

CORRIVEAU CorriveauHomeDesign.com

4065 STANLEY AVENUE, UNIT 2 NIAGARA FALLS, ON I L2E 4Z2 I (905) 358-5535 Email: CorrCADD@Gmail.com

COSTANTINO **CONSTRUCTION** TEL: (905) 356-7270

PROPOSED TOWNHOUSE

BLOCK 1

UNITS 1 - 5 4257 MONTROSE ROAD

ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST **CURRENT EDITION AND AMMENDMENTS)**

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS NOTES, SITE AND REPORT ANY DISCREPENCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED, ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED

- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR 3 - ALL 'B' - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS. 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING. 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER. 8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/

DRAWING LIST

A1 ELEVATIONS EXTERIOR 3D PERSPECTIVES

FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN

A3 TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT

A4 TYPICAL FLOOR PLAN LAYOUT

A5 TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT

A6 ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS

TYPICAL WALL SECTIONS

TYPICAL WALL SECTIONS GENERAL NOTES AND SPECS

TYPICAL NOTE SCHEDULE COLUMN SCHEDULE

LIST OF ABBREVIATIONS

GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

REVISION: DATE:

PRICING DRAWINGS

NOT TO BE USED FOR CONSTRUCTION

MIKE CORRIVEAU

2022-53 NEWMAN

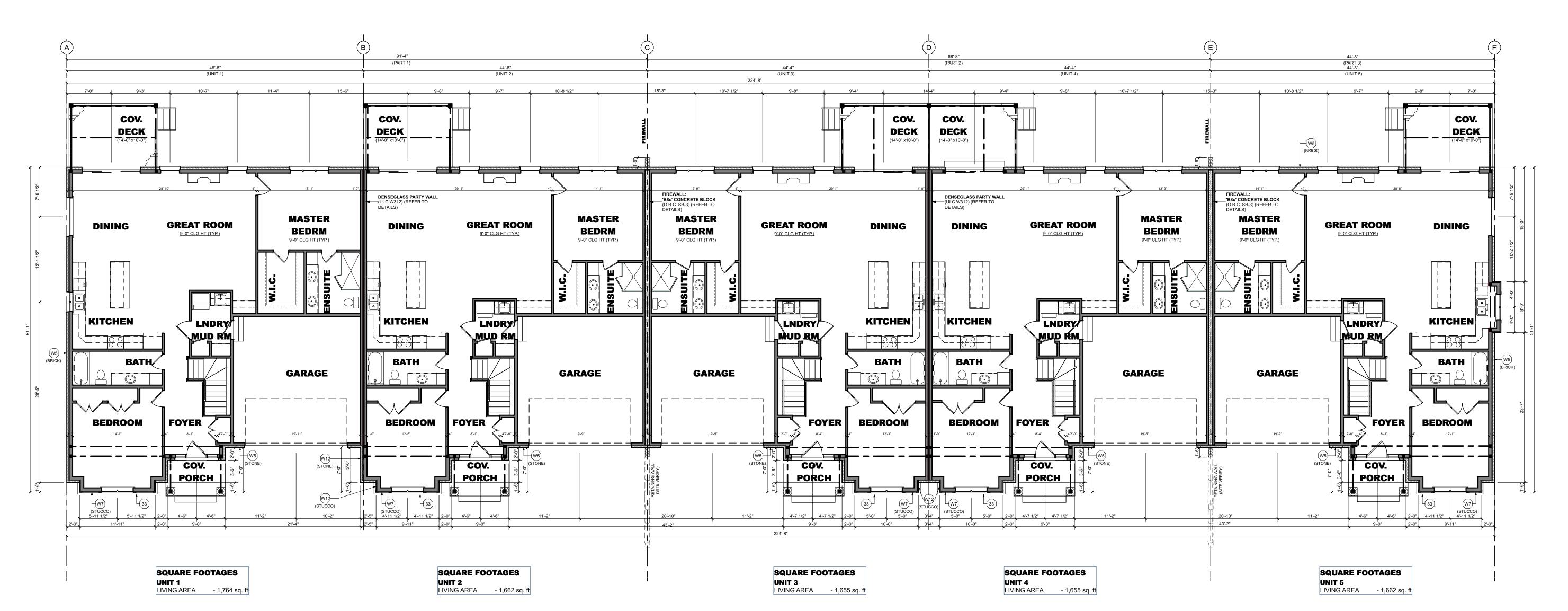
2023-08-10

ELEVATIONS, EXTERIOR 3D

OF 8

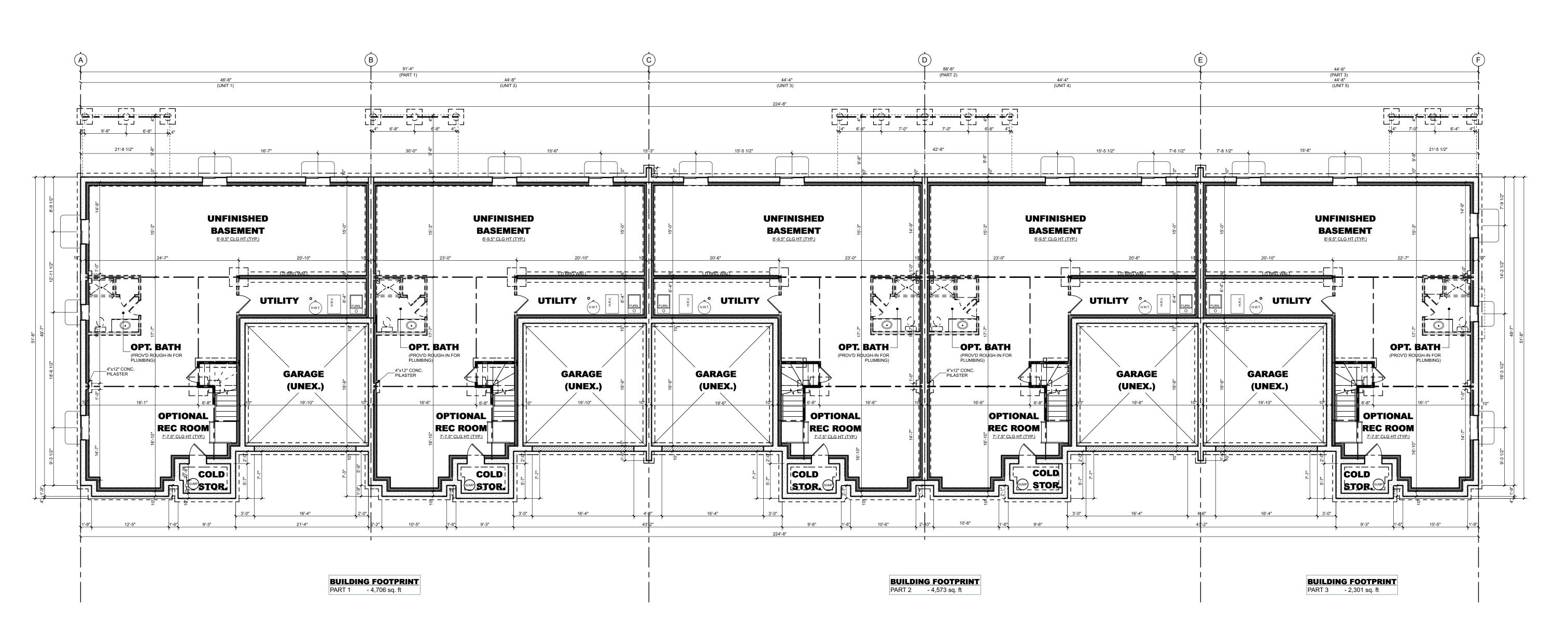
A1

AS SHOWN



MAIN FLOOR PLAN

SCALE: 1/8" =1'-0"



FOUNDATION PLAN 9'-0" CONCRETE POUR HEIGHT

SCALE: 1/8" =1'-0"

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1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR

DRAWING LIST

A1 ELEVATIONS EXTERIOR 3D PERSPECTIVES

A2 FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN

MIDDLE UNIT

A3 TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT

A4 TYPICAL FLOOR PLAN LAYOUT

A5 TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT

ROOF PLAN

ROOF PLAN
BUILDING CROSS SECTIONS
TYPICAL CONSTRUCTION DETAILS

TYPICAL FIRE AND PARTY WALL DETAILS
TYPICAL WALL SECTIONS

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CERTIFICATION:

