

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE	REVISION:

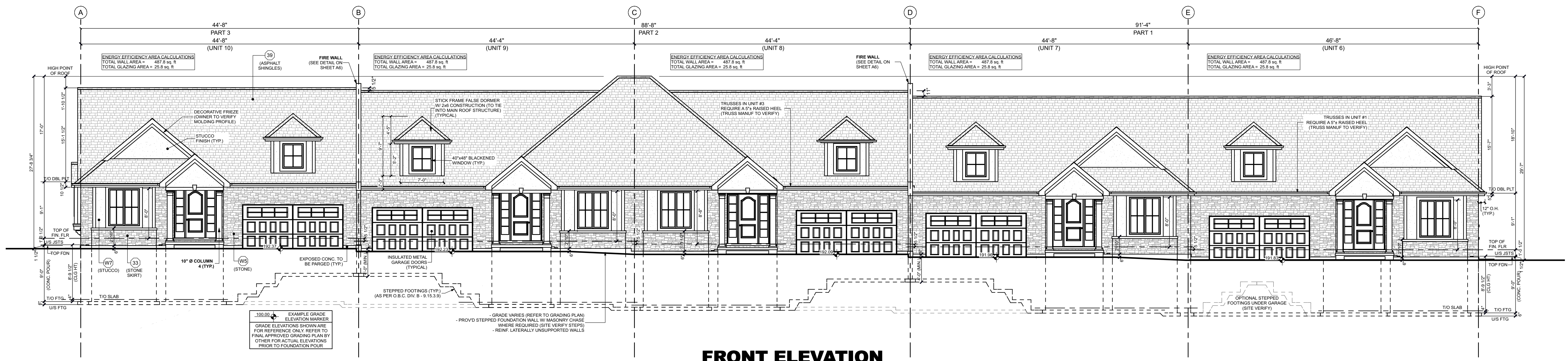
CERTIFICATION:
PRICING DRAWINGS
NOT TO BE USED FOR CONSTRUCTION

DESIGNED BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

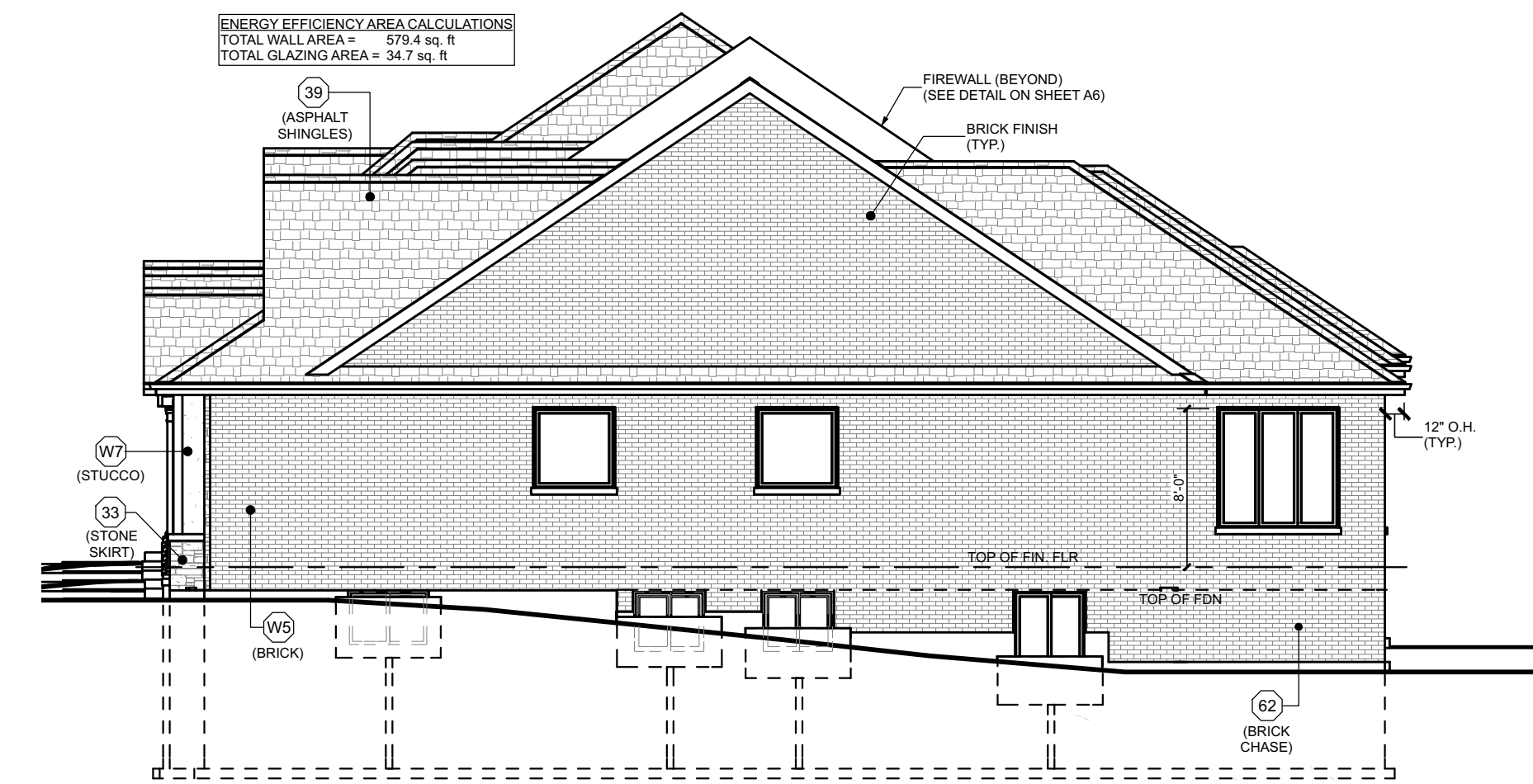
TITLE: **ELEVATIONS, EXTERIOR 3D PERSPECTIVES**



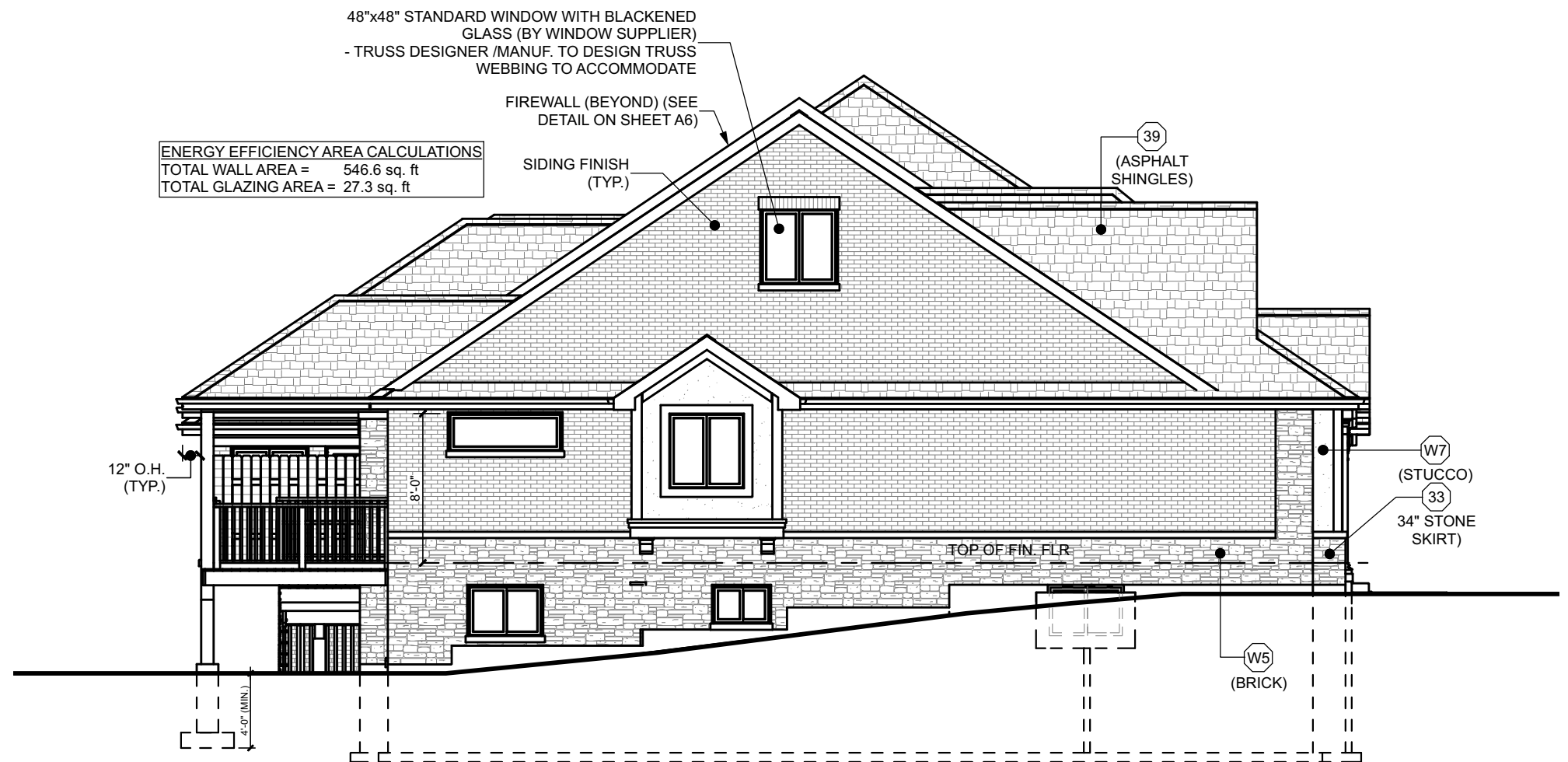
FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



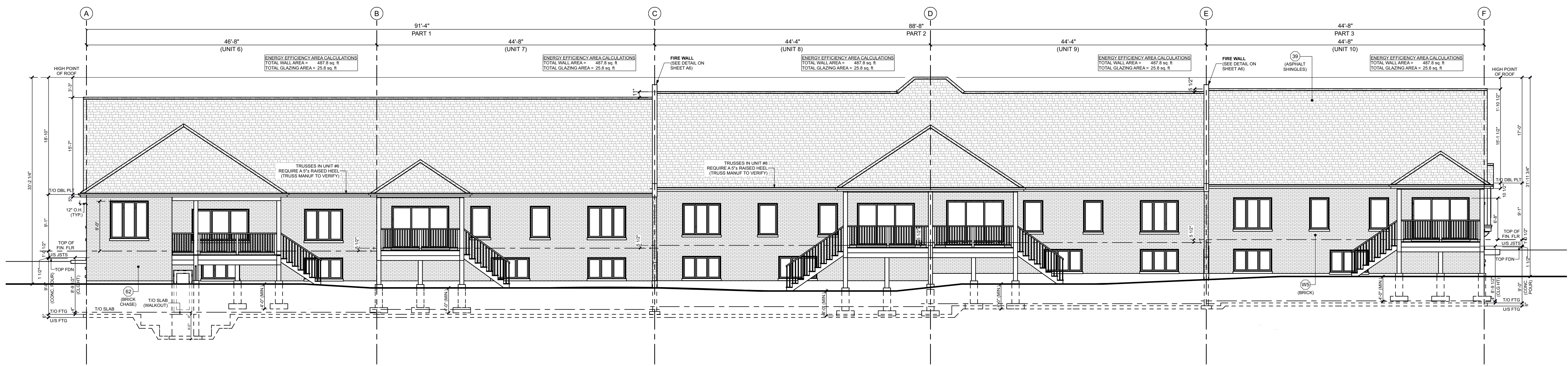
EXTERIOR 3D PERSPECTIVES COMING SOON



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

FOR INTERIOR DIMENSIONS, NOTES AND STRUCTURE REFER TO THE TYPICAL UNIT LAYOUT PLANS ON SHEET A3 - A5

CORRIVEAU CADD
 CorriveauHomeDesign.com
 4065 STANLEY AVENUE, UNIT 2
 NIAGARA FALLS, ON L2E 4Z2 1 (905) 358-5535
 Email: CorrCADD@gmail.com

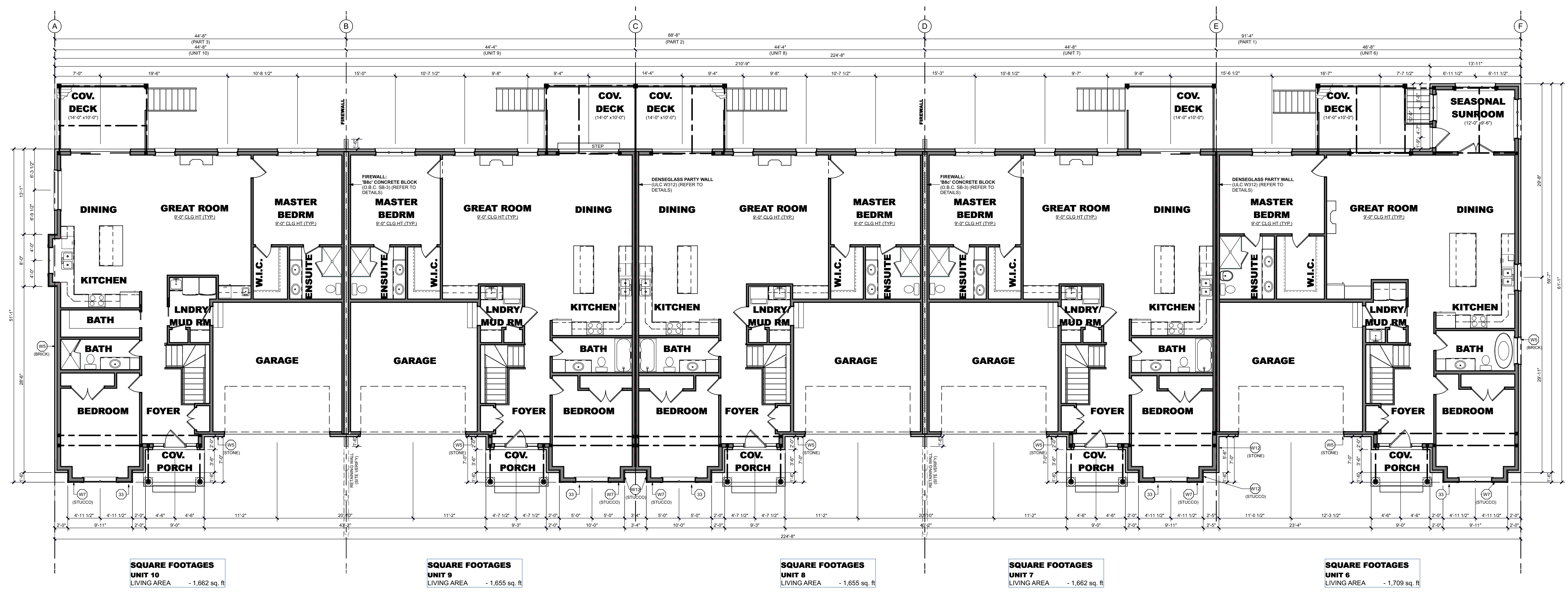
COMMISSION: **COSTANTINO CONSTRUCTION**
 TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 2 UNITS 6-10**
 4257 MONTROSE ROAD
 NIAGARA FALLS, ONTARIO

