

ARBORIST REPORT

Pertaining to:

7302 Kalar Rd.
Niagara Falls, ON
L2E 6S5

Prepared for:



Arborwood Tree Service Inc.
7838 Twenty Rd. S.
Smithville, ON
L0R 2A0

Prepared by:



Urban Arboretum Tree Consulting
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Created: August 17, 2023
Last revised: August 17, 2023

Introduction

Urban Arboretum Tree Consulting (the arborist) was retained by Arborwood Tree Service Inc. (the client) to complete an arborist report pertaining to 7302 Kalar Road, Niagara Falls (the subject site). The report was requested relative to a proposed new apartment complex (the scope).

The purpose of this report is to:

- Establish species, size and condition of existing trees.
- Provide a Tree Protection Plan showing required tree protection measures and proposed tree removals.

Methodology

1. The subject site was assessed on August 14, 2023 by the arborist.
2. Photos were taken at the time of assessment and the most representative are attached as Appendix I
3. Trees within the following categories were assessed and recorded in this Arborist Report:

Ownership Category	Description
1 - Private	Trees with diameters of 10 cm or greater, situated on private property on the subject site.
2 – Neighbor	Trees with diameters of 10 cm or greater, situated on private property within 6 meters of the subject site.
5 – Public	Trees of all diameters situated within City property.
6 – Boundary	Trees located on the property line with an adjoining site where the property line crosses the main stem of the tree prior to the formation of the first scaffold limb.

4. Trunk diameter was measured using a calibrated diameter tape. The measurement was taken at 1.4 meters above ground level, generally referred to as the diameter at breast height (DBH) or diameter at representative height (DRH) as applicable. For trees located on adjacent private property DBH was estimated.
5. Trees were assessed in consideration of overall biological condition and structural condition and assigned a condition rating ranging from good (70-100%) to fair (40-69%) to poor (0-39%) for both categories.
6. Tree protection comments were added by the arborist to a site plan created by Peter J. Lesdow Architect dated April 8, 2023 drawing # A-1 project # 23-05.

Tree Protection Plan

Pre-Construction

1. The following tree protection measures must be read in conjunction with the Tree Protection Plan (Appendix III). Both documents must be provided to the site supervisor prior to any work commencing on the site.
2. No disturbance is allowed within the Tree Protection Zone (TPZ) of the trees. Disturbance includes, but not limited to: soil compaction from foot traffic and construction materials, excavation, grade changes, storage of materials, physical injury to the trunk, or root cutting.
3. Tree Protection Zones (TPZ) distances must be measured from the outside edge at the base of the tree.

Construction Phase

4. It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan and within this report each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
5. Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved, or removed until authorized by Urban Forestry.
6. During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.

Post-Construction

7. At the completion of the project, Urban Forestry is to be notified prior to removal of the tree protection fencing on the site. With approval, the fencing may be dismantled.

Additional Notes

1. For additional information on tree care and management techniques as a tree owner see <http://www.treesaregood.com/treeowner/treeownerinformation.aspx> for a list of educational brochures provided by the International Society of Arboriculture.

Questions or requests for additional information relative to this report should be directed to the undersigned at 647-884-7716.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Limitations of Assessment

It is the policy of Urban Arboretum Tree Consulting to include this disclaimer to ensure our clients are aware of the technical and professional with respect to the limitations inherent in our work. assessing and retaining trees.

This Report was based on the project scope and details for tree preservation provided for review by to the Arborist. The Arborist assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information provided to the Arborist.

The assessment(s) of the tree(s) presented in this report have been made using accepted and proper arboricultural techniques. This includes an aboveground examination of the tree(s) including but not limited to evidence of structural defects, external indicators of rot or decay, cracking, included bark unions, pests and diseases, foliage and shoot health, natural or unnatural lean, root structures, site conditions, proximity to property and people. Unless otherwise explicitly noted in writing, assessments do not include probing, coring, sounding, climbing assessments, root excavation, pull testing, or any other advanced assessment techniques.