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DESIGN/CHK'D BY

MIKE CORRIVEAU

DR. BY: JUSTIN
NEWMAN

2023-08-10

MAIN FLOOR PLAN, FOUNDATION PLAN

SHEET No

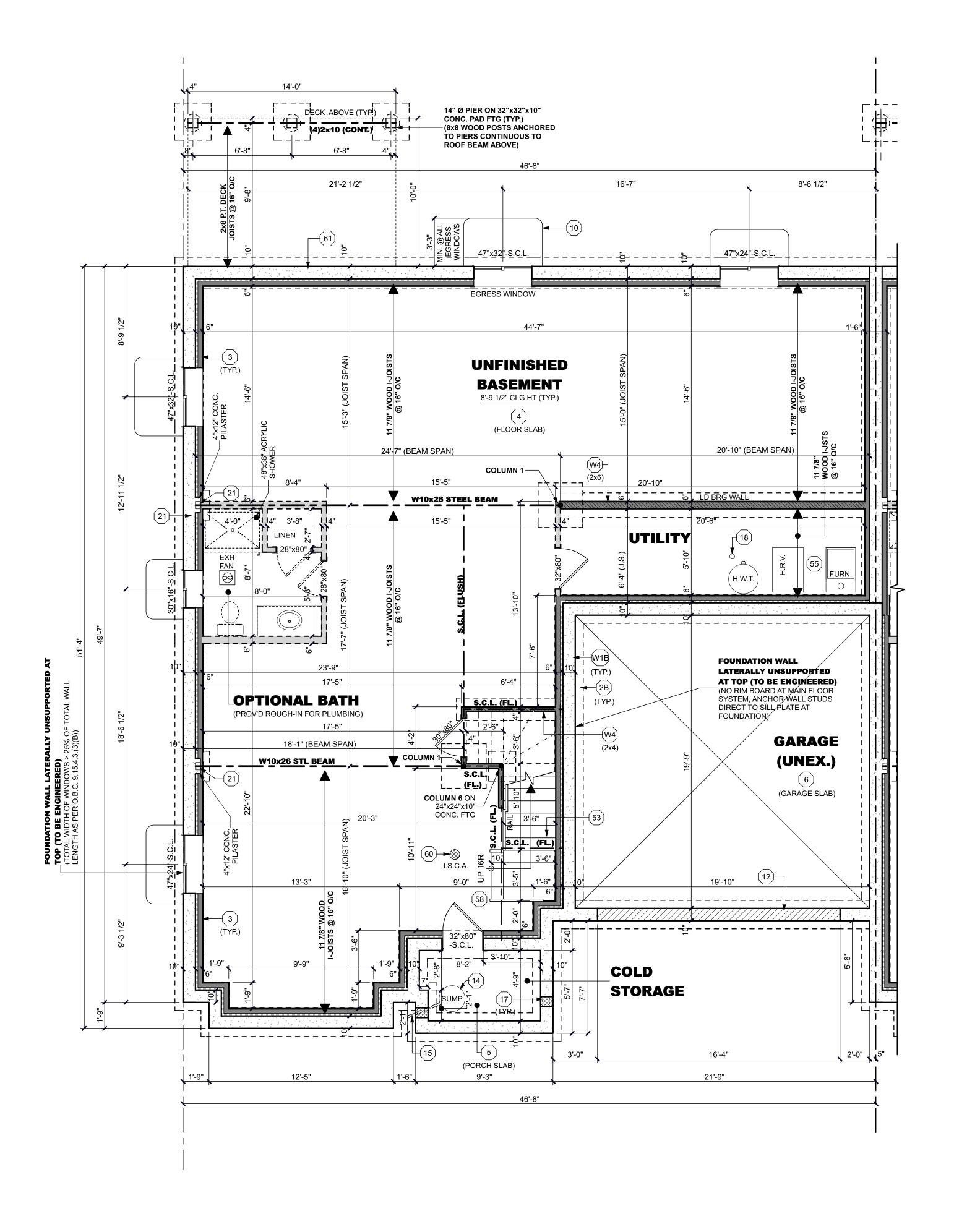
2 OF 8

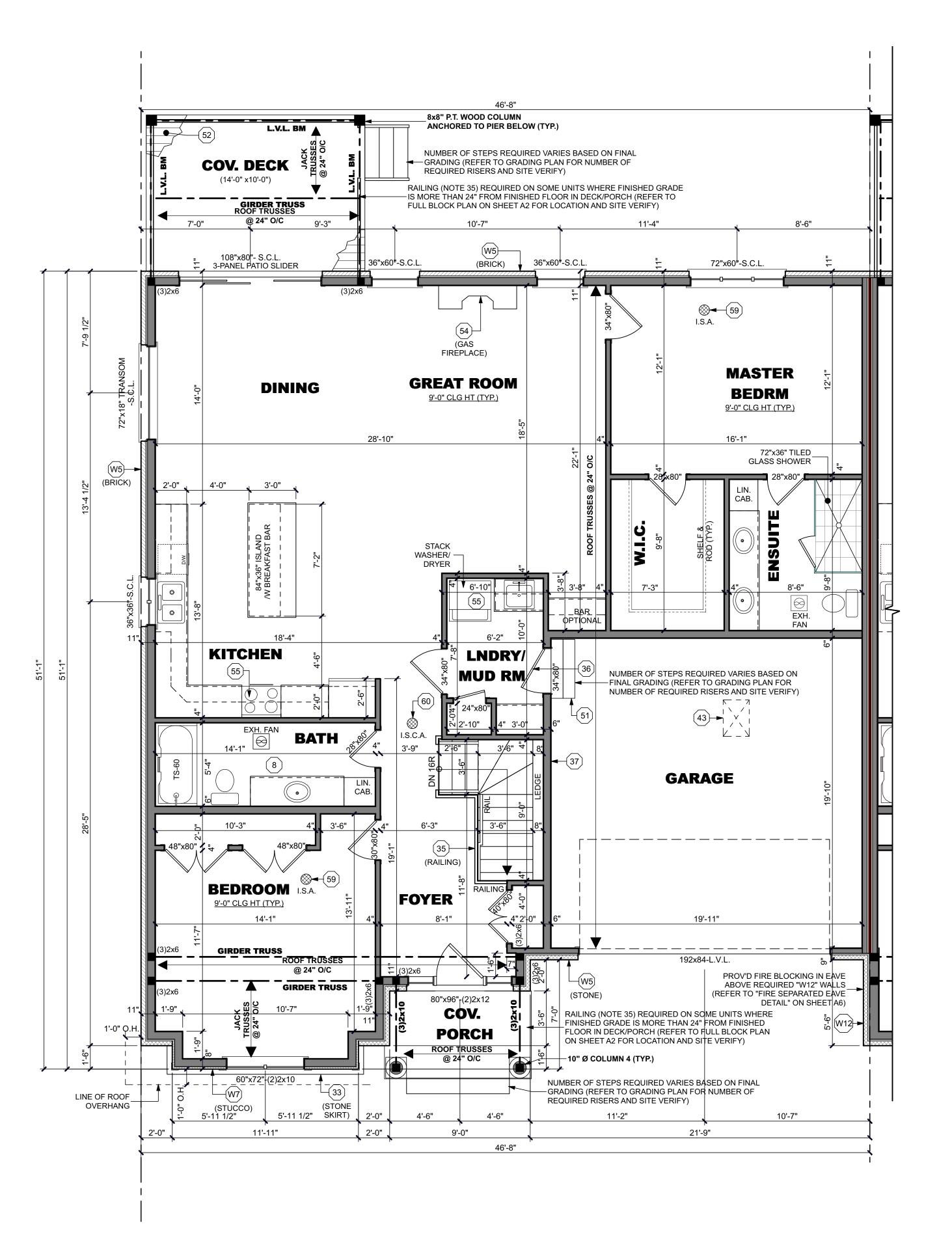
A2

2022-53

AS SHOWN

TYPICAL FLOOR PLAN LAYOUT: END UNIT - LEFT UNIT 1





LOWER FLOOR PLAN

9'-0" CONCRETE POUR SCALE: 1/4" =1'-0" MAIN FLOOR PLAN
SCALE: 1/4" =1'-0"

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A2 FOUNDATION BLOCK PLAN
MAIN FLOOR BLOCK PLAN

A3 TYPICAL FLOOR PLAN LAYOUT
END UNIT - LEFT

A4 TYPICAL FLOOR PLAN LAYOUT
MIDDLE UNIT

A5 TYPICAL FLOOR PLAN LAYOUT
END UNIT - RIGHT

A6 ROOF PLAN
BUILDING CROSS SECTIONS
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DESIGN/CHK'D BY:

MIKE CORRIVEAU

NEWMAN

DATE:

2023-08-10

2022-53

SCALE:
AS SHOWN

TITLE:

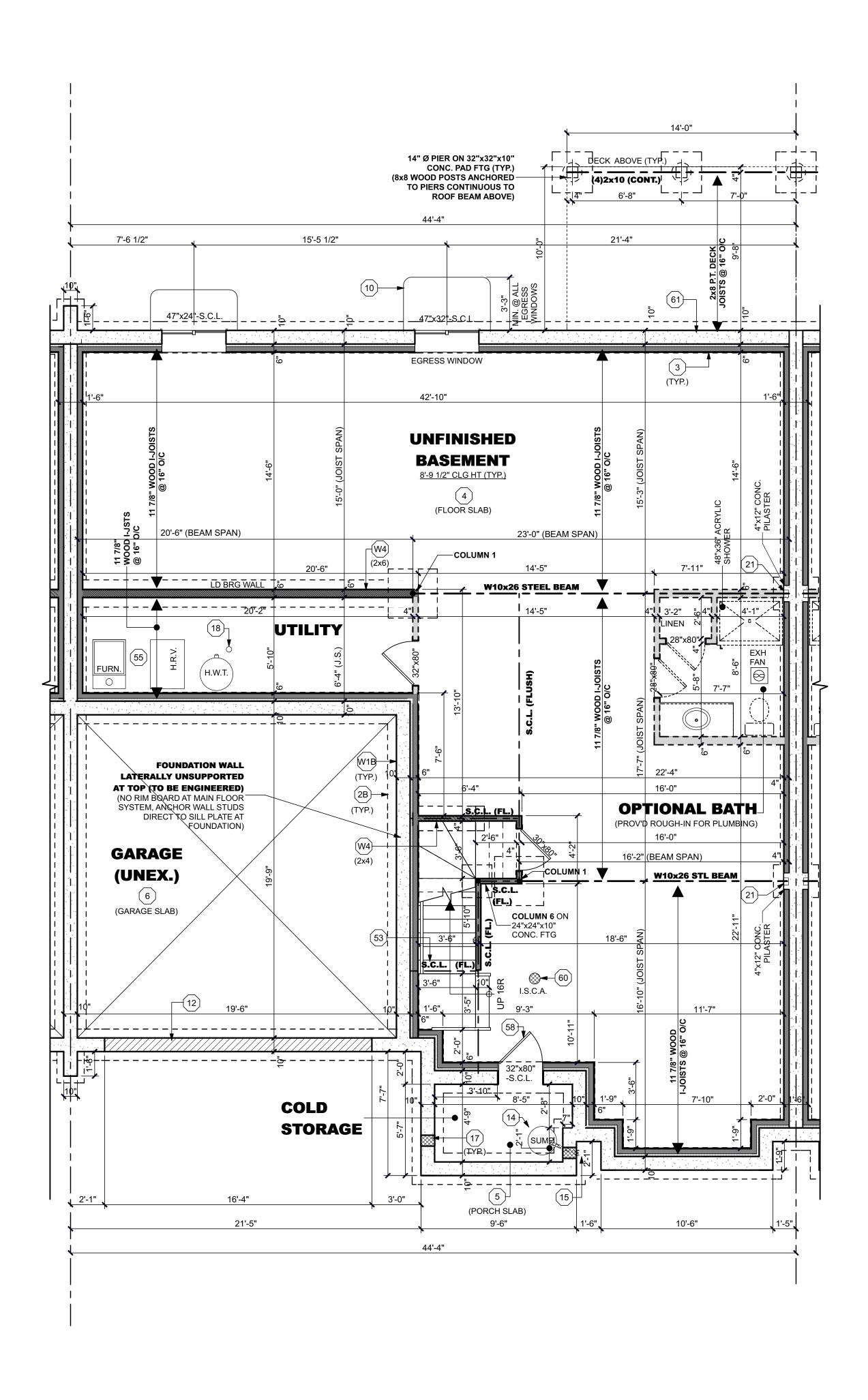
END UNIT - LEFT: TYPICAL FLOOR PLAN LAYOUT

SHEET No.