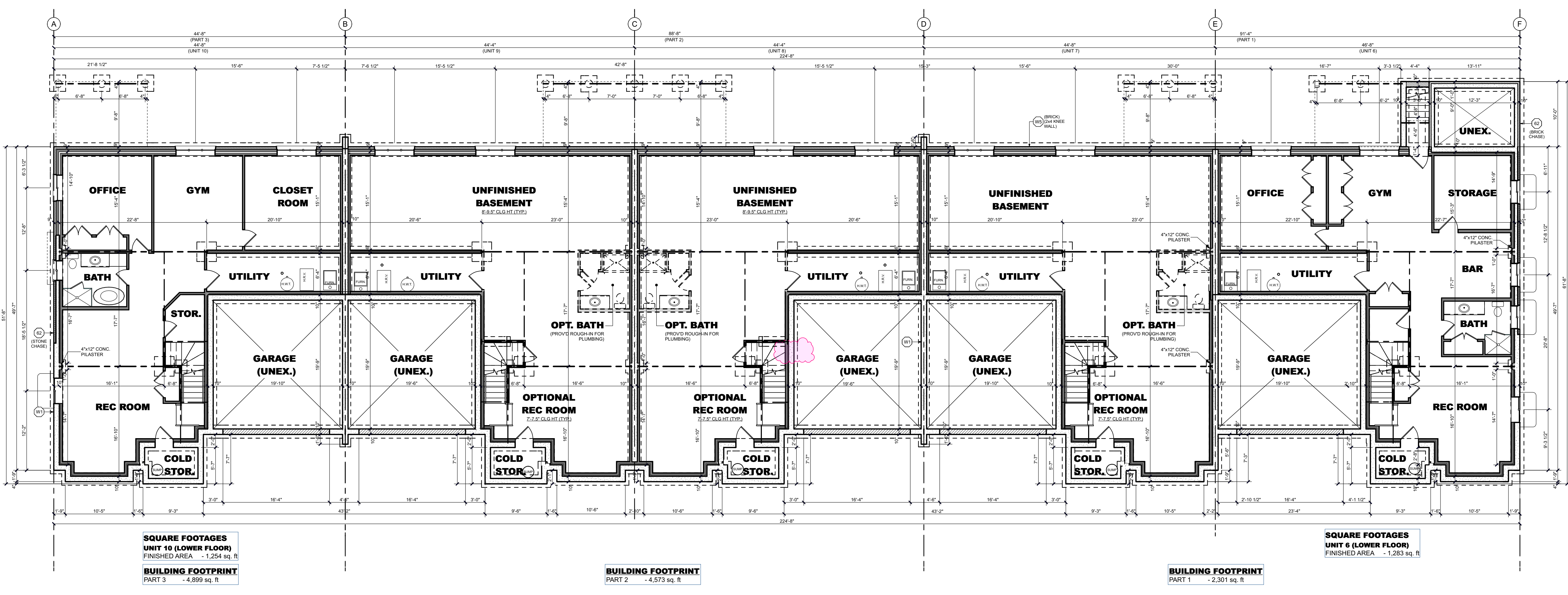
NOTES:
ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL "B" - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER, BUILDER & CONTRACTOR.
- 7 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR.
- 8 - ROOF LAYOUT & GIRDERS TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.



MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"



FOUNDATION PLAN
 9'-0" CONCRETE POUR HEIGHT
 SCALE: 1/8" = 1'-0"

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE	REVISION:

CERTIFICATION: **PRICING DRAWINGS**
NOT TO BE USED FOR CONSTRUCTION

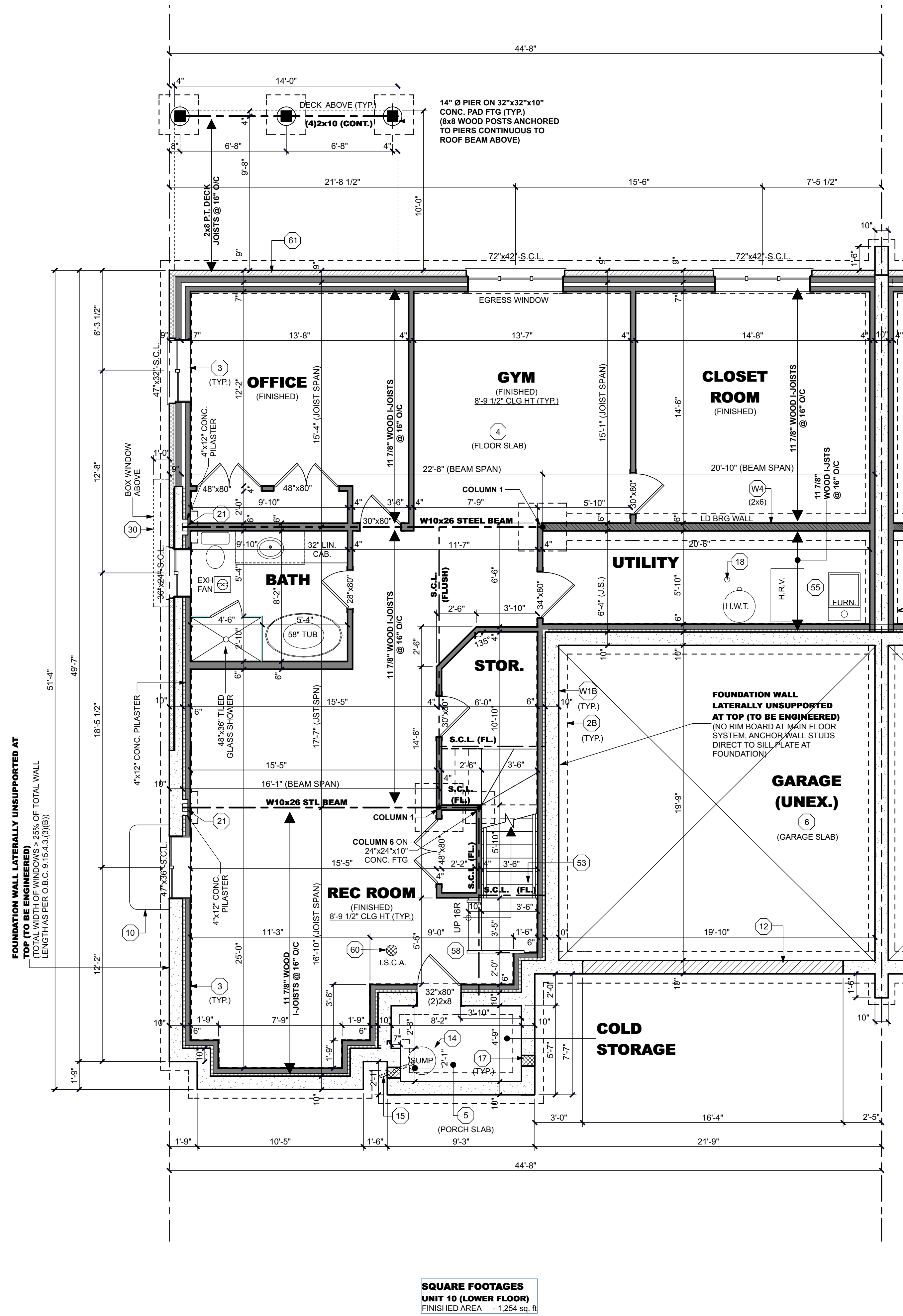
DESIGNED BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

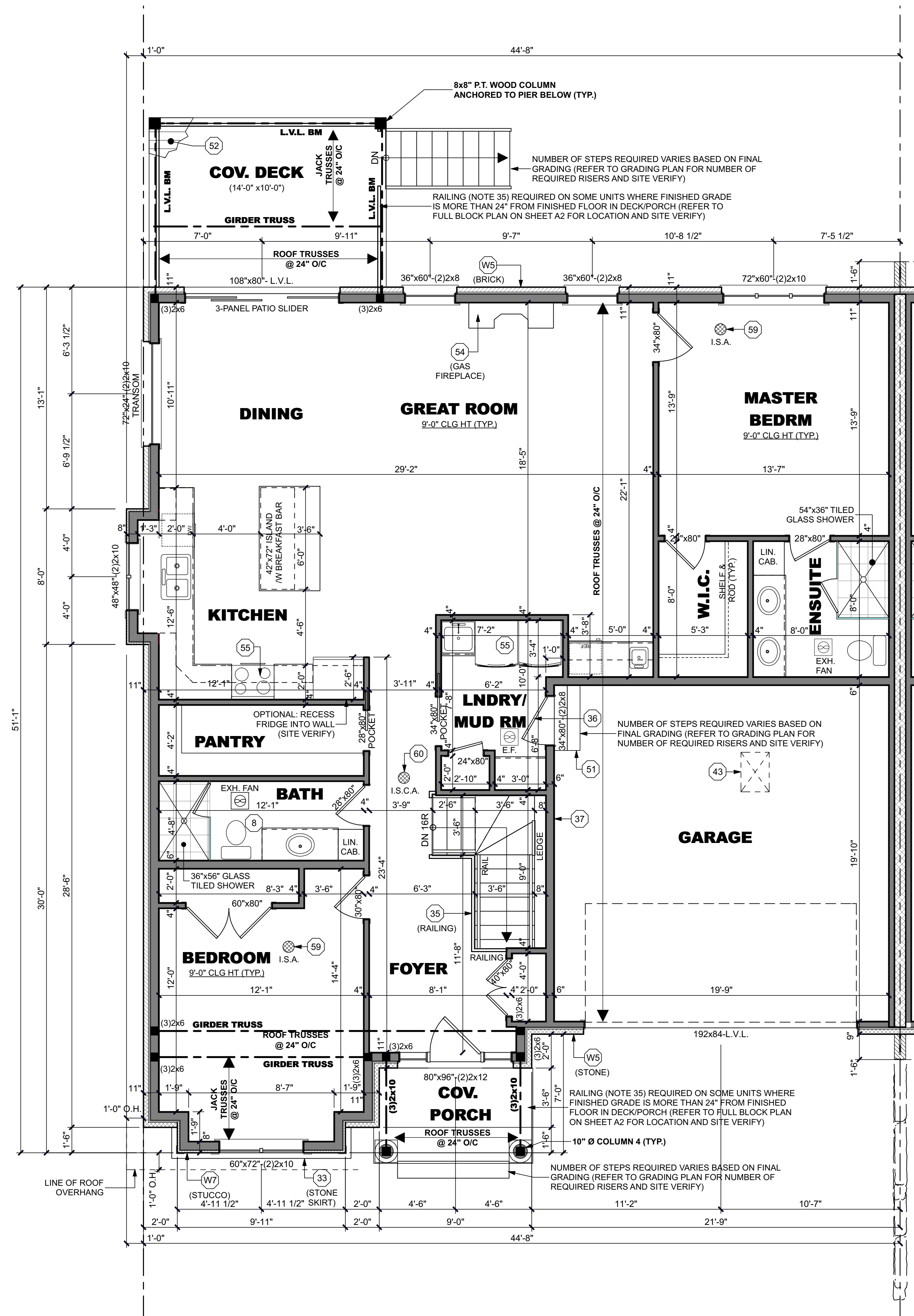
DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE: **MAIN FLOOR PLAN, FOUNDATION PLAN**

TYPICAL FLOOR PLAN LAYOUT:
END UNIT - LEFT
UNIT 10



LOWER FLOOR PLAN
9'-0" CONCRETE POUR HEIGHT
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

COMMISSION: **COSTANTINO CONSTRUCTION**
TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 2 UNITS 6-10**
4257 MONTROSE ROAD
NIAGARA FALLS, ONTARIO

NOTES:
ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL "B" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
- 7 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/BUILDER & CONTRACTOR.
- 8 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE	REVISION:

CERTIFICATION:
PRICING DRAWINGS
NOT TO BE USED FOR CONSTRUCTION

DESIGNED BY: **MIKE CORRIVEAU**

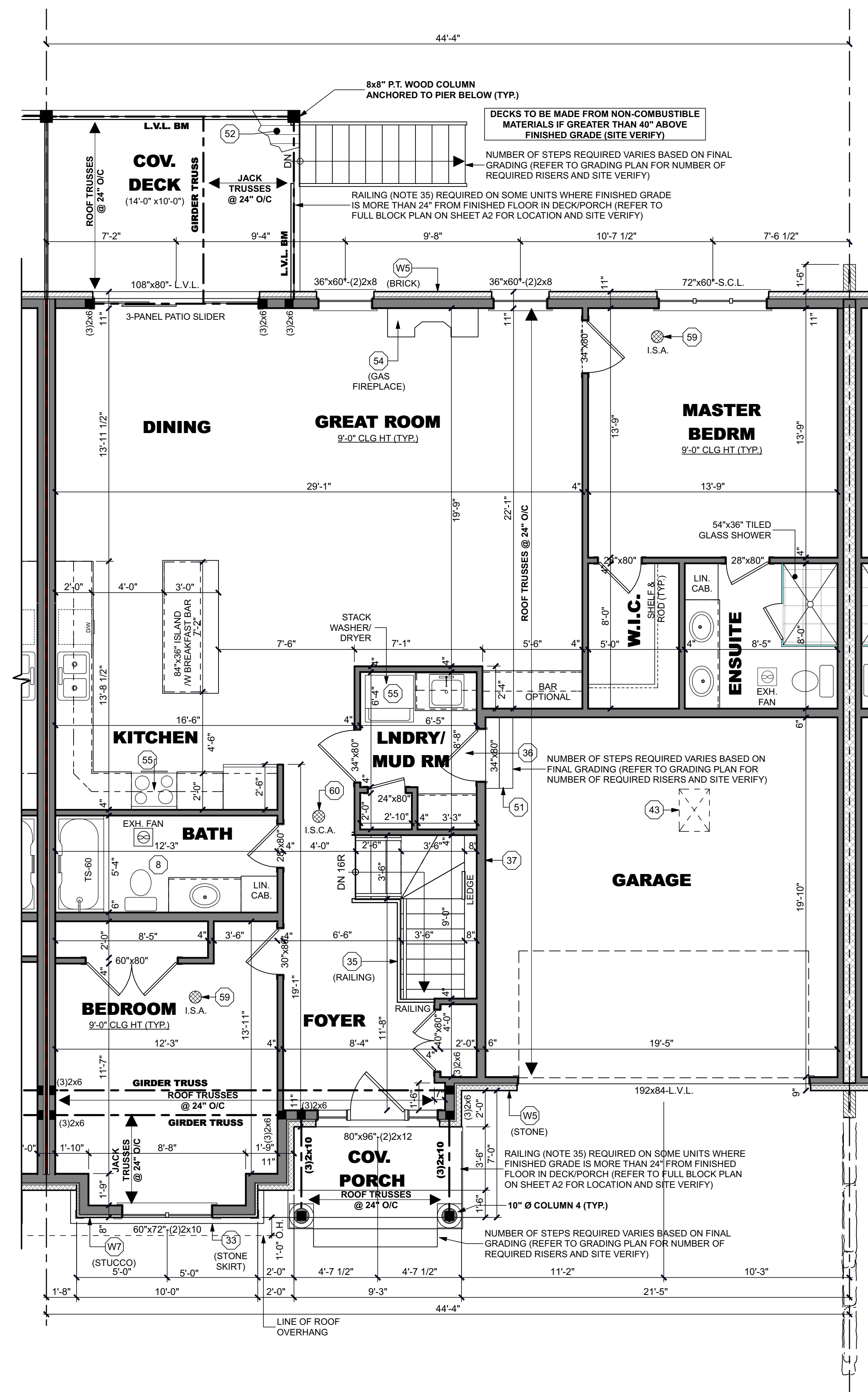
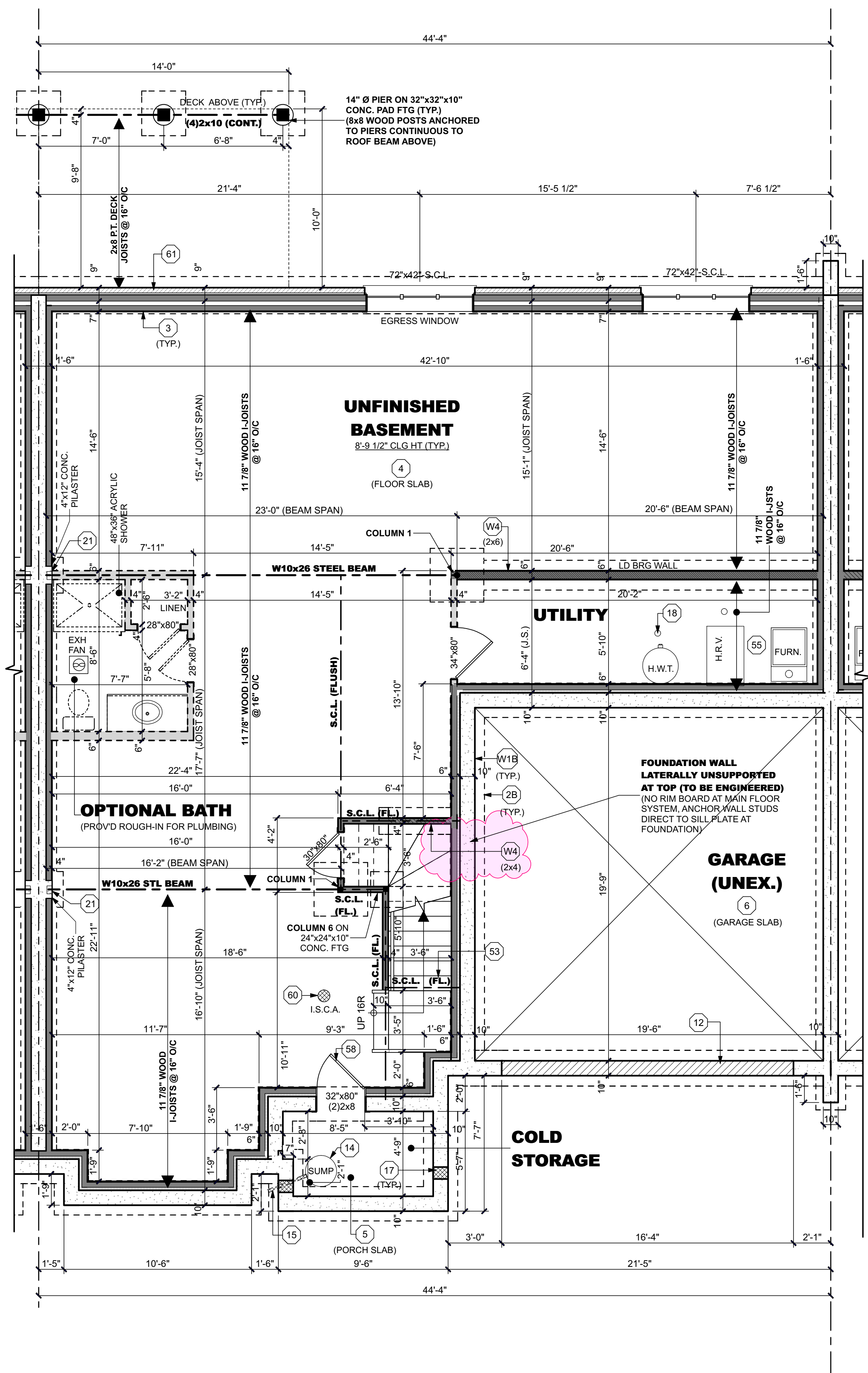
DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE:
**END UNIT - LEFT:
TYPICAL FLOOR PLAN
LAYOUT**

SHEET No. **3 OF 8** **A3**

TYPICAL FLOOR PLAN LAYOUT:
MIDDLE UNIT
UNITS 7, 8, 9



CORRIVEAU CADD
CorriveauHomeDesign.com
4065 STANLEY AVENUE, UNIT 2
NIAGARA FALLS, ON L2E 4Z2 1 (905) 358-5535
Email: CorrCADD@gmail.com

COMMISSION: **COSTANTINO CONSTRUCTION**
TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 2 UNITS 6-10**
4257 MONTROSE ROAD
NIAGARA FALLS, ONTARIO

NOTES:
ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL "B" - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER. BUILDER & CONTRACTOR.
- 7 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE:	REVISION:

CERTIFICATION:
PRICING DRAWINGS
NOT TO BE USED FOR CONSTRUCTION

DESIGNED BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE:
TYPICAL FLOOR PLAN LAYOUT: MIDDLE UNIT

SHEET No. **4 OF 8** **A4**

TYPICAL FLOOR PLAN LAYOUT:
END UNIT - RIGHT
UNIT 6

COMMISSION: **COSTANTINO CONSTRUCTION**
TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 2 UNITS 6-10**
4257 MONTROSE ROAD
NIAGARA FALLS, ONTARIO

NOTES:
ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- ALL 18" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
- ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/BUILDER & CONTRACTOR.
- ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE	REVISION:

CERTIFICATION:
PRICING DRAWINGS
NOT TO BE USED FOR CONSTRUCTION

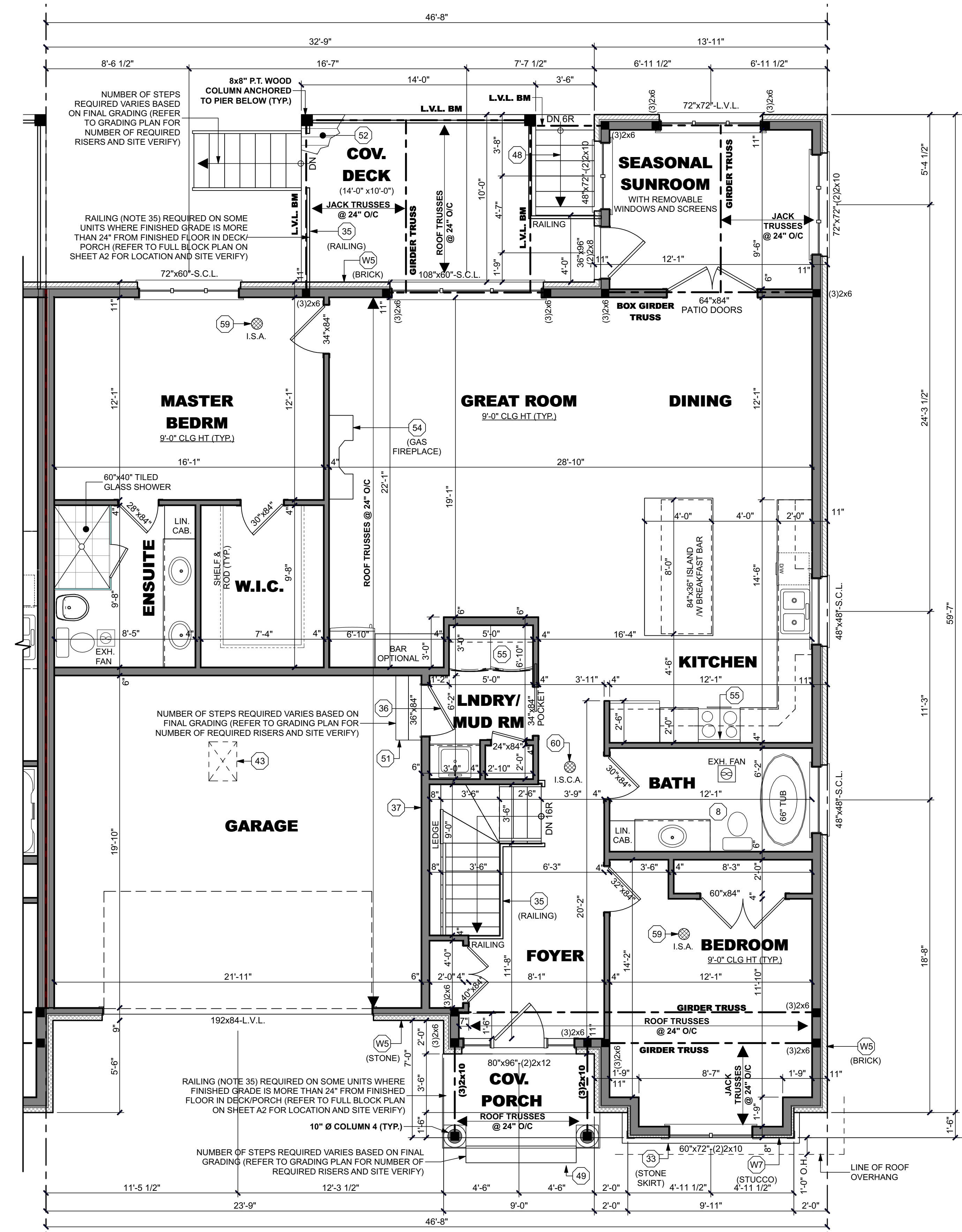
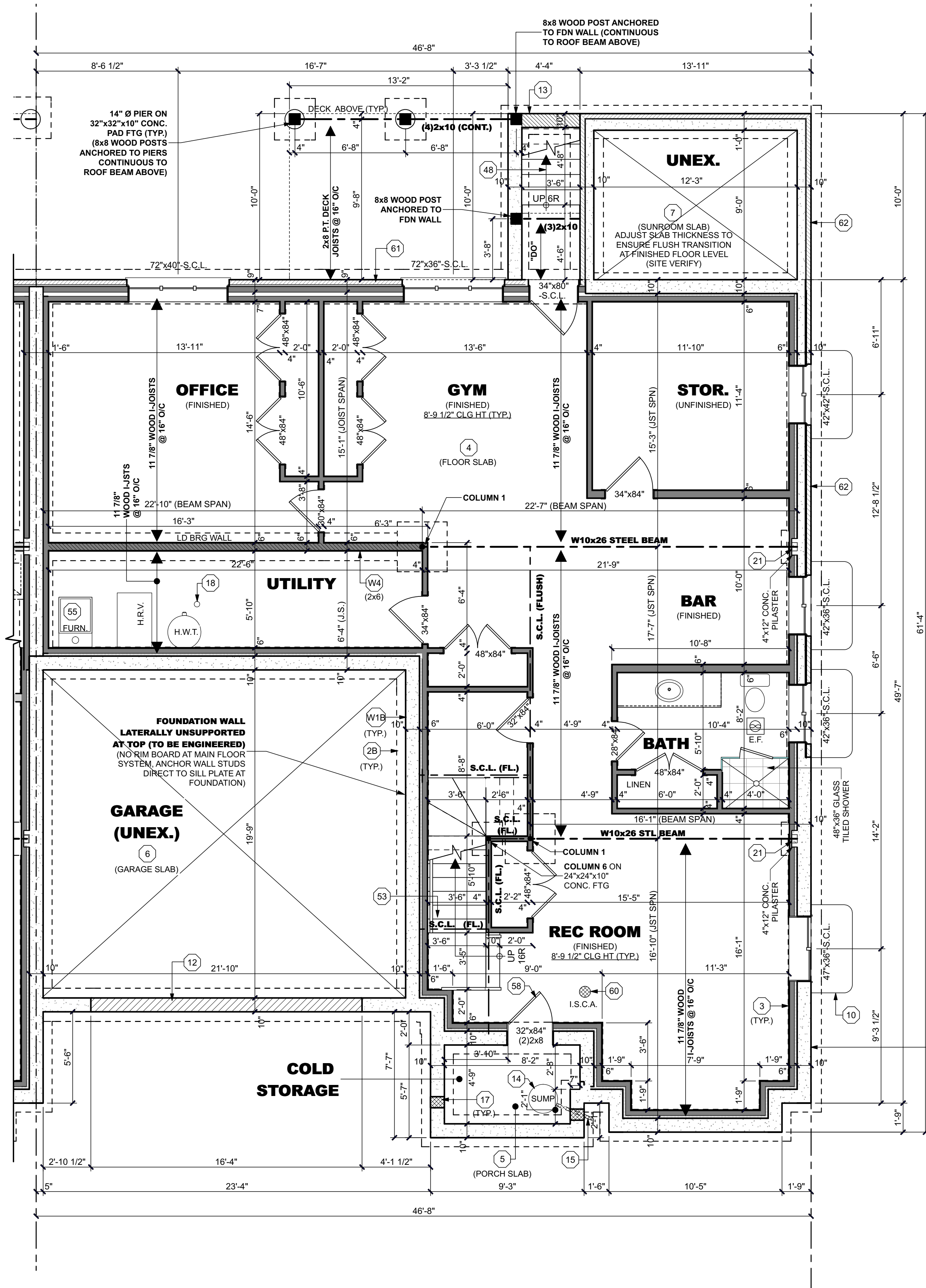
DESIGNED/CHKD BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