Notwithstanding the recommendations and conclusions in this report, it must be recognized that trees are living organisms and their health, structure and vigor are constantly changing. They can be susceptible to changes in the seasons or weather conditions. Weather events such as windstorms, ice storms and thunderstorms may result in partial or complete tree failure irrespective of assessment results.

All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring, or other invasive procedures, unless otherwise noted in the report. No warranty or guarantee is made, express or implied, that problems or deficiencies will not occur in the future. The consultant shall not be responsible for damages caused by any tree defects and assumes no responsibility for the correction of defects or tree related problems.

The undersigned provides no warranty, either expressed or implied, as to the suitability of the information contained in the report for any purpose. It remains the responsibility of the client to determine applicability to his/her case.

All reports and other correspondence are confidential and are the property of the undersigned and its named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of the report invalidates the entire report.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be re-assessed periodically. The assessment presented in this report is only valid at the time of inspection. Living with trees means accepting some degree of risk.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Appendix I – Photographs



Photo 1. Trees 1-7.



Photo 2. Trees 8-16.



Photo 3. Trees 16-22.



Photo 4. Trees 21-23.



Photo 5. Tree 23.



Photo 6. Tree 24.



Photo 7. Tree 25.

Appendix II – Tree Inventory

Date: August 17, 2023



Chart Details:

Tree #: Inventoried trees were assigned an identification number

Species: Includes the botanical name and common name of each tree.

DBH: Diameter in cm measured at 1.4 meters from the ground (diameter at breast height). DBH measurements for trees on neighboring properties are estimated.

Crown Radius: Average radius of drip line in meters.

Biological Condition Rating: Overall condition rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on overall health.

Structural Condition Rating: Overall rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on tree Structure.

Condition Comments: Specific observations from the visual assessment that have informed the condition rating.

Minimum TPZ: Minimum required tree protection zone in meters.

Ownership Category: Ownership of tree based on the supplied survey.

Recommended Action & Details: Arborist Recommendations.

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Acer negundo</i> (Manitoba maple)	19	2	Fair	Fair	Bifurcates at ~1.5m with fair union; fair shoot extension.	3	Private	Preserve
2	<i>Acer negundo</i> (Manitoba maple)	35	4	Fair	Fair	Two main stems from base (~25 & 25cm DBH); fair shoot extension.	5	Neighbor	Preserve

7302 Kalar Rd. - Tree Inventory
Appendix II

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
3	<i>Acer negundo</i> (Manitoba maple)	21	2.5	Fair	Fair	Two main stems from base (~15 & 15cm DBH); fair shoot extension.	4.5	Neighbor	Preserve
4	<i>Ulmus americana</i> (American elm)	35	4	Good	Fair	Multiple main leaders at ~2m; full crown.	5	Boundary	Preserve
5	<i>Pyrus calleryana</i> (Callery pear)	13	2	Good	Good	Good central leader; full crown.	3	Private	Injure - due to molok installation.
6	<i>Fraxinus pennsylvanica</i> (green ash)	13	0	Dead	Poor	Dead - Emerald Ash Borer.	1	Private	Remove - due to condition.
7	<i>Ulmus americana</i> (American elm)	12	2.5	Fair	Fair	Multiple leaders; fair shoot extension.	3.5	Private	Injure - due to proposed underground parking.
8	<i>Ulmus americana</i> (American elm)	13	4	Fair	Fair	Minorly sparse; multiple leaders.	5	Private	Remove - due to proposed underground parking.
9	<i>Acer negundo</i> (Manitoba maple)	36	3.5	Fair	Fair	Multiple stems (25, 20 & 17cm DBH); fair shoot extension.	4.5	Private	Remove - due to proposed underground parking.
10	<i>Fraxinus pennsylvanica</i> (green ash)	14	2	Poor	Fair	Good central leader; significant dieback due to Emerald Ash Borer.	3	Private	Remove - due to proposed underground parking & parking lot.