3 OF 8

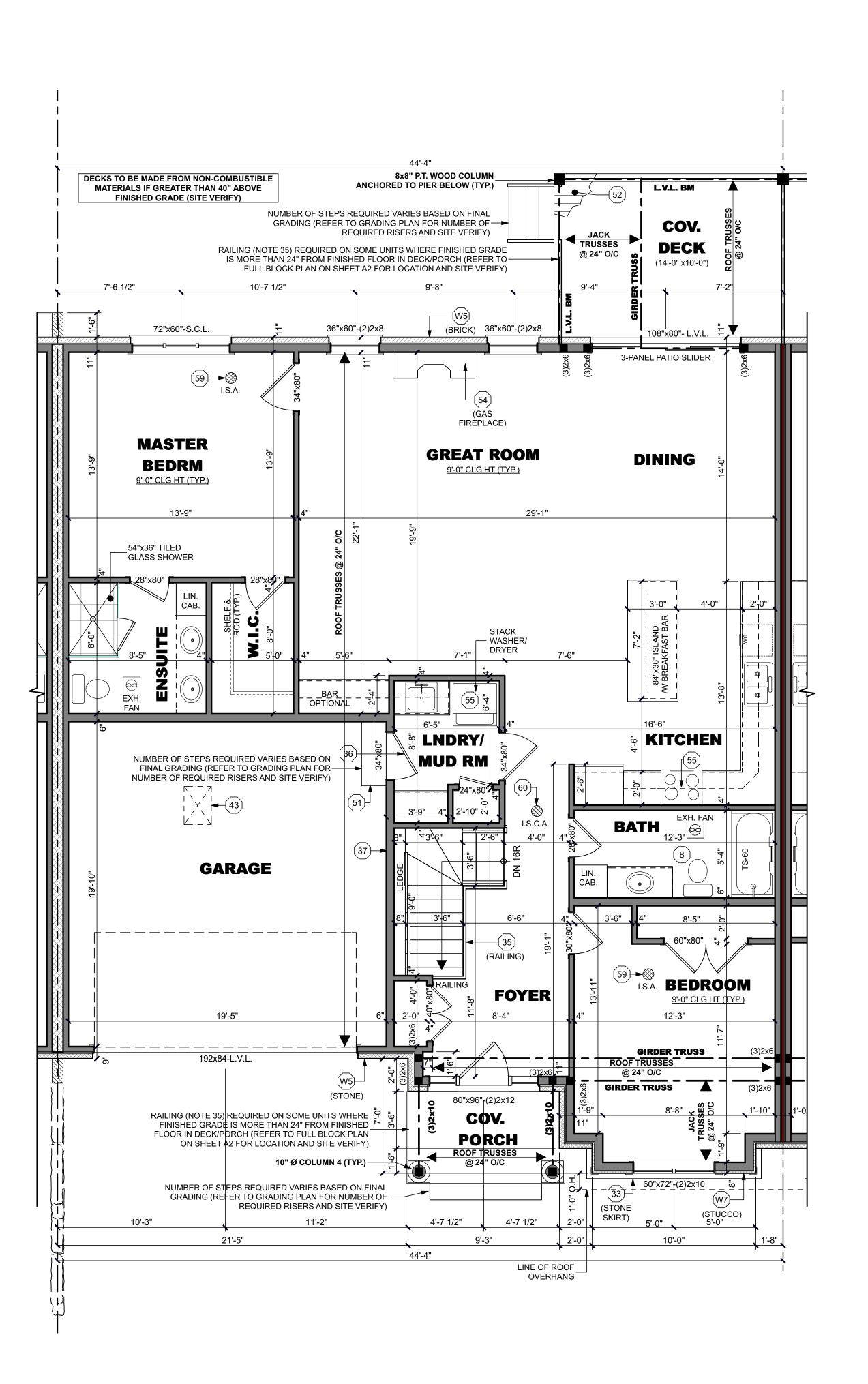
A3

TYPICAL FLOOR PLAN LAYOUT: MIDDLE UNIT UNITS 2, 3, 4



LOWER FLOOR PLAN

9'-0" CONCRETE POUR SCALE: 1/4" =1'-0"



MAIN FLOOR PLAN

SCALE: 1/4" =1'-0"



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DRA	WING LIST
A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT

A5 TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT

A6 ROOF PLAN
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DESIGN/CHK'D BY:

MIKE CORRIVEAU

JUSTIN NEWMAN	C.C. JOB #: 2022-53
DATE:	SCALE:
2023-08-10	AS SHOWN

TYPICAL FLOOR PLAN

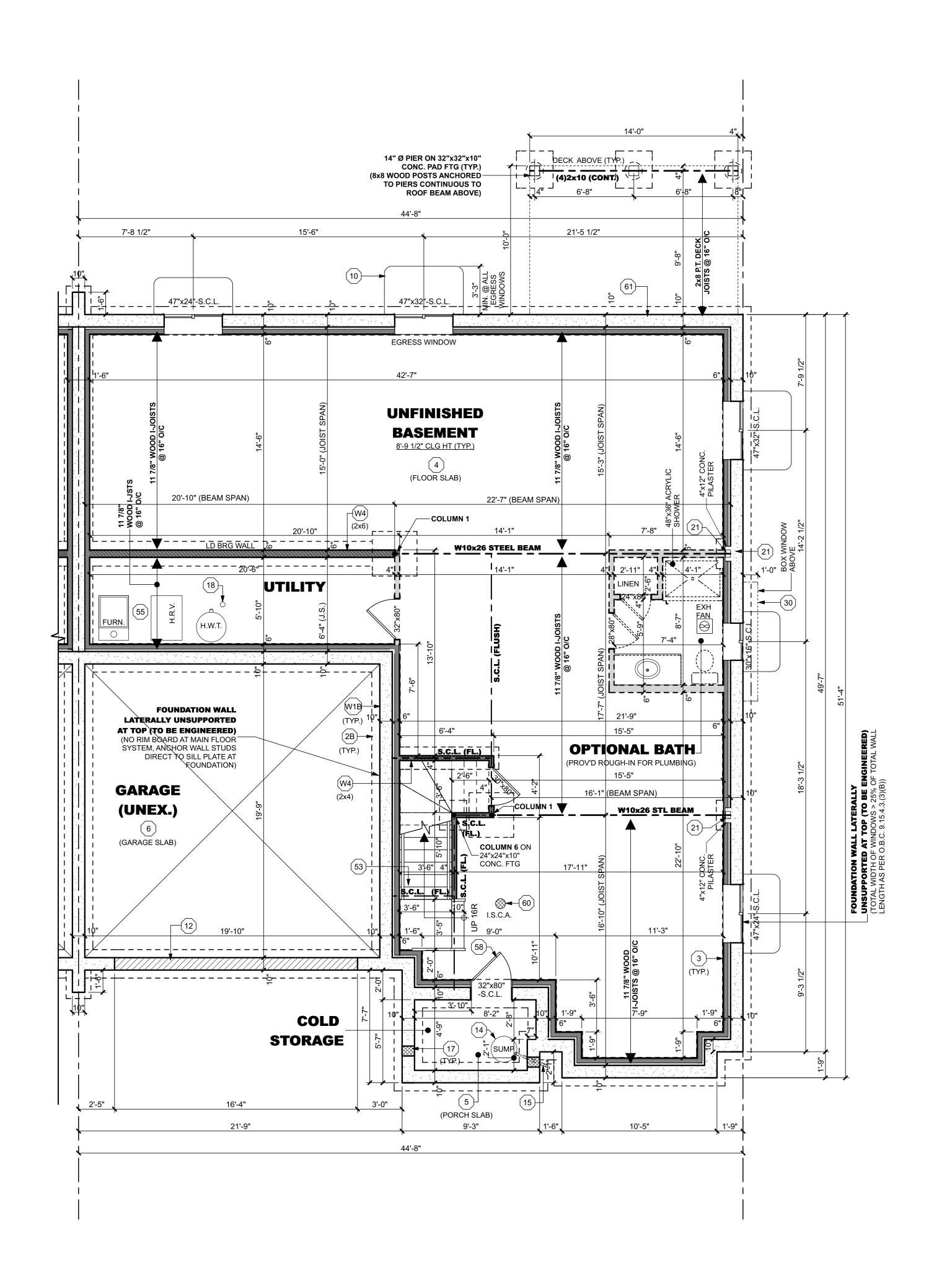
LAYOUT:
MIDDLE UNIT

EET No.