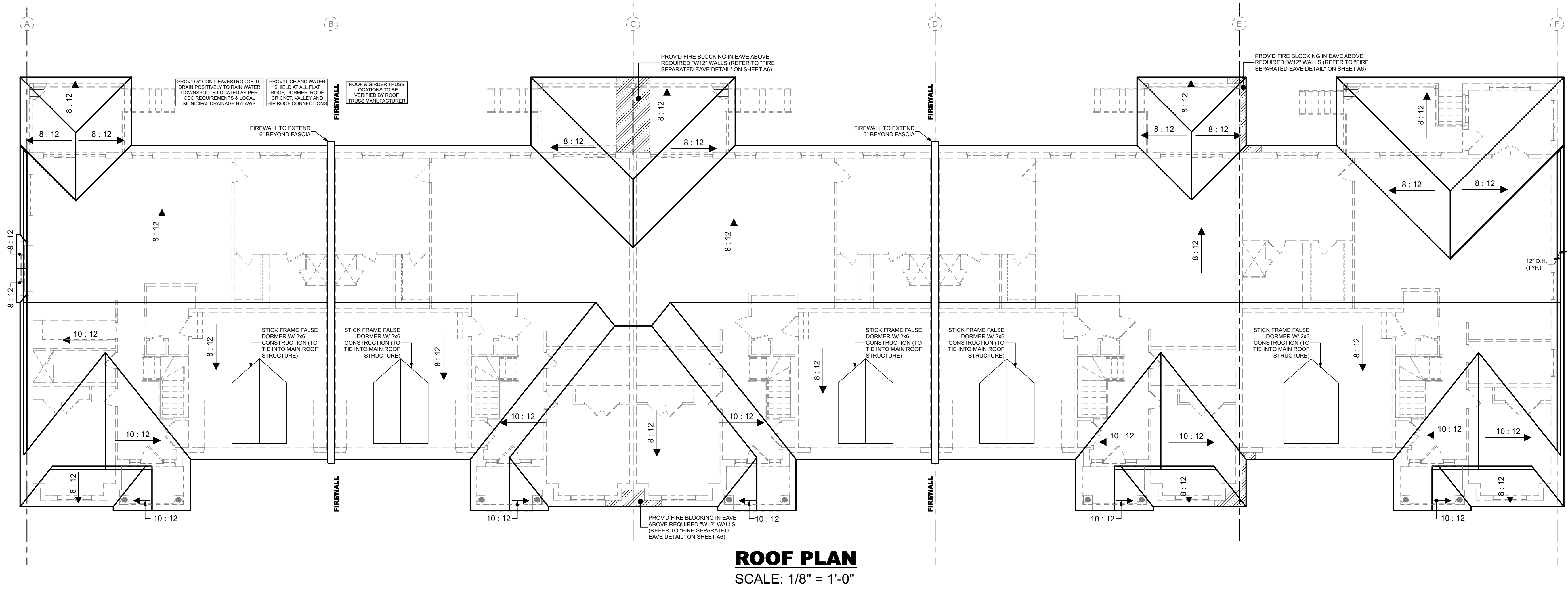
DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE:
**TYPICAL FLOOR PLAN LAYOUT:
END UNIT - RIGHT**

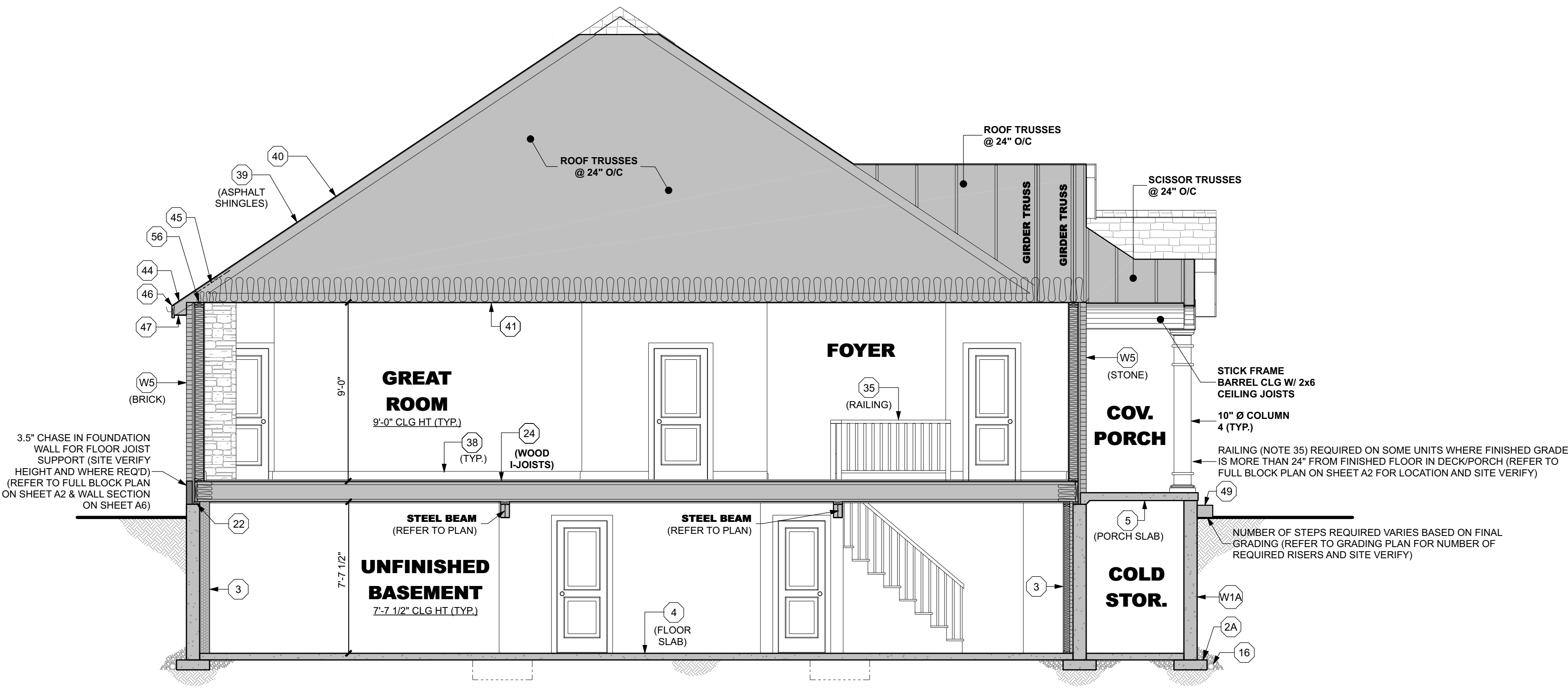
SHEET No. **5 OF 8** **A5**



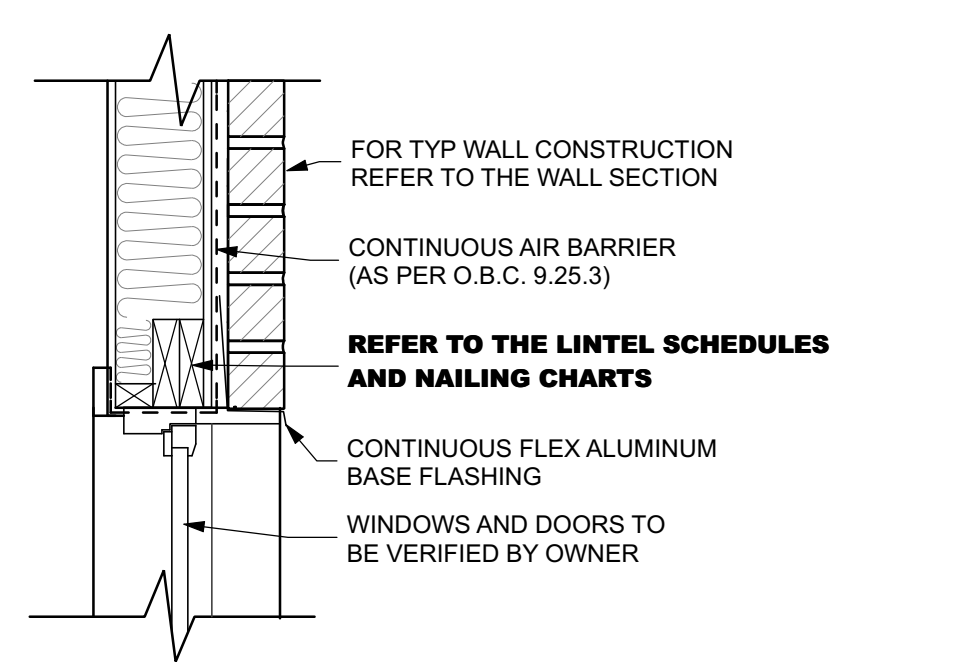
FOUNDATION WALL LATERALLY UNSUPPORTED AT TOP (TO BE ENGINEERED)
(TOTAL WIDTH OF WINDOWS > 25% OF TOTAL WALL LENGTH AS PER O.B.C. 9.15.4.1.3(B))



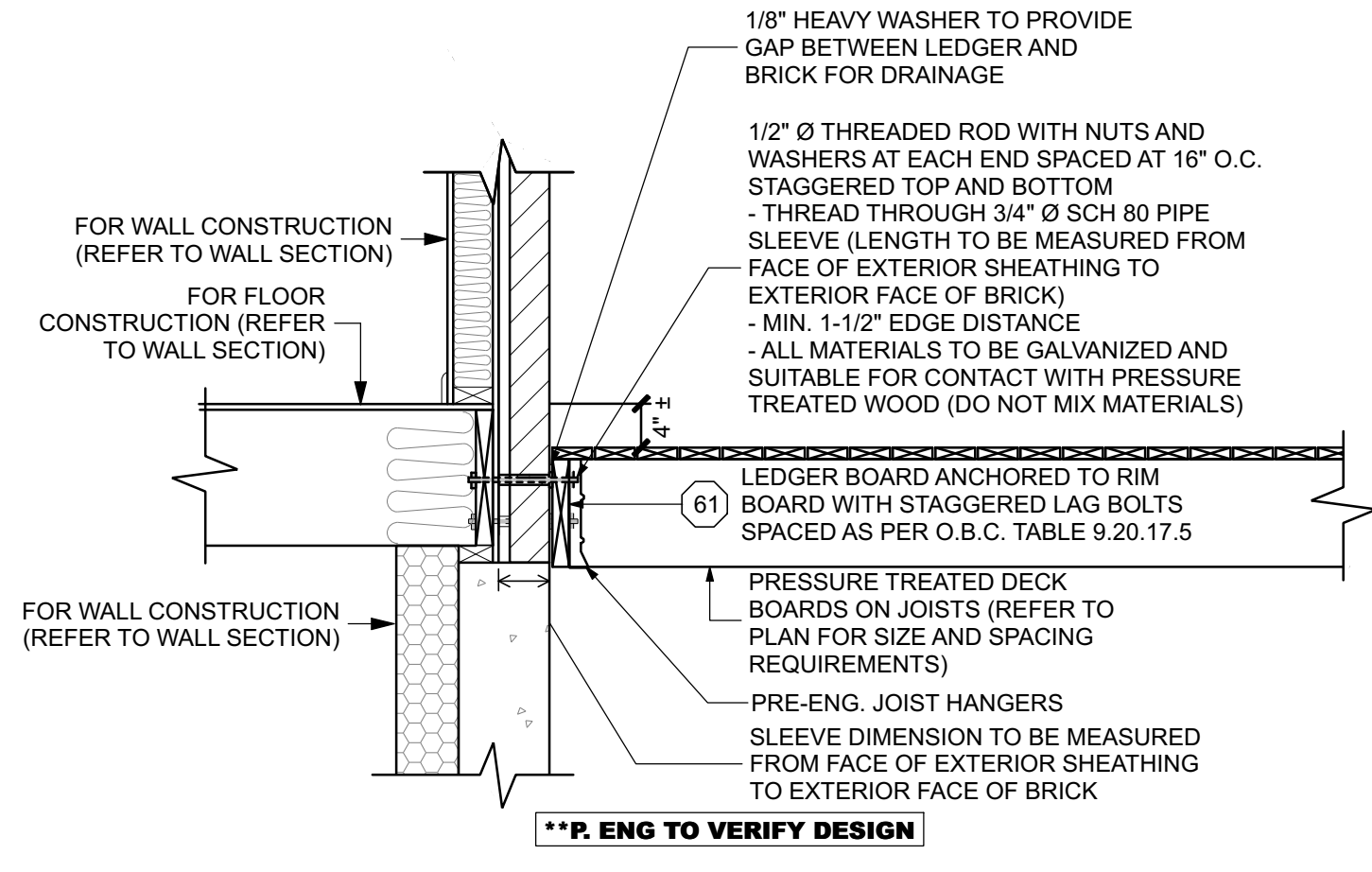
ROOF PLAN
SCALE: 1/8" = 1'-0"