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Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
11	<i>Ulmus americana</i> (American elm)	14	3	Fair	Fair	Minorly sparse; multiple leaders.	4	Private	Remove - due to proposed underground parking & parking lot.
12	<i>Ulmus americana</i> (American elm)	10	2.5	Fair	Fair	Minorly sparse; multiple leaders.	3.5	Private	Remove - due to proposed underground parking & parking lot.
13	<i>Ulmus americana</i> (American elm)	23	3	Fair	Fair	Minorly sparse; multiple leaders.	4	Private	Remove - due to proposed underground parking & parking lot.
14	<i>Populus deltoides</i> (Eastern cottonwood)	30	4	Fair	Fair	Decurrent habit; fair shoot extension.	5	Private	Remove - due to proposed underground parking & parking lot.
15	<i>Ulmus americana</i> (American elm)	18	2.5	Good	Fair	Multiple leaders; full crown.	3.5	Private	Remove - due to proposed underground parking & parking lot.
16	<i>Pyrus communis</i> (European pear)	10	2	Good	Fair	Fair central leader; heavy fruit.	3	Private	Remove - due to proposed underground parking & parking lot.

7302 Kalar Rd. - Tree Inventory
Appendix II

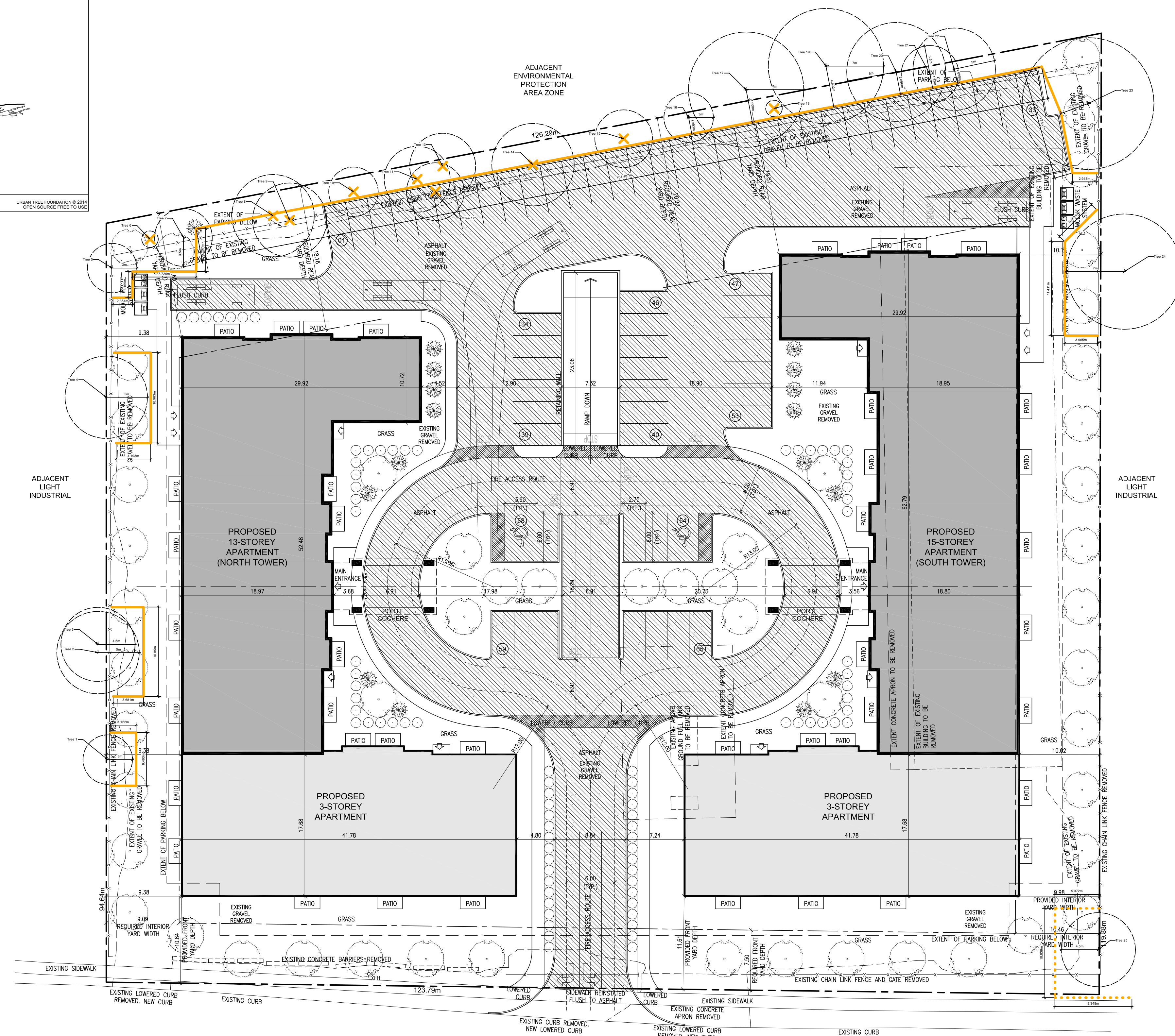
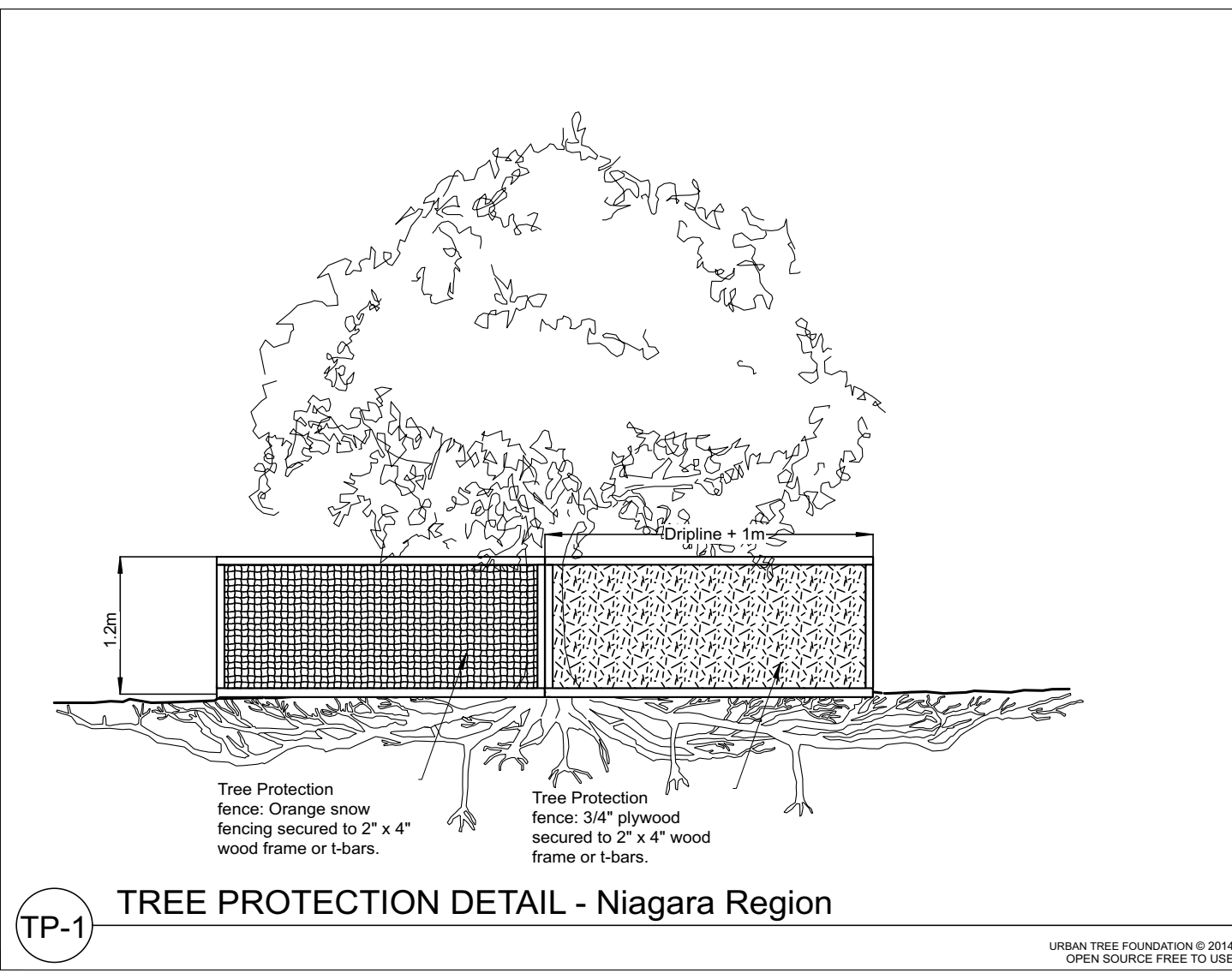
Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
17	<i>Salix alba</i> (white willow)	50	6	Good	Fair	Multiple leaders; good shoot extension.	7	Neighbor	Injure - due to proposed underground parking & parking lot.
18	<i>Fraxinus pennsylvanica</i> (green ash)	35	0	Dead	Poor	Dead - Emerald Ash Borer.	1	Private	Remove - due to condition.
19	<i>Populus deltoides</i> (Eastern cottonwood)	50	6	Fair	Fair	Decurrent habit; fair shoot extension.	7	Neighbor	Injure - due to proposed underground parking & parking lot.
20	<i>Populus deltoides</i> (Eastern cottonwood)	45	5	Good	Fair	Decurrent habit; good shoot extension.	6	Potential Boundary	Injure - due to proposed underground parking & parking lot.
21	<i>Populus deltoides</i> (Eastern cottonwood)	20	2.5	Fair	Good	Good central leader; fair shoot extension.	3.5	Private	Injure - due to proposed underground parking & parking lot.
22	<i>Prunus serotina</i> (black cherry)	33.5	4	Good	Fair	Multiple stems from base (~15, 16, 17, 10, 13 & 9cm DBH); full crown.	5	Private	Injure - due to proposed underground parking & parking lot.