4 OF 8

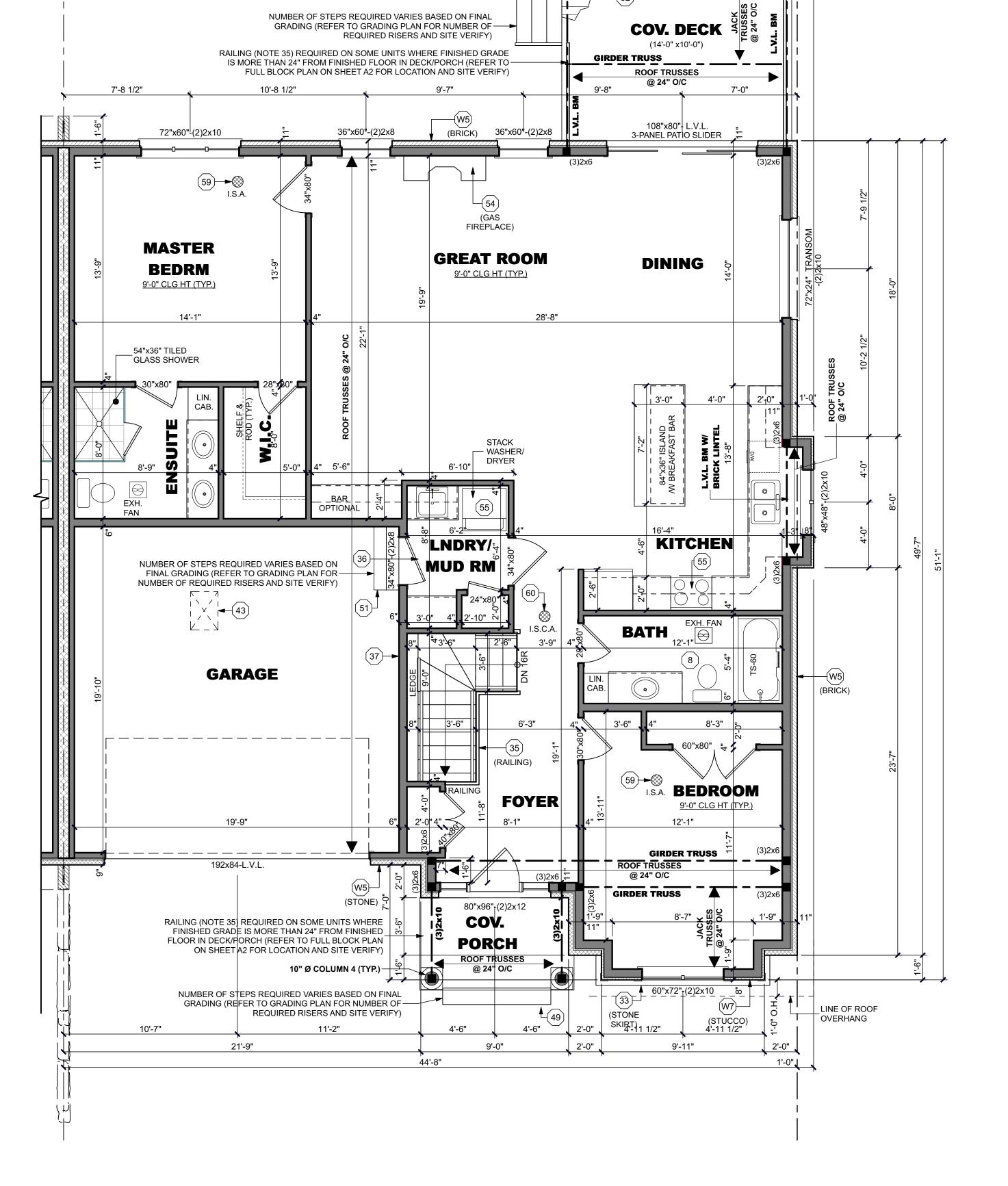
A4

TYPICAL FLOOR PLAN LAYOUT: END UNIT - RIGHT UNIT 5



LOWER FLOOR PLAN
9'-0" CONCRETE POUR

SCALE: 1/4" =1'-0"



8x8" P.T. WOOD COLUMN

ANCHORED TO PIER BELOW (TYP.)

MAIN FLOOR PLAN

SCALE: 1/4" =1'-0"

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A1 ELEVATIONS EXTERIOR 3D PERSPECTIVES

A2 FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN

A3 TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT

TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT

A5 TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT

ROOF PLAN

A6 BUILDING CROSS SECTIONS
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MIKE CORRIVEAU

DATE: 2023-08-10 C.C. JOB #: 2022-53

| DATE: SCALE: AS SHOWN

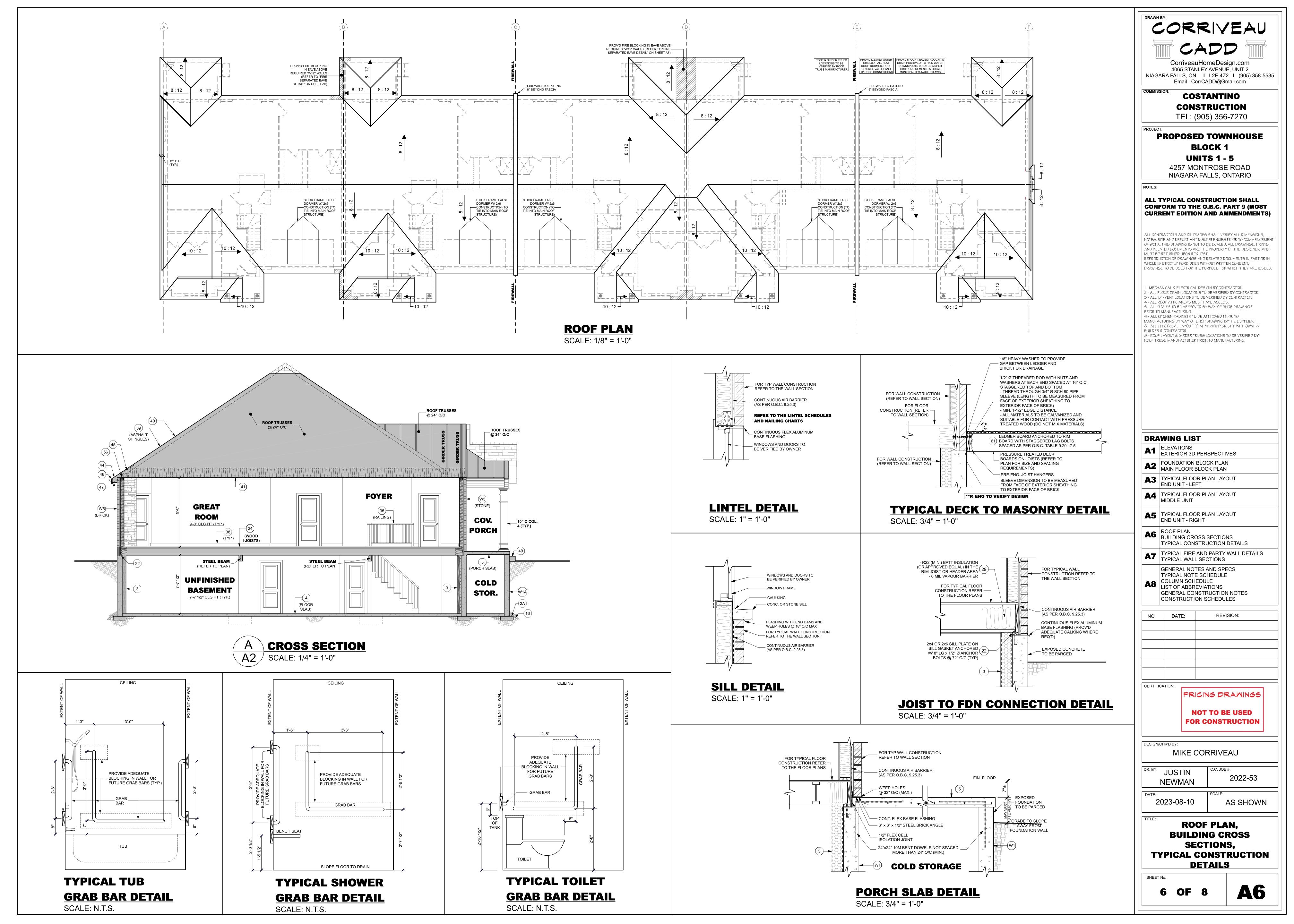
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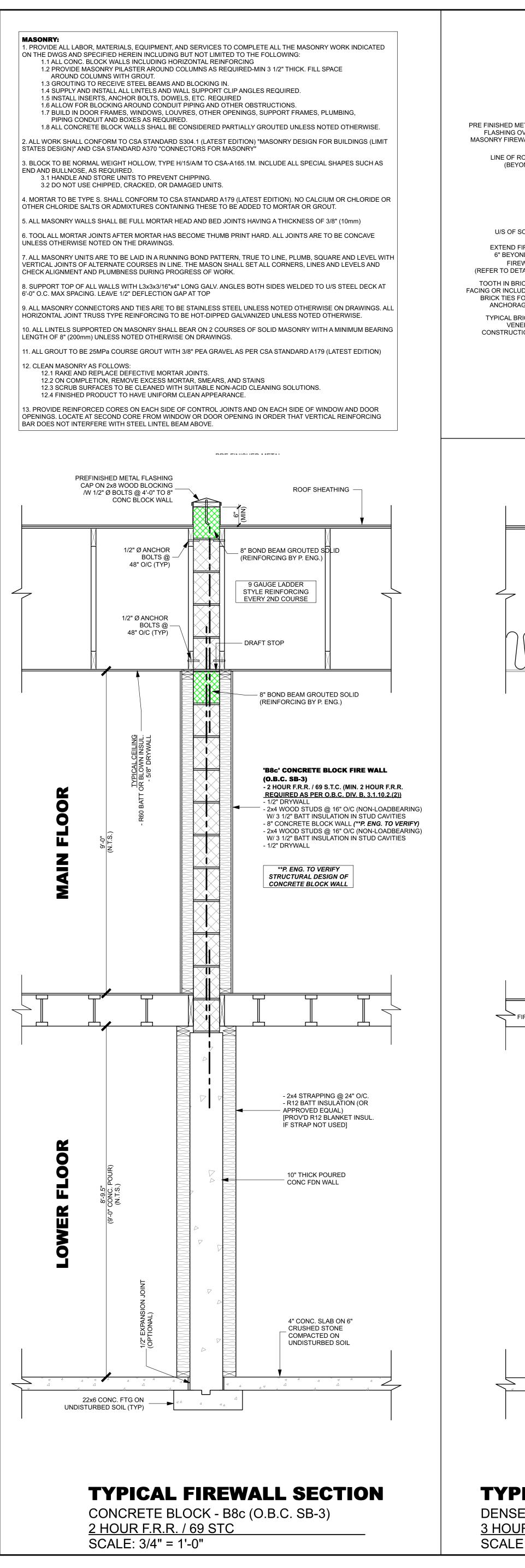
TYPICAL FLOOR PLAN LAYOUT: END UNIT - RIGHT