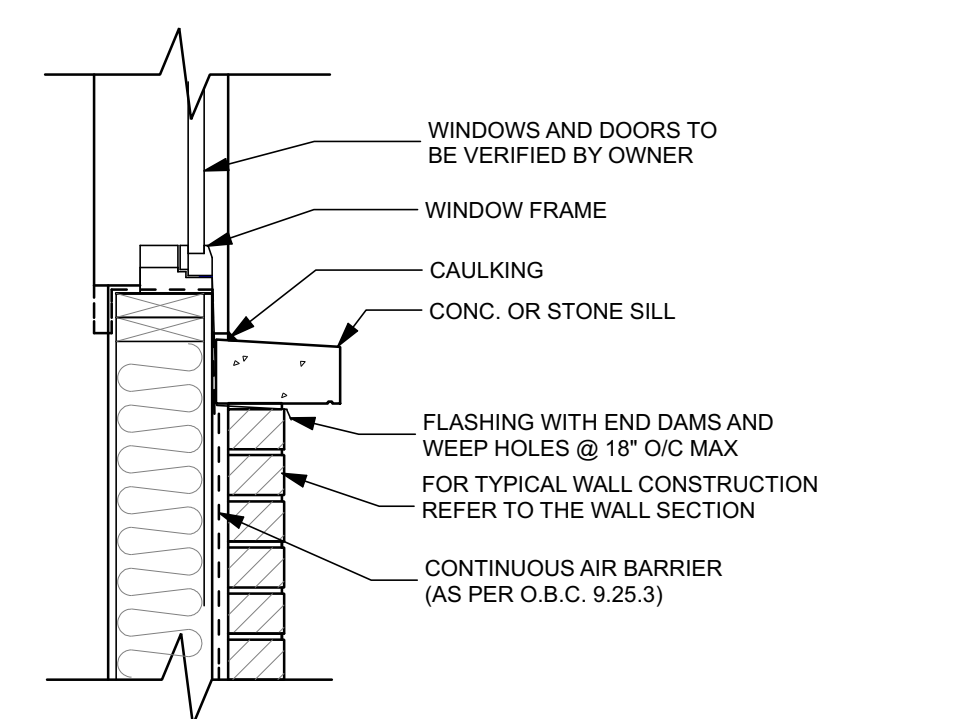
A2 CROSS SECTION
SCALE: 1/4" = 1'-0"



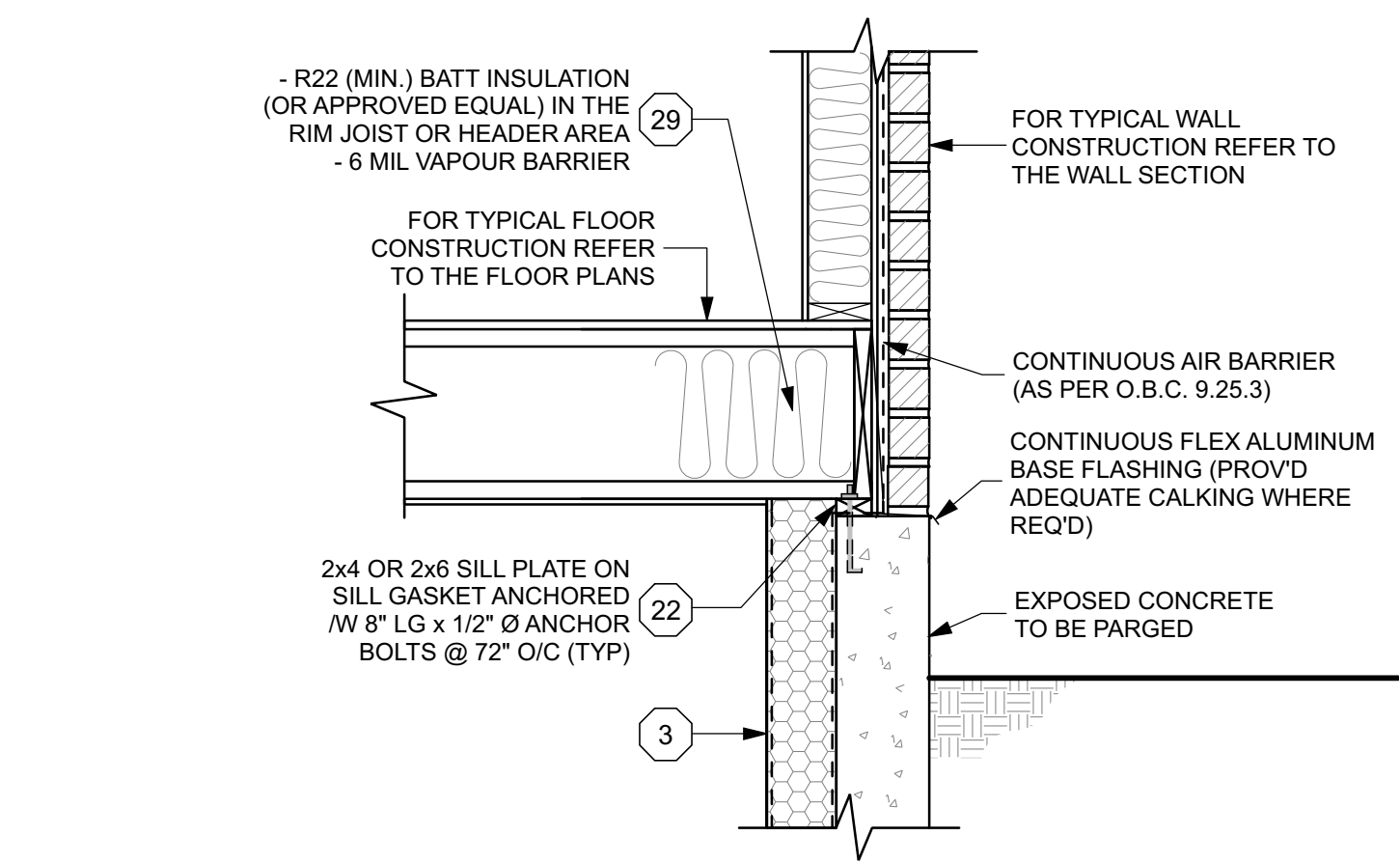
LINTEL DETAIL
SCALE: 1" = 1'-0"



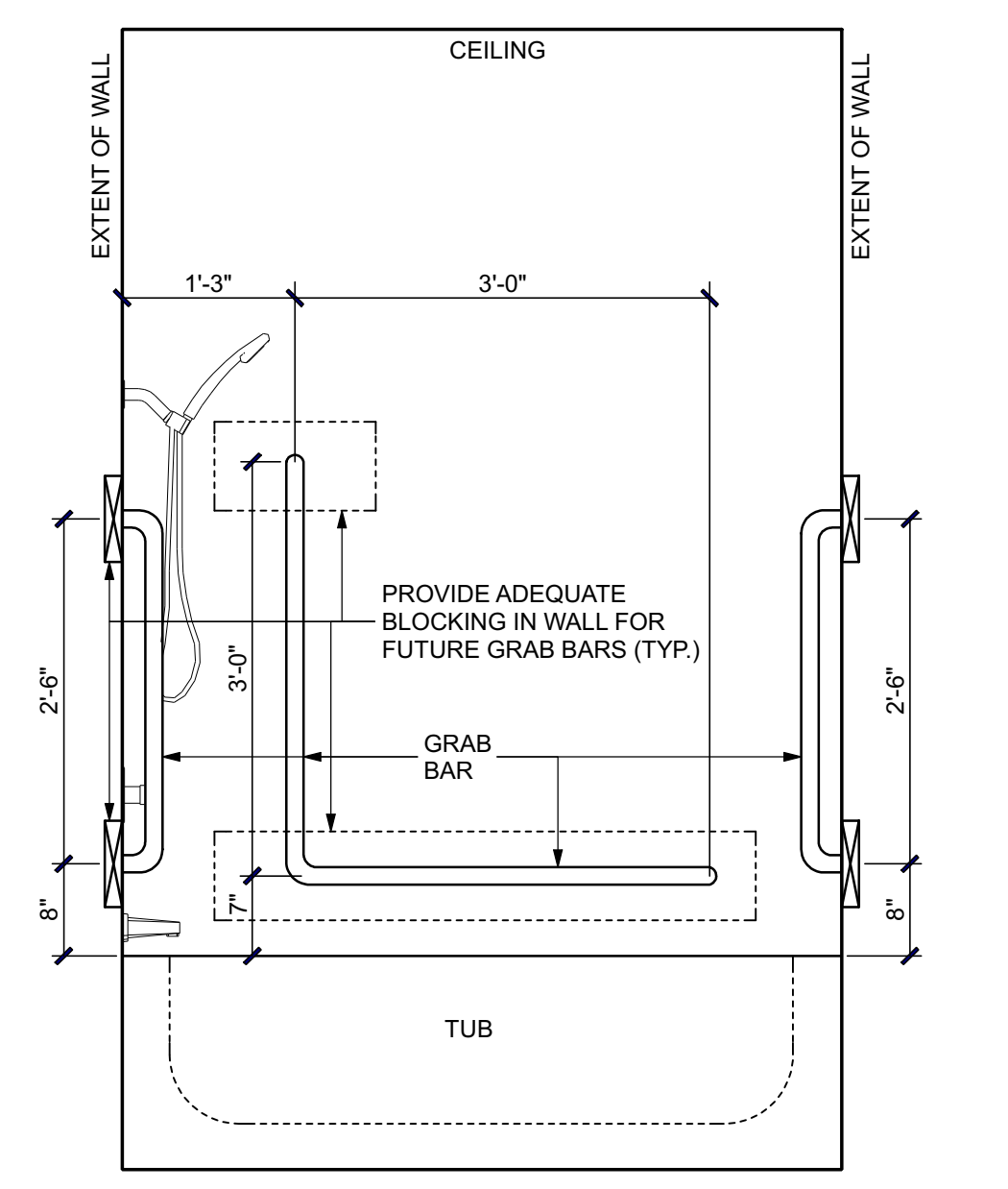
TYPICAL DECK TO MASONRY DETAIL
SCALE: 3/4" = 1'-0"



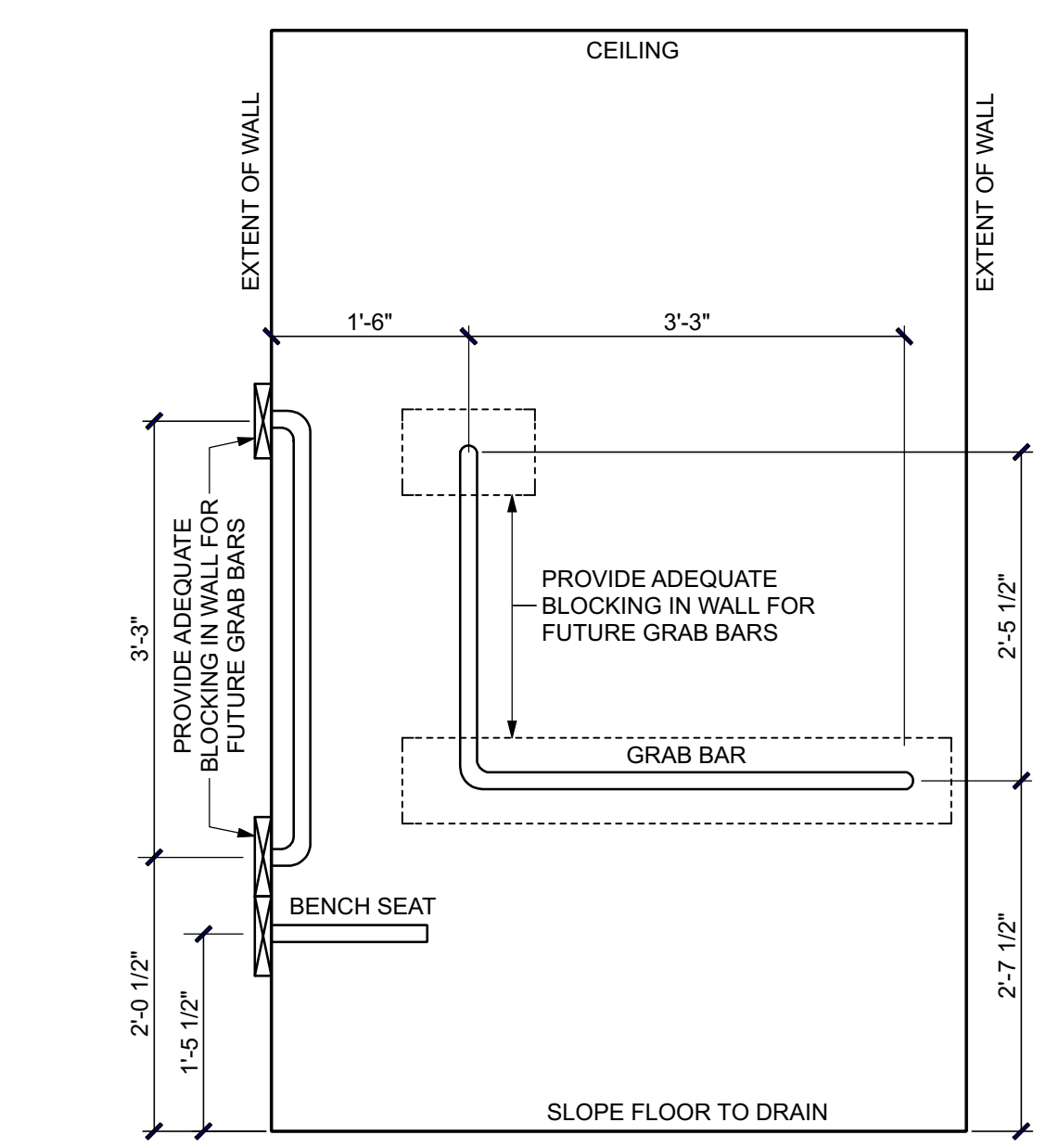
SILL DETAIL
SCALE: 1" = 1'-0"



