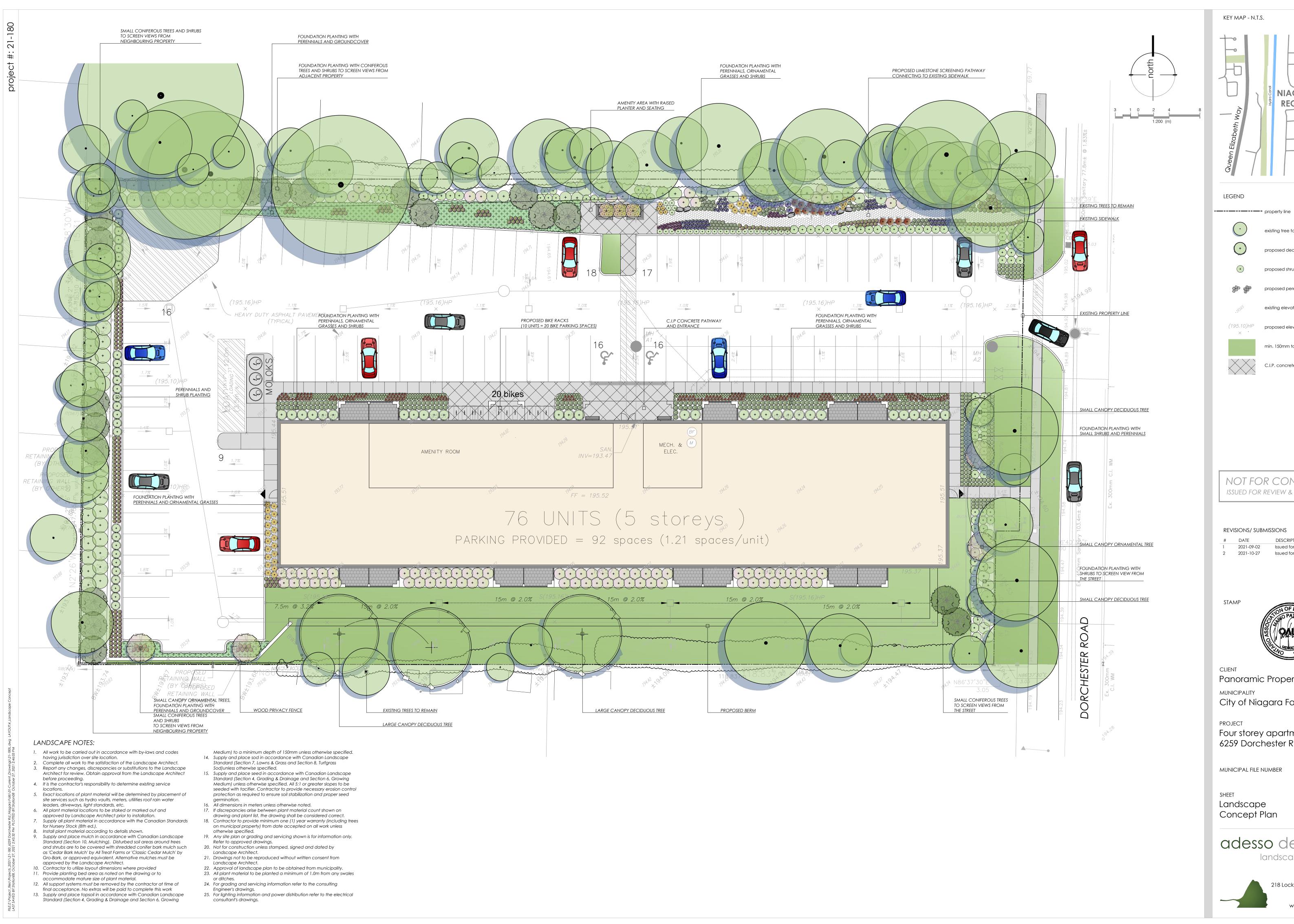
MUNICIPAL FILE NUMBER

Tree Protection Plan

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**NIAGARA REGION** 

LEGEND

existing tree to remain

proposed deciduous tree

proposed shrub

proposed perennial

existing elevation

proposed elevation



min. 150mm topsoil, fine grade & sod

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REVISIONS/ SUBMISSIONS

DESCRIPTION 2021-09-02 Issued for review Issued for submission



Panoramic Properties Inc. MUNICIPALITY City of Niagara Falls

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MUNICIPAL FILE NUMBER

Landscape Concept Plan

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