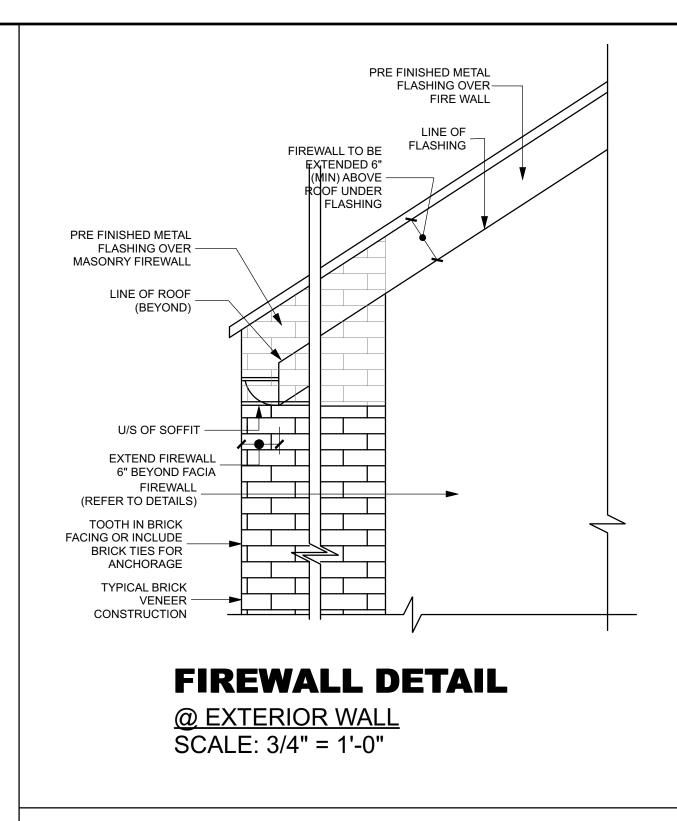
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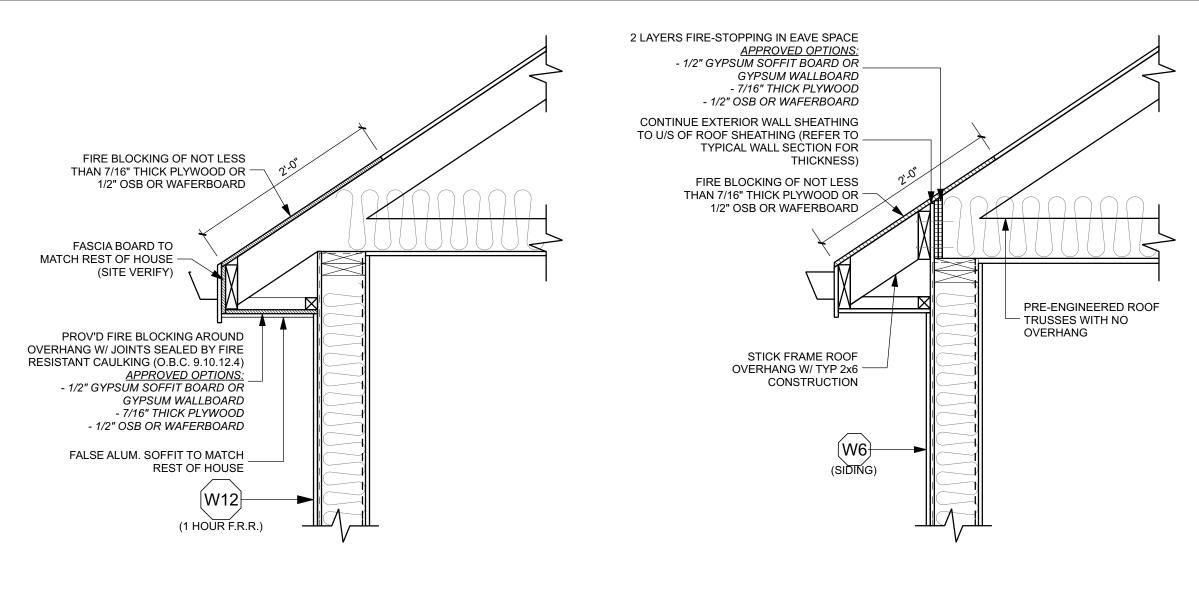
5 OF 8

A5







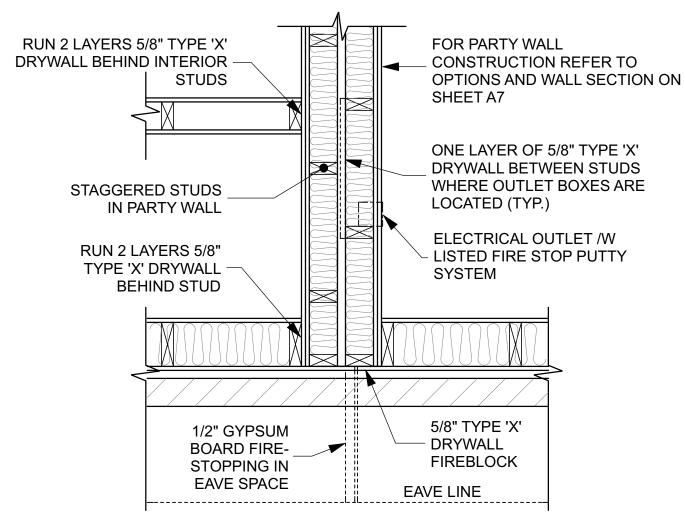


FIRE SEPARATED EAVE DETAIL (OPTION A)

(ROOF/EAVE ABOVE REQUIRED W12) SCALE: 1" = 1'-0"

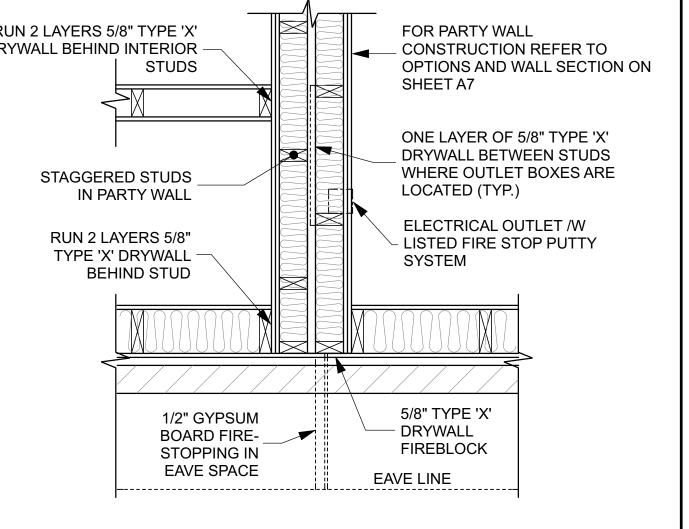
FIRE SEPARATED EAVE DETAIL (OPTION B)

(ROOF/EAVE ABOVE REQUIRED W12) SCALE: 1" = 1'-0"



PARTY WALL @ EXTERIOR WALL

SCALE: 1" = 1'-0"