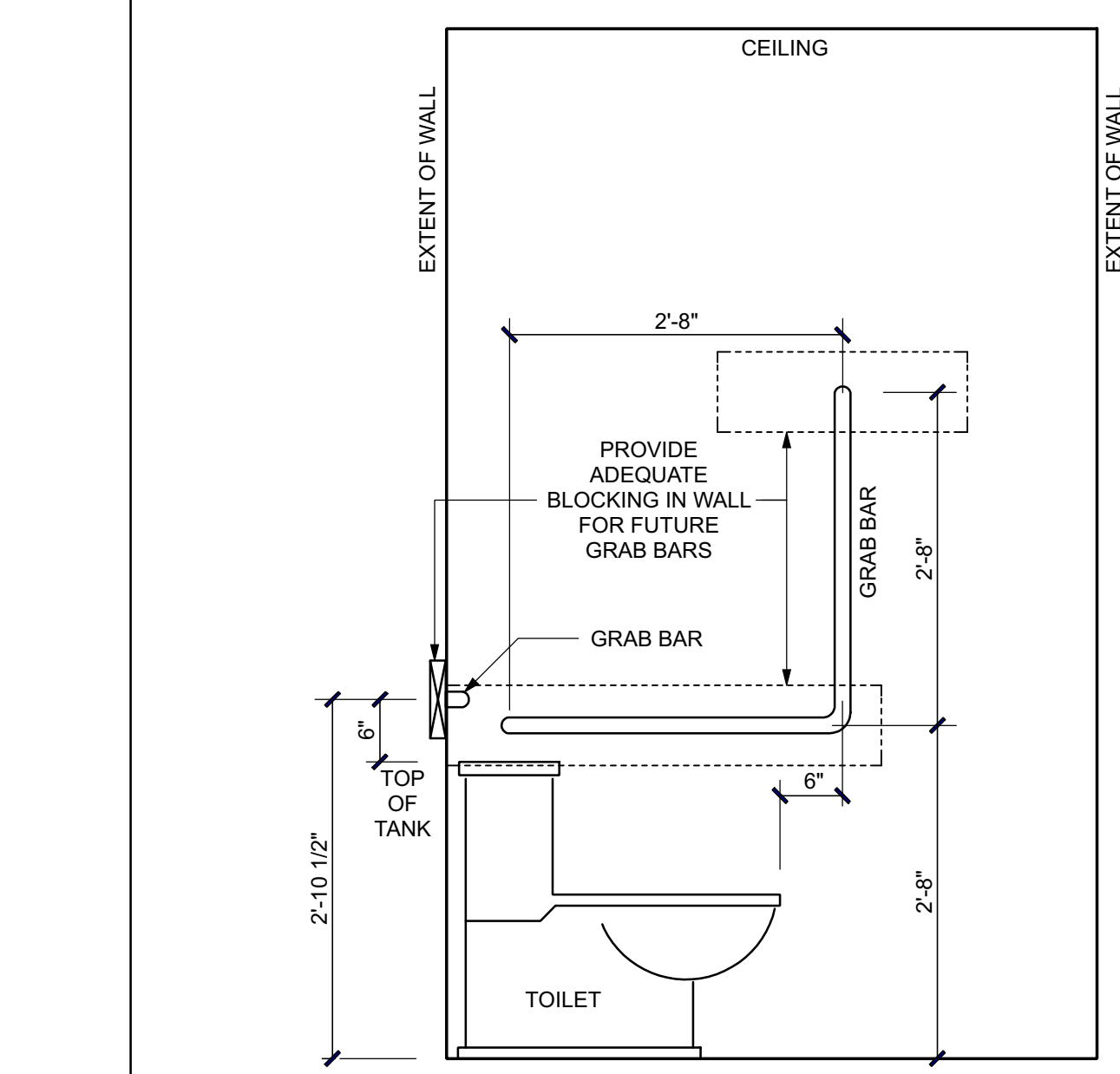
JOIST TO FDN CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



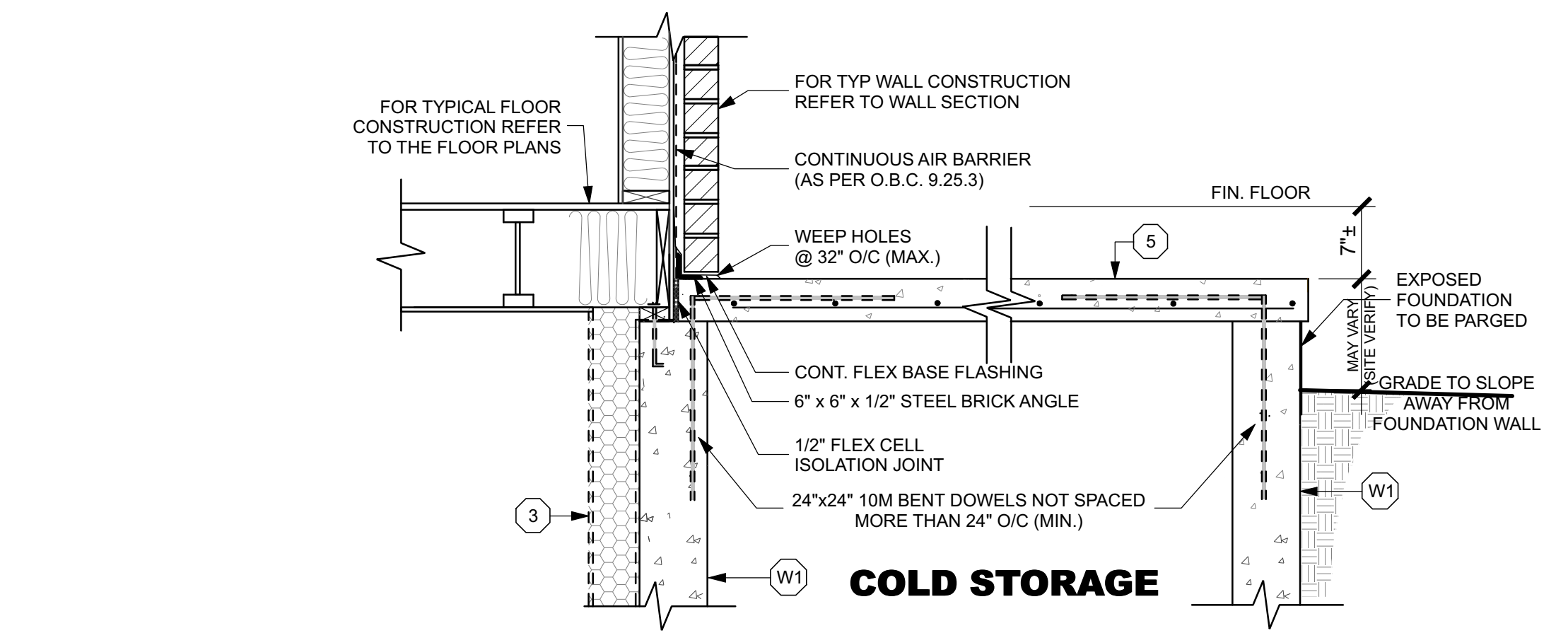
TYPICAL TUB GRAB BAR DETAIL
SCALE: N.T.S.



TYPICAL SHOWER GRAB BAR DETAIL
SCALE: N.T.S.



TYPICAL TOILET GRAB BAR DETAIL
SCALE: N.T.S.



PORCH SLAB DETAIL
SCALE: 3/4" = 1'-0"

COMMISSION: **COSTANTINO CONSTRUCTION**
TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 2 UNITS 6-10**
4257 MONTROSE ROAD
NIAGARA FALLS, ONTARIO

NOTES:
ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- ALL 18" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
- ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/BUILDER & CONTRACTOR.
- ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE	REVISION:

CERTIFICATION: **PRICING DRAWINGS**
NOT TO BE USED FOR CONSTRUCTION

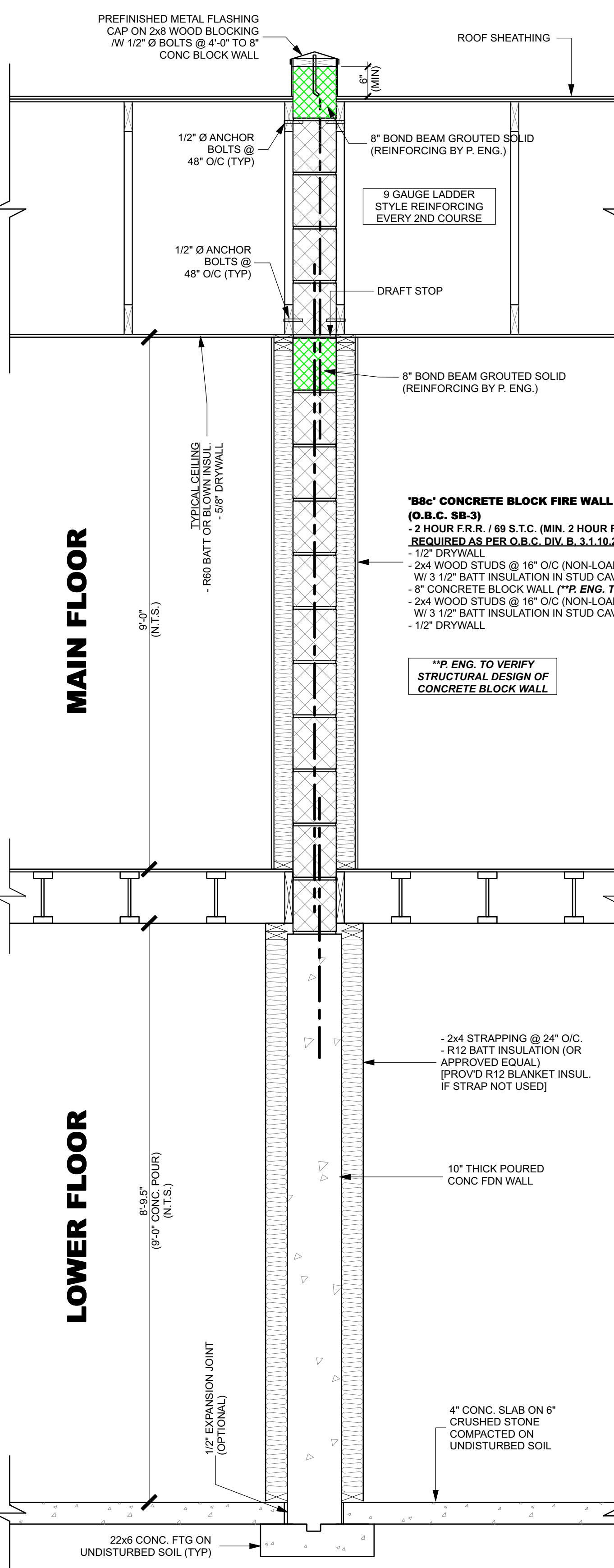
DESIGNED BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

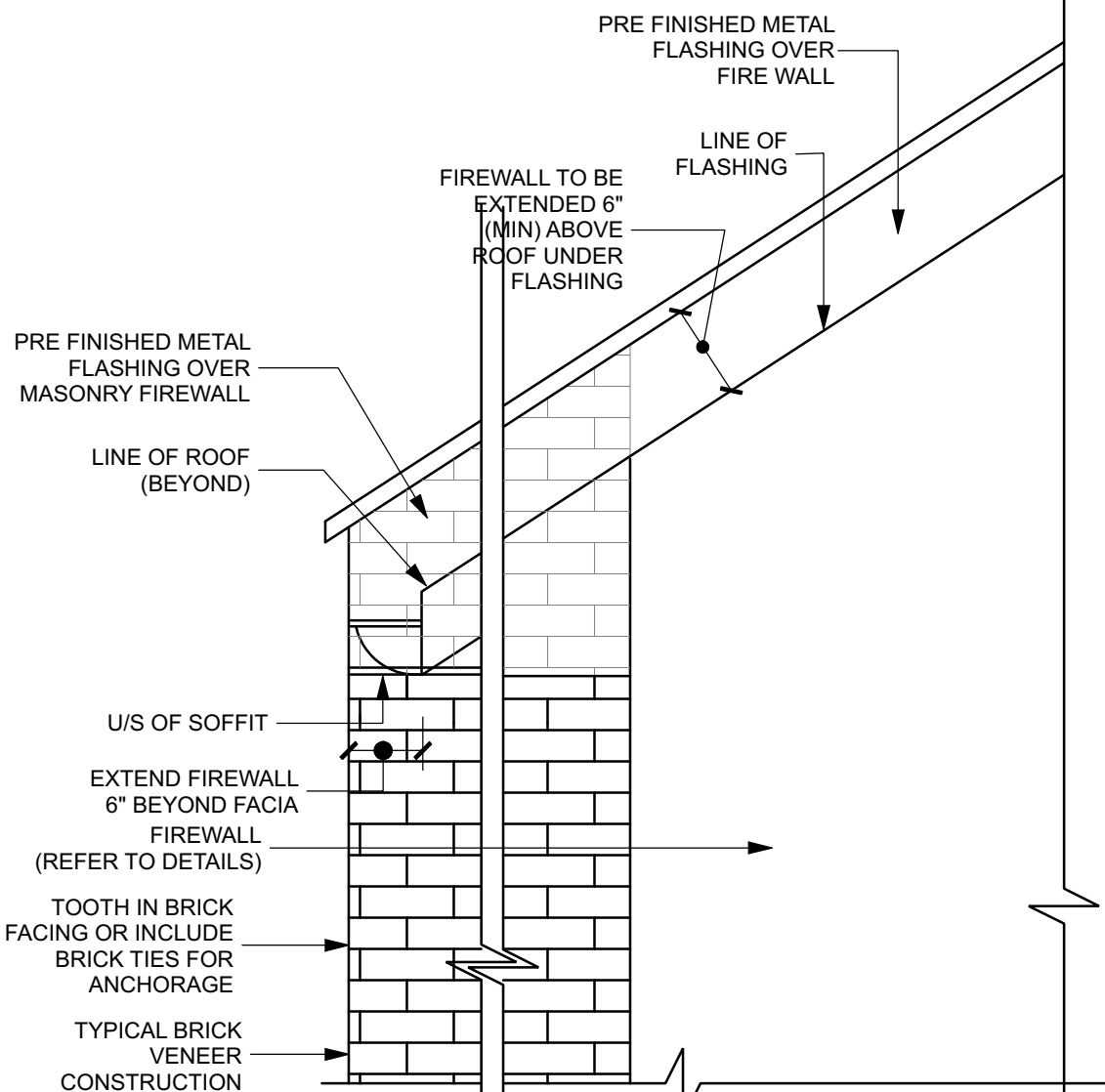
DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE: **ROOF PLAN, BUILDING CROSS SECTIONS, TYPICAL CONSTRUCTION DETAILS**

