

MONTROSE ROAD
REGIONAL ROAD No. 98

LOT 194

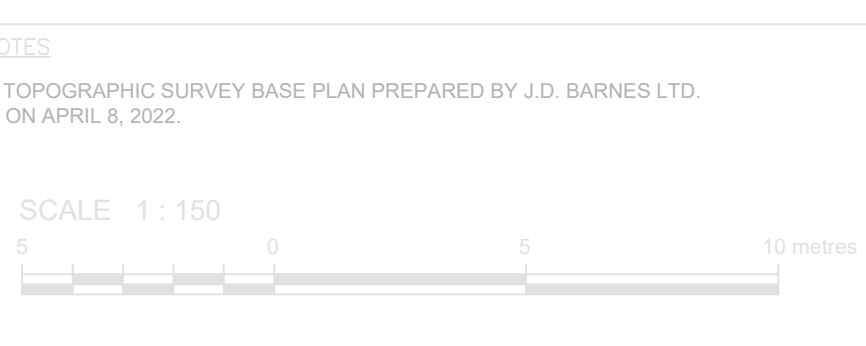
REGISTERED LOT 193

LEGEND

○	MANHOLE	TFW	TOP OF FOUNDATION WALL
□	CATCHBASIN	USF	UNDERSIDE OF FOOTINGS
•	UTILITY POLE	GF	GARAGE FLOOR LEVEL
⊕	TELEPHONE PEDESTAL	x (191.00)	EXISTING GRADE ELEVATION
⊕	CONIFEROUS TREE	- - -	PROPOSED GRADE ELEVATION
⊕	DECIDUOUS TREE	→	CENTERLINE OF PROPOSED SWALE
		1%	OVERLAND FLOW DIRECTION

UNIT 1 TO 5:	TFW - USF = 2.54m
UNIT 6 TO 10:	TFW - USF = 2.90m
ALL SANITARY LATERAL INVERTS: 50mm ABOVE TO MAIN SEWER INVERTS ARE ARE 100mm @ 1%	

NO.	REVISION	DATE	INIT.
1	TOPOGRAPHIC SURVEY BASE PLAN PREPARED BY J.D. BARNES LTD. ON APRIL 8, 2022.		
2	REVISED STW & CBMH LOCATIONS	2024-04-03	W.M.
3	CLIENT REVISIONS	2023-05-16	W.M.
4	CLIENT REVISIONS	2022-12-08	W.M.
5	CLIENT REVISIONS	2022-11-22	W.M.
6	REVISED TFW, USF, SANITARY PROFILE	2022-11-09	W.M.
7	REVISED FOOTPRINT	2022-09-06	W.M.
8	FOR CITY REVIEW	2022-07-19	W.M.



DRAFTING: D.R.

DESIGN: W.M.

CHECKED BY: W.M.

APPROVED BY: W.M.

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FRANK COSTANTINO CONST. LTD.

TOWNHOUSES - 10 UNITS

4257 MONTROSE ROAD, NIAGARA FALLS, ON

SITE GRADING & SERVICING PLAN

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

CONSULTANT FILE No.	22-011
DATE	2024-04-03
SCALE	1:150
REF. No.	
DWG No.	22-011-SSGP-1
REV.	7