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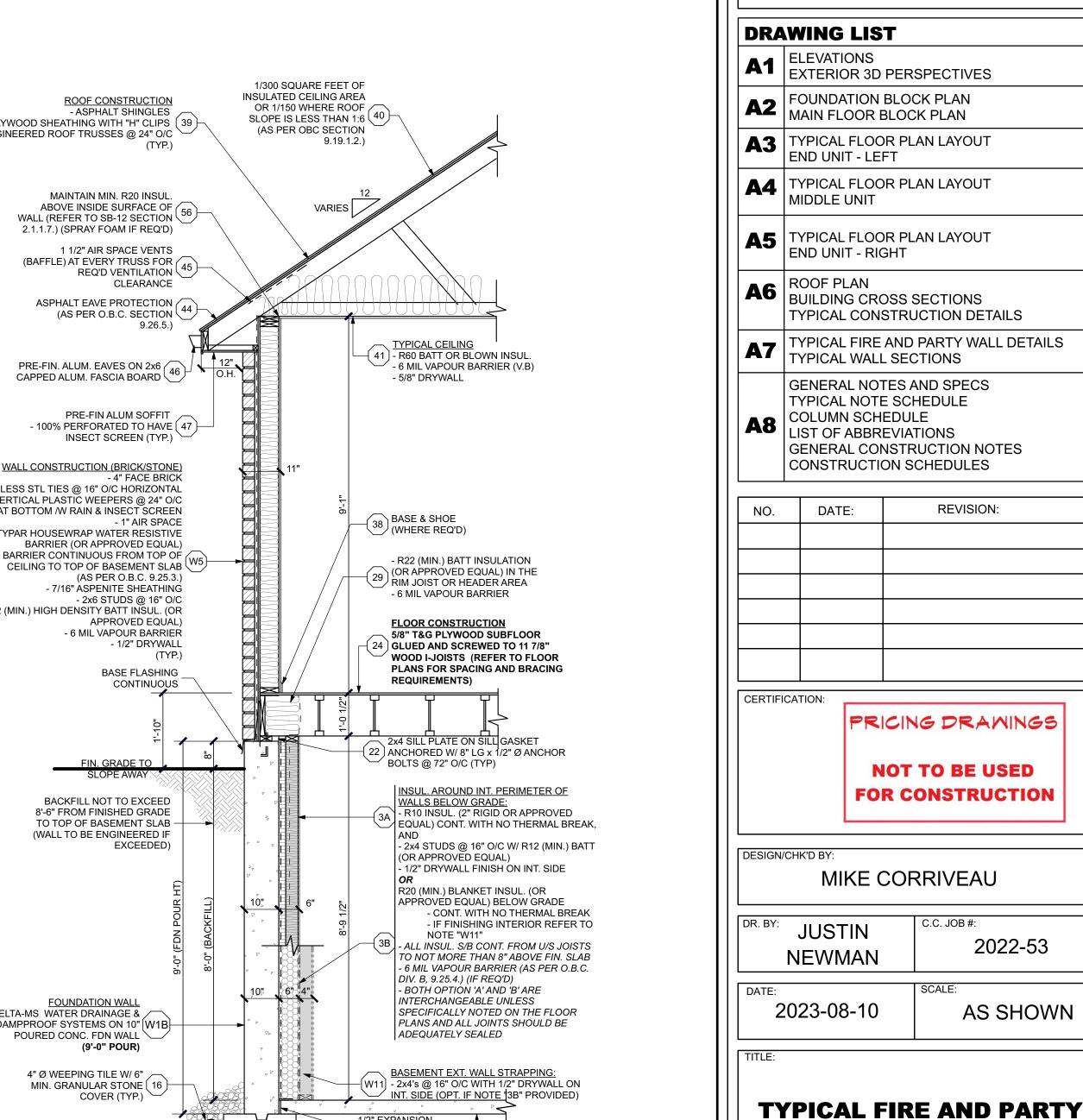
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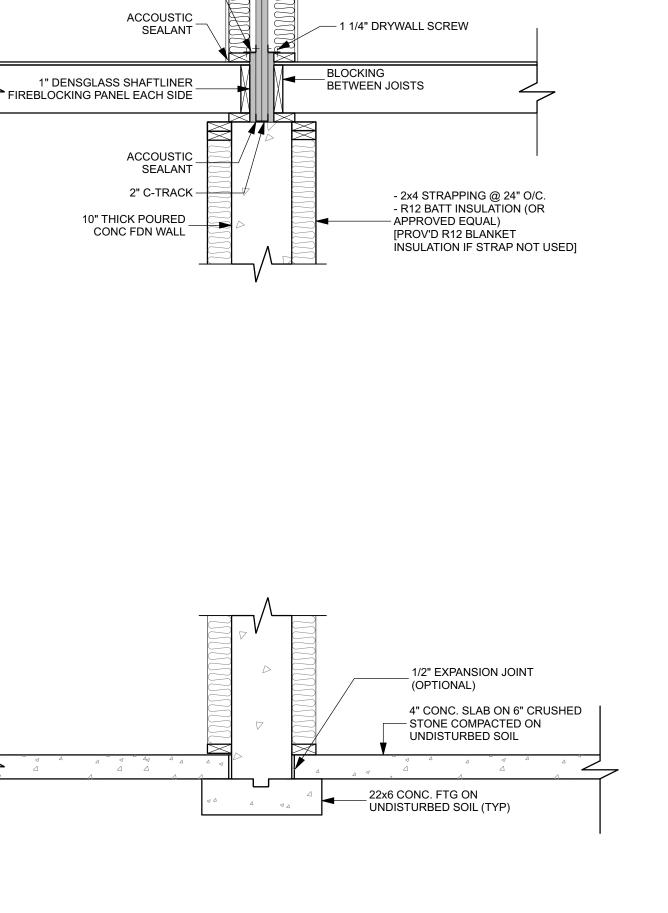
- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR



WALL CONSTRUCTION (BRICK/STONE) - STAINLESS STL TIES @ 16" O/C HORIZONTAL - 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM /W RAIN & INSECT SCREEN - TYPAR HOUSEWRAP WATER RESISTIVE AIR BARRIER CONTINUOUS FROM TOP OF W5 CEILING TO TOP OF BASEMENT SLAB - R22 (MIN.) HIGH DENSITY BATT INSUL. (OR FOUNDATION WALL DELTA-MS WATER DRAINAGE & DAMPPROOF SYSTEMS ON 10" W1B

TYPICAL WALL SECTION

2x10 FLR JSTS (REFER TO PLAN FOR SPACING AND -BLOCKING REQUIREMENTS) SHEATHING -1" DENSGLASS SHAFTLINER MIN 100mm FIREBLOCKING PANEL (O.B.C. 9.10.9.9.) EACH SIDE ■ ROOF TRUSS ALUMINUM BREAKAWAY -**DENSGLASS PARTY WALL** - 2 HOUR F.R.R. - 2 LAYERS OF 1" DENSGLASS SHAFTLINER PANELS CONTINUED MIN 100mm (O.B.C. TO U/S OF ROOF SHEATHING 9.10.9.9.) 8" CONC PARTY WALL (REFER TO DETAILS ON -THIS SHEET) 1" DENSGLASS SHAFTLINER TYPICAL CEILING
-- R60 BATT OR BLOWN INSUL. FIREBLOCKING PANEL STAGGERED JOIST DETAIL EACH SIDE - 5/8" DRYWALL SCALE: 1" = 1'-0" **ALUMINUM DENSGLASS PARTY WALL (ULC W312)** BREAKAWAY -- 2 HOUR F.R.R. / 66 S.T.C. (MIN. 1 HOUR F.R.R REQUIRED AS PER O.B.C. DIV. B, 9.10.9.14.(3)) 1/2" TYPE 'C' DRYWALL - 2x4 WOOD STUDS @ 16" O/C (LOADBEARING) W/ 3 1/2" BATT INSULATION IN STUD CAVITIES - MIN 3/4" AIR SPACE - 2 LAYERS OF 1" DENSGLASS SHAFTLINER INSERTED IN H-STUDS @ 24" O/C - MIN 3/4" AIR SPACE - 2x4 WOOD STUDS @ 16" O/C (LOADBEARING) W/ 3 1/2" BATT INSULATION IN STUD CAVITIES



1/2" TYPE 'C' DRYWALL

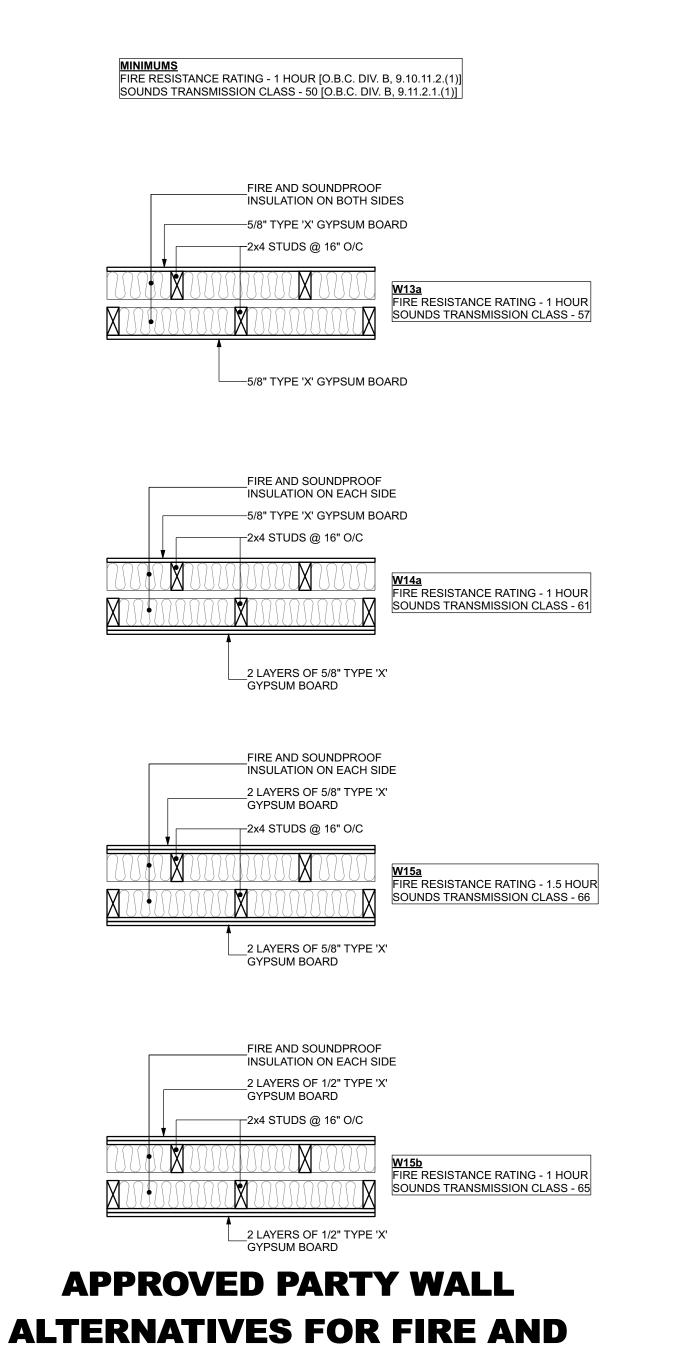
TYPICAL PARTY WALL SECTION

DENSEGLASS FIREWALL (ULC W312) 3 HOUR F.R.R. / 66 STC (MIN. REQUIRED 1 HOUR) SCALE: 3/4" = 1'-0"