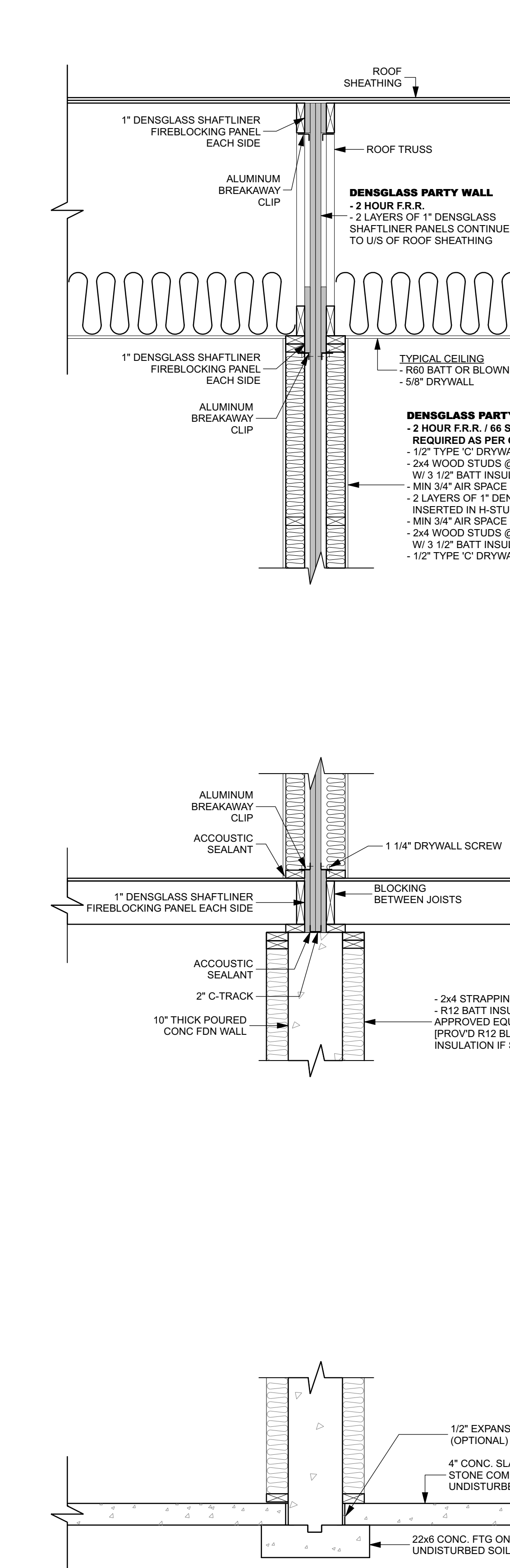
- MASONRY:**
1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO COMPLETE ALL THE MASONRY WORK INDICATED ON THE DWGS AND SPECIFIED HEREIN INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1.1 ALL CONC. BLOCK WALLS INCLUDING HORIZONTAL REINFORCING
 - 1.2 PROVIDE MASONRY PLASTER AROUND COLUMNS AS REQUIRED-MIN 3 1/2" THICK. FILL SPACE AROUND COLUMNS WITH GROUT.
 - 1.3 GROUTING TO RECEIVE STEEL BEAMS AND BLOCKING IN.
 - 1.4 SUPPLY AND INSTALL ALL LINTELS AND WALL SUPPORT CLIP ANGLES REQUIRED.
 - 1.5 INSTALL INSERTS, ANCHOR BOLTS, DOWELS, ETC. REQUIRED.
 - 1.6 ALLOW FOR BLOCKING AROUND CONDUIT PIPING AND OTHER OBSTRUCTIONS.
 - 1.7 BUILD IN DOOR FRAMES, WINDOWS, LOUVERES, OTHER OPENINGS, SUPPORT FRAMES, PLUMBING, PIPING CONDUIT AND BOXES AS REQUIRED.
 - 1.8 ALL CONCRETE BLOCK WALLS SHALL BE CONSIDERED PARTIALLY GROUTED UNLESS NOTED OTHERWISE.
 2. ALL WORK SHALL CONFORM TO CSA STANDARD S284.1 (LATEST EDITION) "MASONRY DESIGN FOR BUILDINGS (LIMIT STATES DESIGN)" AND CSA STANDARD A370 "CONNECTIONS FOR MASONRY".
 3. BLOCK TO BE NORMAL WEIGHT HOLLOW, TYPE HY15M10 TO CSA-A165.1M. INCLUDE ALL SPECIAL SHAPES SUCH AS END AND BULLNOSE, AS REQUIRED.
 - 3.1 HANDLE AND STORE UNITS TO PREVENT CHIPPING.
 - 3.2 DO NOT USE CHIPPED, CRACKED, OR DAMAGED UNITS.
 4. MORTAR TO BE TYPE S. SHALL CONFORM TO CSA STANDARD A179 (LATEST EDITION). NO CALCIUM OR CHLORIDE OR OTHER CHLORIDE SALTS OR ADMIXTURES CONTAINING THESE TO BE ADDED TO MORTAR OR GROUT.
 5. ALL MASONRY WALLS SHALL BE FULL MORTAR HEAD AND BED JOINTS HAVING A THICKNESS OF 3/8" (10mm)
 6. TOOL ALL MORTAR JOINTS AFTER MORTAR HAS BECOME THUMB PRINT HARD. ALL JOINTS ARE TO BE CONCAVE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 7. ALL MASONRY UNITS ARE TO BE LAID IN A RUNNING BOND PATTERN. TRUE TO LINE. PLUMB, SQUARE AND LEVEL WITH VERTICAL JOINTS OF ALTERNATE COURSES IN LINE. THE MASON SHALL SET ALL CORNERS, LINES AND LEVELS AND CHECK ALIGNMENT AND PLUMBNESS DURING PROGRESS OF WORK.
 8. SUPPORT TOP OF ALL WALLS WITH L3x3x1/8"x4" LONG GALV. ANGLES BOTH SIDES WELDED TO US STEEL DECK AT 6" O.C. MAX SPACING. LEAVE 1/2" DEFLECTION GAP AT TOP.
 9. ALL MASONRY CONNECTORS AND TIES ARE TO BE STAINLESS STEEL UNLESS NOTED OTHERWISE ON DRAWINGS. ALL HORIZONTAL JOINT TRUSS TIE REINFORCING TO BE HOT-DIPPED GALVANIZED UNLESS NOTED OTHERWISE.
 10. ALL LINTELS SUPPORTED ON MASONRY SHALL BEAR ON 2 COURSES OF SOLID MASONRY WITH A MINIMUM BEARING LENGTH OF 8" (200mm) UNLESS NOTED OTHERWISE ON DRAWINGS.
 11. ALL GROUT TO BE 25MPa COURSE GROUT WITH 3/8" PE GRAVEL AS PER CSA STANDARD A179 (LATEST EDITION)
 12. CLEAN MASONRY AS FOLLOWS:
 - 12.1 RAKE AND REPLACE DEFECTIVE MORTAR JOINTS.
 - 12.2 ON COMPLETION, REMOVE EXCESS MORTAR, SMEARS, AND STAINS.
 - 12.3 SCRUB SURFACES TO BE CLEANED WITH SUITABLE NON-ACID CLEANING SOLUTIONS.
 - 12.4 FINISHED PRODUCT TO HAVE UNIFORM CLEAN APPEARANCE.
 13. PROVIDE REINFORCED CORES ON EACH SIDE OF CONTROL JOINTS AND ON EACH SIDE OF WINDOW AND DOOR OPENINGS. LOCATE AT SECOND CORE FROM WINDOW OR DOOR OPENING IN ORDER THAT VERTICAL REINFORCING BAR DOES NOT INTERFERE WITH STEEL LINTEL BEAM ABOVE.



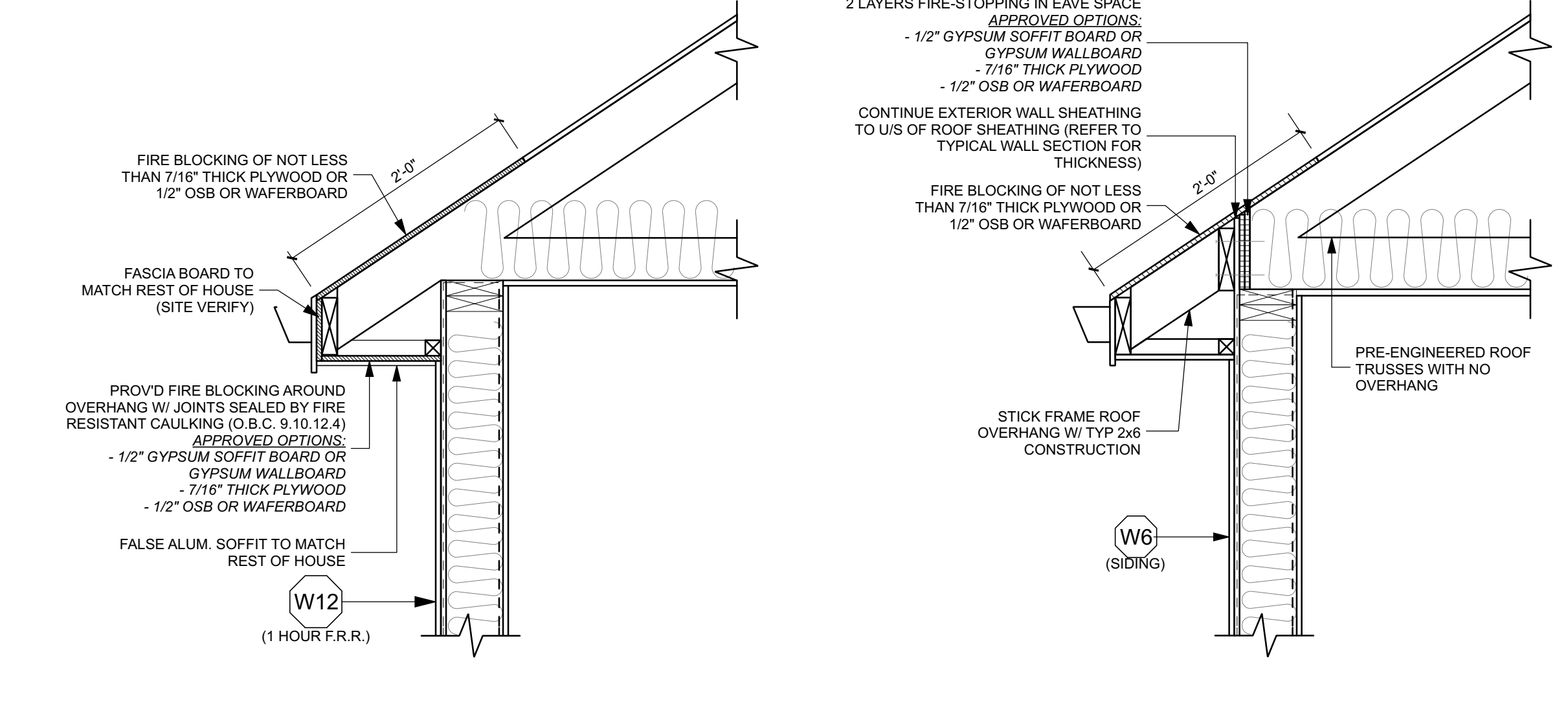
TYPICAL FIREWALL SECTION
 CONCRETE BLOCK - B8c (O.B.C. SB-3)
 2 HOUR F.R.R. / 69 STC
 SCALE: 3/4" = 1'-0"