7302 Kalar Rd. - Tree Inventory

Appendix II

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
23	<i>Quercus macrocarpa</i> (Bur oak)	87	7	Fair	Fair	Decurrent habit; minor tip dieback; epicormics on scaffold limbs.	8	Private	Injure - due to proposed underground parking & parking lot.
24	<i>Populus deltoides</i> (Eastern cottonwood)	50	6	Good	Fair	Decurrent crown; full crown.	7	Neighbor	Preserve
25	<i>Ulmus americana</i> (American elm)	22	3.5	Fair	Fair	Decurrent top; fair shoot extension.	4.5	Private	Preserve

Appendix III – Tree Protection Plan



Tree Protection Comments:

- Tree protection comments were added by the arborist to a site plan created by Peter J. Lesdow Architect dated April 8, 2023 drawing # A-1 project # 23-05.
- It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
- Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved or removed until authorized by Urban Forestry.
- Tree Protection Zones (TPZ) distances must be measured from the outside edge at the base of the tree.
- During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.
- All landscape and gravel removal work within the Minimum Tree Protection Zones (MTPZs) of affected trees must be completed using hand tools only.
- At the completion of the project, the Forestry Department is to be notified prior to removal of the tree protection fencing on the site. With approval, the fencing may be dismantled.

**Tree Protection Plan
Appendix III**

**7302 Kalar Rd.
Niagara Falls, ON.**

Legend:

- Tree Removal
- 4' Tall Snow Fence Tree Protection Fencing
- 4' Tall Plywood Tree Protection Fencing
- Tree Protection Zone

Prepared For:

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Scale: 1 - 300

Drawn By: Kyle Berwick

Last Revised: Aug 17, 2023

Date Created: Aug 17, 2023

Drawing No.
TPP1

KALAR ROAD