ALUMINUM

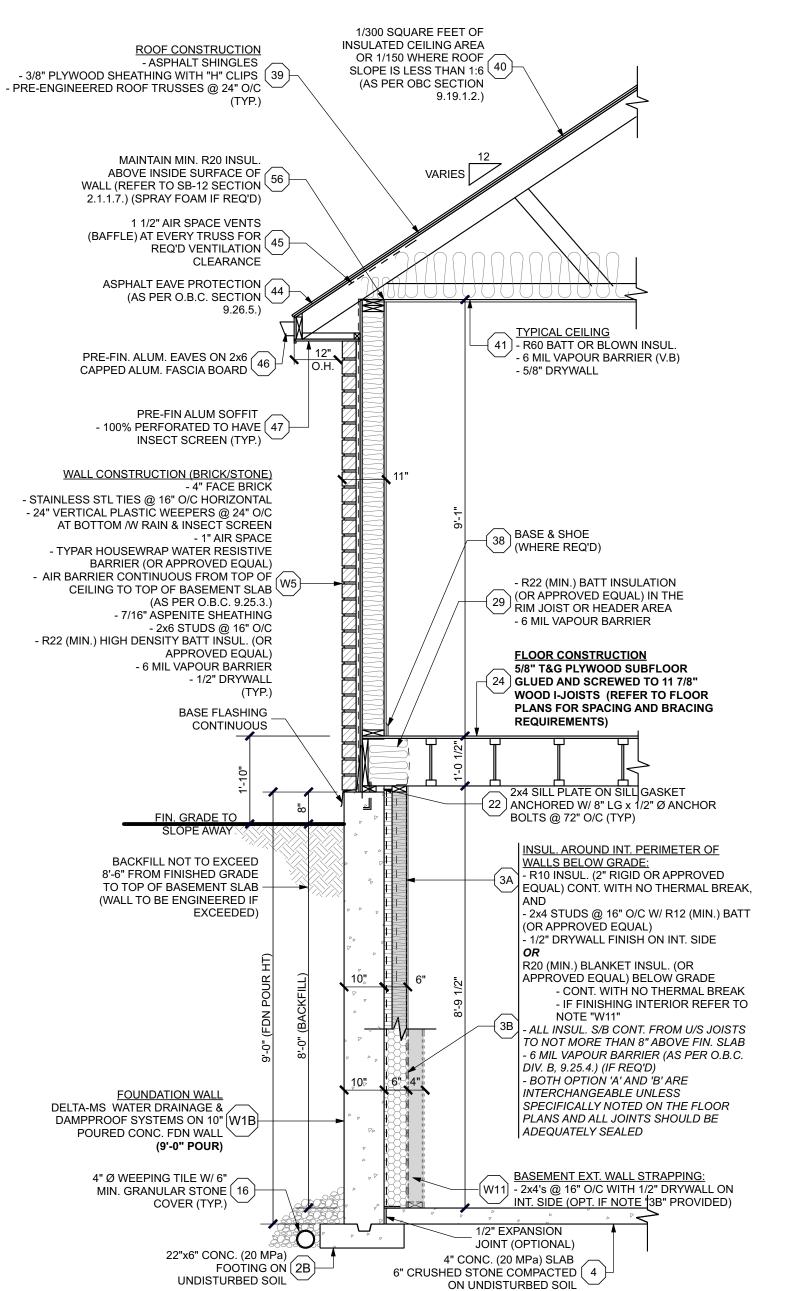
BREAKAWAY -

CLIP



SOUND RESISTANCE

REFER TO O.B.C. SB-3



SCALE: 1/2" = 1'-0"

OF 8

WALL DETAILS,

TYPICAL WALL SECTIONS

A7

2022-53

AS SHOWN

REVISION:

NOT TO BE USED

GENERAL NOTES AND SPECS GENERAL TRADE SPECIFICATIONS

DIVISION 1 GENERAL REQUIREMENTS DIVISION 7 THERMAL AND ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE. ONTARIO REGULATION 413/90 INCLUDING ALL LATEST AMENDMENTS AS WELL AS ANY OTHER CODES OF PROVINCIAL OR LOCAL APPLICATION. AT ALL TIMES MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES OR REFERENCED DOCUMENTS.

AVOID SCALING DIRECTLY FROM THE DRAWINGS. IF THERE IS AMBIGUITY OR LACK OF INFORMATION, INFORM THE CONSULTANT. ANY CHANGE THROUGH THE DISREGARDING OF THIS NOTICE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION.

VERIFY THAT ALL WORK, AS IT PROCEEDS, IS EXECUTED IN ACCORDANCE WITH DIMENSIONS WHICH MAINTAIN POSITION, LEVELS, AND CLEARANCES TO ADJACENT WORK AS SET OUT BY REQUIREMENTS OF THE DRAWINGS. ENSURE THAT WORK INSTALLED IN ERROR IS RECTIFIED BEFORE CONSTRUCTION CONTINUES.

DIVISION 2 SITE WORK

REMOVE ALL TOPSOIL AND VEGETABLE MATTER TO A MINIMUM OF 1'-0" DEEP AND 2'-0" BEYOND THE BUILDING'S PERIMETER.

EXCAVATE FOR FOUNDATIONS AND BUILDING SERVICES TO DEPTHS REQUIRED TO ALLOW FOR PROPER PLACEMENT OF THE WORK. ALL FOOTINGS TO EXTEND TO MINIMUM 4'-0" BELOW FINISHED GRADES (OR AS NOTED ON PLANS) AND TO REST ON UNDISTURBED SOIL OR ROCK. EXCAVATIONS TO BE KEPT FREE FROM STANDING

THE BOTTOM OF EVERY EXTERIOR FOUNDATION WALL TO BE DRAINED BY DRAINAGE OF THE DRAINAGE TILE TO BE COVERED WITH A CONTINUOUS 12" THICK LAYER OF CRUSHED STONE, FOUNDATION DRAINS TO DRAIN TO A SEWER, DRAINAGE DITCH OR ENVELOPE. DRY WELL BY GRAVITY DRAINAGE OR BY PUMPING.

AFTER THE CONSTRUCTION OF FOOTINGS, PITS, WALLS OR PIERS BACKFILL ALL EXCAVATIONS WITH EXISTING APPROVED GRANULAR MATERIALS TO WITHIN 5" OF UNDERSIDE OF CONCRETE SLAB AND WITHIN 6" OF UNDERSIDE OF NEW EXTERIOR FINISHED GRADES.

SLOPE ALL FINISHED GRADES AWAY FROM BUILDING, WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED AND ENSURE PROPER POSITIVE SURFACE DRAINAGE.

MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AFTER 28 DAYS WITH MAXIMUM 4"

DIVISION 3 CONCRETE CONCRETE FOR UNREINFORCED FOOTINGS AND FOUNDATION WALLS TO HAVE A

SLUMP. (20 1.1 P2) STEPPED FOOTINGS TO HAVE A MINIMUM 2'-0" HORIZONTAL DISTANCE BETWEEN STEPS. VERTICAL STEPS TO BE 2'-0" MAXIMUM (SEE 9.15.3.8 O.B.C.) OTHER FOOTINGS SHALL BE 6" THICK MIN. AND MINIMUM 6" PROJECTION BEYOND FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED ON THE DRAWINGS. FOOTINGS TO ADEQUATELY SUPPORT ALL SUPERIMPOSED LOADS WITH A MINIMUM BEARING CAPACITY OF 2500 PSF. FOUNDATIONS WALLS TO EXTEND UP MINIMUM 6" ABOVE FINISHED GRADE. REDUCED FOUNDATION WALLS TO ALLOW BRICK FACING AND MAINTAIN LATERAL SUPPORT. TIE MASONRY TO MINIMUM 4" WIDE X MAXIMUM 8" HIGH CONCRETE UPSTAND WITH DOVE TAIL MASONRY ANCHORS AT 8" OC VERTICALLY AND 3'-0" OC HORIZONTALLY. FILL COLLAR JOINT SOLID WITH MORTAR. PROVIDE 4"x4" BRICK KEY AT TOP OF FOUNDATION WALL, PROVIDE BEAM POCKETS (DENOTED ON PLANS) WHEREVER STEEL BEAMS BEAR ON THE CONC. FOUNDATION

CONCRETE FOR GARAGE SLABS, EXTERIOR STEPS AND EXTERIOR PORCHES TO BE 32 MPa AT 28 DAYS WITH 5% - 7% AIR ENTRAINMENT. OTHER SLABS TO BE MINIMUM 20 MPa AT 28 DAYS. CONCRETE SLABS ON GRADE TO BE MINIMUM 3" THICK AND SET ON MINIMUM 6" CLEAR STONE FILL. GARAGE SLABS ON GRADE TO BE MINIMUM 5" THICK AND REINFORCED WITH 10M REBAR AT 24" OC LOCATED NEAR MID-DEPTH OF THE

HABITABLE ROOMS ON CONCRETE SLAB TO BE DAMP-PROOFED WITH 6 MIL POLYETHYLENE. BASEMENT OPENINGS (WINDOWS) GREATER THAN 3'-11" IN LENGTH OR CONTAINING OPENINGS IN MORE THAN 25% OF ITS LENGTH TO BE REINFORCED AS PER ENG. SPECS (2 - #3 RODS EXTENDS 12" ON EACH SIDE (4'-0" WINDOW))

DIVISION 4 MASONRY

MEMBERS WITH 1"x7"x22 GAUGE, CORRUGATED, CORROSION RESISTANT STRAPS AT INSIDE THE INNER FACE OF THE EXTERIOR WALL. 16" OC HORIZONTAL AND 24" OC VERTICAL. PROVIDE WEEP HOLES SPACED AT 2'-0" OC AT THE BOTTOM COURSE OF BRICK /