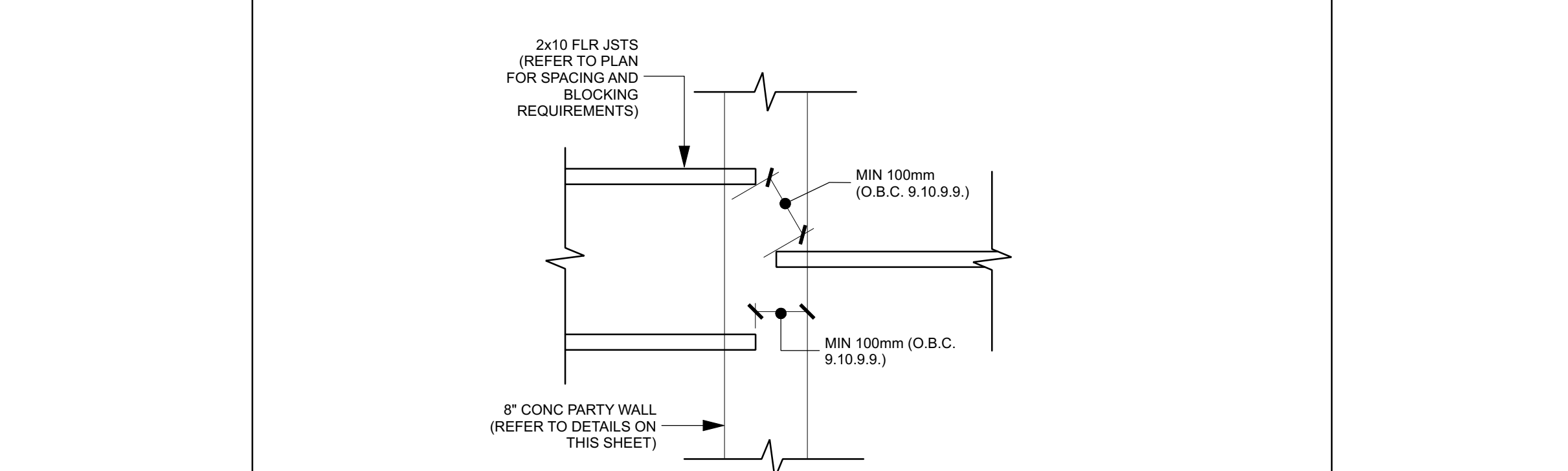
FIREWALL DETAIL @ EXTERIOR WALL
 SCALE: 3/4" = 1'-0"



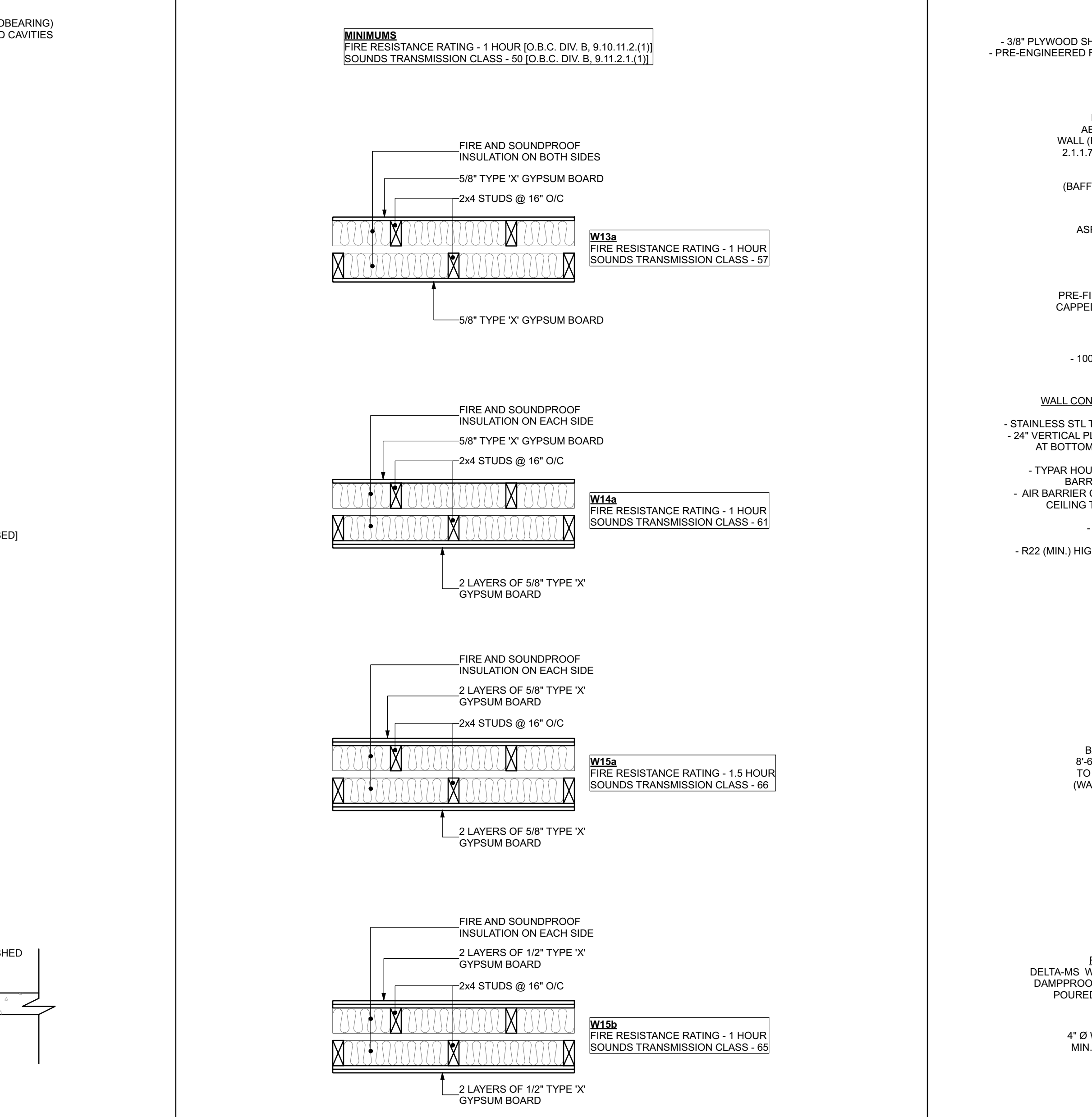
TYPICAL PARTY WALL SECTION
 DENSEGLASS FIREWALL (ULC W312)
 3 HOUR F.R.R. / 66 STC (MIN. REQUIRED 1 HOUR)
 SCALE: 3/4" = 1'-0"



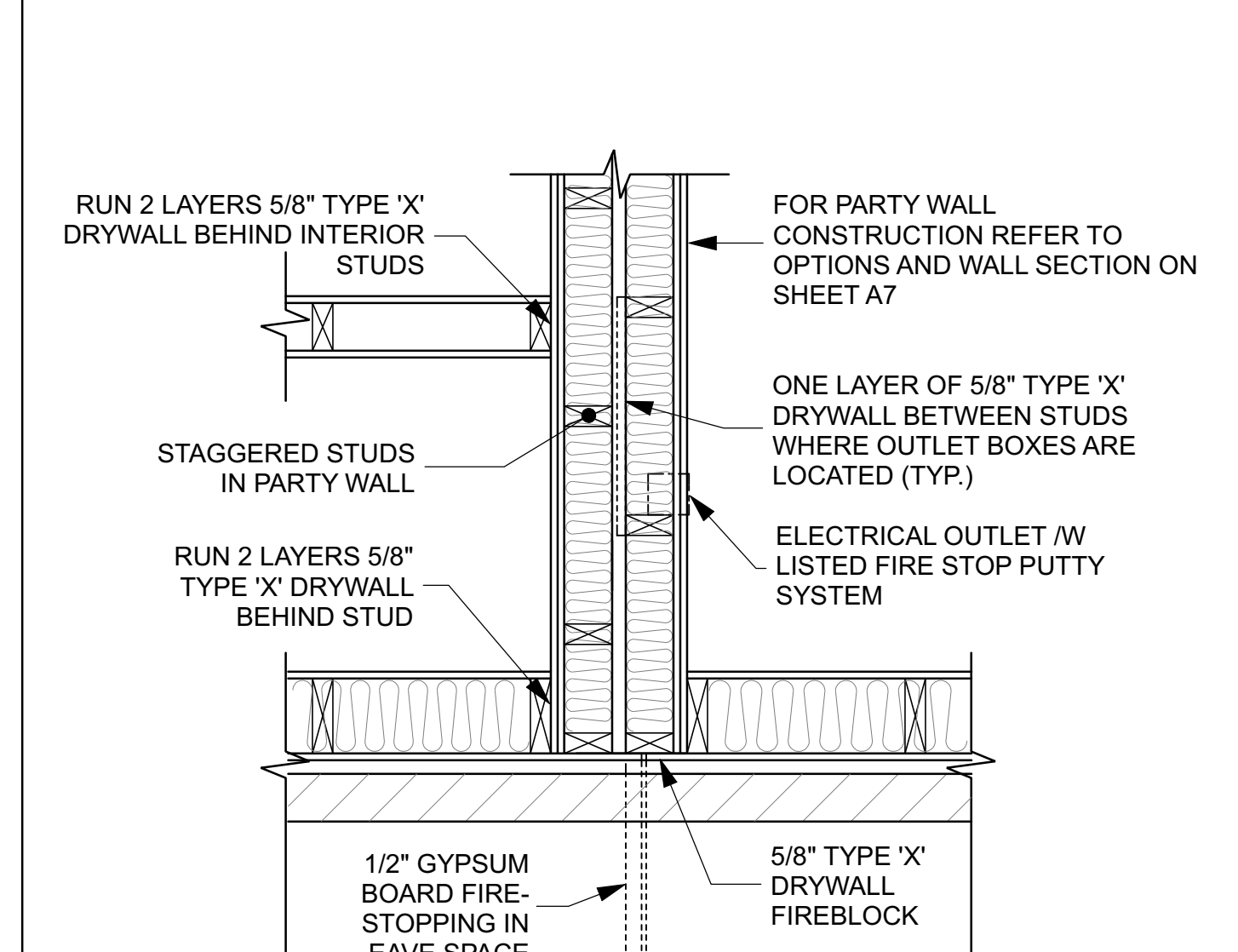
FIRE SEPARATED EAVE DETAIL (OPTION A)
 (ROOF/EAVE ABOVE REQUIRED W12)
 SCALE: 1" = 1'-0"



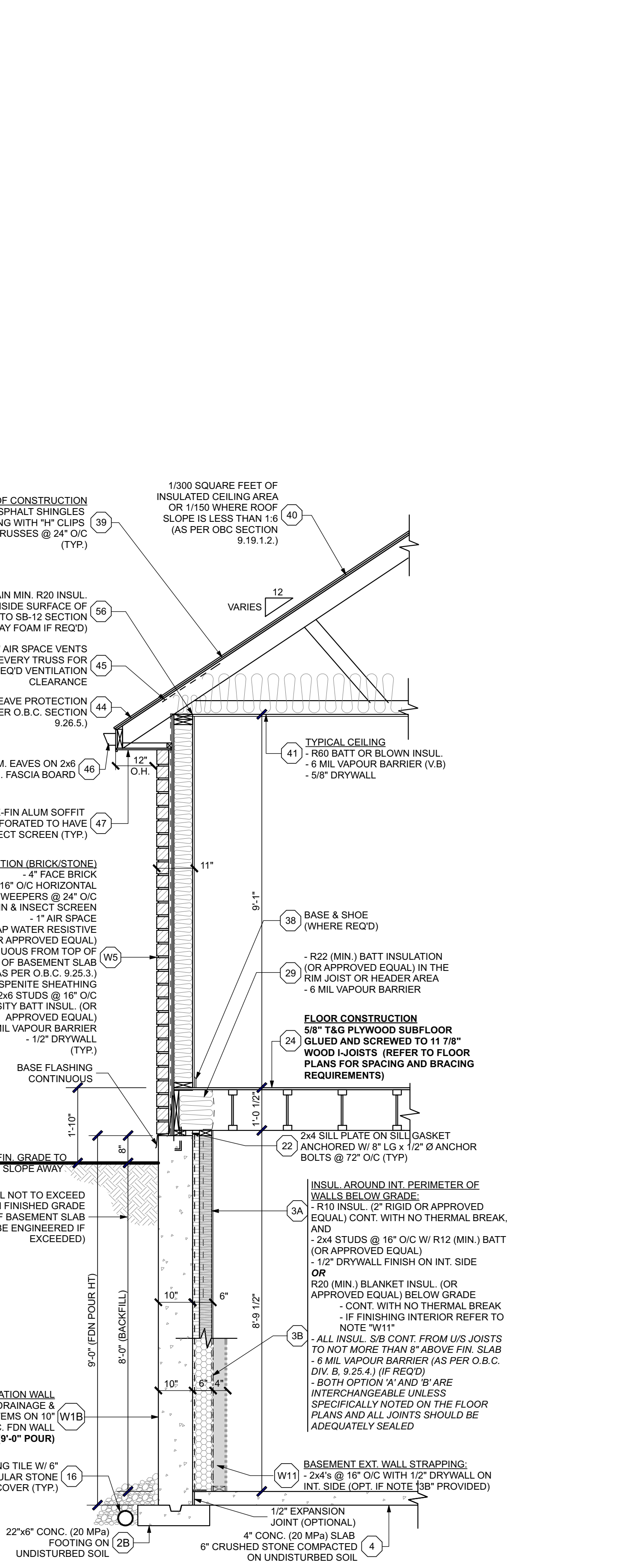
STAGGERED JOIST DETAIL
 SCALE: 1" = 1'-0"



APPROVED PARTY WALL ALTERNATIVES FOR FIRE AND SOUND RESISTANCE
 REFER TO O.B.C. SB-3



PARTY WALL @ EXTERIOR WALL
 SCALE: 1" = 1'-0"



TYPICAL WALL SECTION
 SCALE: 1/2" = 1'-0"

CORRIVEAU CADD
 CorriveauHomeDesign.com
 4065 STANLEY AVENUE, UNIT 2
 NIAGARA FALLS, ON L2E 4Z2 1 (905) 358-5535
 Email: CorrCADD@gmail.com

COMMISSION: **COSTANTINO CONSTRUCTION**
 TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 2 UNITS 6-10**
 4257 MONTROSE ROAD
 NIAGARA FALLS, ONTARIO

NOTES:
ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL "B" - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
- 7 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/BUILDER A CONTRACTOR.
- 8 - ROOF LAYOUT & GROUND TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE:	REVISION:

PRICING DRAWINGS
NOT TO BE USED FOR CONSTRUCTION

DESIGNED BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE: **TYPICAL FIRE AND PARTY WALL DETAILS, TYPICAL WALL SECTIONS**

SHEET No. **7 OF 8** **A7**