DAMPCOURSE FLASHING EXTENDED UP 6" VERTICAL AT THESE LOCATIONS AND INSERT BEHIND SHEATHING PAPER. MASONRY CORBELLING TO CONSIST OF SOLID UNITS WITH MAXIMUM 1" PROJECTION

PER COURSE AND TOTAL PROJECTION NOT TO EXCEED 1/3 OF WALL THICKNESS. **DIVISION 5 METALS**

WALL THICKNESS OF 3/16" FITTED WITH A 4" X 4" X 3/16" STEEL PLATE AT EACH END. WHERE AREA OF SUPPORTED FLOOR EXCEEDS 220 SQ. FT. OR IS FOR TWO FLOORS OR MORE, THE STEEL PIPE COLUMN TO BE A MINIMUM OUTSIDE DIAMETER OF 3 1/2" AND A MINIMUM WALL THICKNESS OF 0.188" WITH A 4"x8'x3/8" PLATES. TOP STEEL PLATE MAY BE OMITTED WHERE COLUMN SUPPORTS A STEEL BEAM BY WELDING. BOLTING OR OTHER APPROVED METHOD, BASE PLATES TO BE SECURED TO

DEEP INTO FOOTING OR TO BE POURED IN PLACE WITH THE FLOOR SLAB. ALL STEEL BEAMS REQUIRE MINIMUM 3 1/2" BEARING AND STEEL ANGLE LINTELS REQUIRE MINIMUM 6" BEARING. PROVIDE 7 1/2" SOLID MASONRY UNDER BEAMS OR

CONCRETE FOOTINGS WITH MINIMUM TWO 1/2" DIAMETER BOLTS PLACED MINIMUM 4"

ALL STEEL COLUMNS, STEEL BEAMS AND STEEL ANGLE LINTELS TO BE SHOP PRIMED

WITH ONE COAT OF RUST-INHIBITIVE PAINT. STEEL ANGLE LINTEL SCHEDULE - REFER TO LINTEL SCHEDULE

REFER TO LINTEL SCHEDULES **DIVISION 6 WOOD AND PLASTICS**

ALL WOOD LINTELS OVER OPENINGS TO BE (2)2x10 UNDER DOUBLE TOP PLATE UNLESS OTHERWISE NOTED. ALL LOAD BEARING WOOD STUD PARTITIONS TO HAVE A DOUBLE TOP PLATE. STUD WALLS WITHOUT SHEATHING ON BOTH SIDES TO HAVE MID-GIRTS. PROVIDE DOUBLE STUDS AROUND OPENINGS AND TRIPLE STUDS IN CORNERS OF LOAD BEARING STUD PARTITIONS.

ALL FLOOR JOISTS AND FRAMING LUMBER TO BE NO. 2 GRADE SPRUCE OR BETTER.

SILL PLATES TO BE 2x6 ON SILL PLATE GASKET (ETHAFOAM) AND FASTENED ONTO TOP OF POURED CONCRETE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" OC AND EMBEDDED MINIMUM 4" INTO CONCRETE.

LOAD BEARING STUD WALLS PARALLEL TO FLOOR JOISTS TO BE SUPPORTED BY WALLS OR BEAMS OF SUFFICIENT STRENGTH TO SAFELY TRANSFER THE DESIGNED LOADS TO VERTICAL SUPPORTS. WALLS AT RIGHT ANGLES TO FLOOR JOISTS TO BE LOCATED AT MAXIMUM 2'-0" FROM THE JOIST SUPPORT IF SUPPORTING ONE OR MORE FLOORS UNLESS THE JOIST SIZE IS DESIGNED TO ACCOMMODATE SUCH LOADS.

INTERIOR WOOD BEARING WALLS IN BASEMENT TO BE 2x4 AT 16" OC ON 6 MIL POLYETHYLENE AND ANCHORED SECURELY THROUGH ASHLAR COURSE TO CONCRETE FOOTING WITH 3/8" DIAMETER BOLTS AT 7'-0" OC. EXTERIOR STUDS TO BE STOVES, RANGES AND SPACES HEATERS USING SOLID FUELS TO CONFORM TO 2x6 AT 16" OC AND INTERIOR WOOD STUD FIRST FLOOR TO BE 2x4 AT 16" OC. EXTERIOR AND INTERIOR WOOD STUD WALLS TO BE 2x4 AT 16" OC. INTERIOR WOOD

STUD WALLS AT BASEMENT PERIMETER TO BE 2x4 AT 16" OC. ALL NON-LOADBEARING WOOD STUD WALLS TO BE 2x4 AT 16" OC. PROVIDE RIBBON BOARDS MINIMUM 1x4 EACH SIDE OF STEEL BEAM FOR LATERAL SUPPORT.

JOISTS TO HAVE A MINIMUM 1 1/2" END BEARING WHEREAS WOOD BEAMS TO HAVE MINIMUM 3 5/8" END BEARING. JOISTS FRAMED INTO THE SIDE OF WOOD BEAMS TO BE SUPPORTED ON METAL JOISTS HANGERS. JOIST HANGERS ARE ALSO REQUIRED WHERE HEADERS. TRIMMERS AND DOUBLE JOISTS FRAME INTO THE SIDE OF OTHER MEMBERS. HEADER JOISTS TO BE DOUBLED WHERE THEY EXCEED 4'-0" IN LENGTH. HEADER JOISTS EXCEEDING 10'-8" IN LENGTH TO BE DETERMINED BY CALCULATION TRIMMER JOISTS TO BE DOUBLED WHEN LENGTH OF HEADER JOISTS EXCEED 2'-8". WHEN HEADER JOIST LENGTH EXCEEDS 6'-8" THE SIZE OF TRIMMER JOISTS TO BE DETERMINED BY CALCULATION. PROVIDE FRAMING OR SOLID BLOCKING AS REQUIRED FOR PROPER LOAD TRANSFER OF POINT LOADS FROM ABOVE.

PROVIDE DOUBLE JOISTS UNDER ALL NON-LOADBEARING PARTITIONS OVER 6'-0" IN LENGTH PARALLEL TO FLOOR JOIST, WHEN SUCH PARTITIONS CONTAIN NO FULL HEIGHT OPENINGS THE JOISTS DO NOT NEED TO BE DOUBLED. DOUBLE JOISTS CAN BE SEPARATED BY MAXIMUM 8" APART BY USING 2x4 SOLID WOOD BLOCKING AT 4'-0" OC. CANTILEVERED FLOOR JOIST SUPPORTING ROOF LOADS HAVE TO EXTEND INWARD AWAY FROM THE CANTILEVERED SUPPORT FOR A DISTANCE EQUAL TO AT LEAST 6 TIMES THE LENGTH OF THE CANTILEVER. JOISTS AND BEAMS TO BE STAGGERED MINIMUM 4" AT PARTY WALL.

ALL BRIDGING TO BE 2x2 WOOD CROSS BRACING OR SOLID WOOD BLOCKING AT 6'-10" OC. WHERE CLEAR SPAN OF FLOOR JOIST IS WITHIN 18" OF MAXIMUM SPAN PERMITTED PROVIDE BRIDGING AT 4'-0" OC.

TYPICAL FLOOR CONSTRUCTION TO CONSIST OF FINISHED FLOORING ON 5/8" TONGUE AND GROOVE SHEATHING ON WOOD FLOOR JOISTS AS INDICATED ON RAWINGS. PROVIDE MORTAR SCRATCH COAT ON SHEATHING AT LOCATIONS WHERE

CERAMIC TILE IS USED ON FLOORS. TYPICAL ROOF CONSTRUCTION TO CONSIST OF 215 LB.. ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING WITH H-CLIP EDGE SUPPORTS ON PRE-ENGINEERED WOOD TRUSSES AT 2'-0" OC. BOTTOM CHORD OF TRUSSES TO BE DESIGNED TO SUPPORT

CEILING LOADS. TRUSS MANUFACTURER TO CHECK AND VERIFY THAT ALL LOADING AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE WITH THE LOCAL CONDITIONS AND REQUIREMENTS. TRUSS MANUFACTURER TO NOTIFY CONSULTANTS OF ANY DISCREPANCIES THAT MAY AFFECT ROOF LINES AS INDICATED. PROVIDE 2x4 TRUSS BRACING AT 7'-0" OC AT BOTTOM CHORD OR AS PER MANUFACTURER'S

INTERIOR STAIRS TO HAVE A MAXIMUM RISE OF 7 7/8", A MINIMUM RUN OF 10" W/ 1" NOSE. BASEMENT STAIR TO BE 3'-6" WIDE ROUGH STUD OPENING. STAIR FROM FIRST FLOOR TO SECOND FLOOR TO BE 3'-11" FROM ROUGH STUD FACE TO EXPOSED FACE OF STRINGER. INTERIOR STAIR HEADROOM TO BE MINIMUM 6'-8" AND EXTERIOR STAIR HEADROOM TO BE MINIMUM 6'-9". ONLY ONE SET OF WINDERS ARE ALLOWED BETWEEN FLOORS WITH AN INDIVIDUAL WINDER TREAD OF 30 DEGREES AND MAXIMUM TURN OF 90 DEGREES. LANDING TO BE AS LONG AS THE STAIR WIDTH.

HANDRAILS WITHIN THE DWELLING UNIT TO BE 2'-8" HIGH ABOVE THE NOSING. GUARDRAILS WITHIN THE DWELLING UNIT TO BE 3'-0" HIGH ABOVE THE NOSING. EXTERIOR BALCONY GUARDRAILS TO BE 3'-6" HIGH ABOVE FINISHED BALCONY LEVEL. PROVIDE MAXIMUM 4" SPACE BETWEEN VERTICAL PICKETS AND NO HORIZONTAL MEMBERS BETWEEN 4" OR 3'-0" ABOVE NOSING OR BALCONY LEVEL.

PROVIDE ONE 3/4" THICK X 12" WIDE WOOD SHELF COMPLETE WITH COAT ROD AND BRACKETS AS REQUIRED AT EACH CLOTHES CLOSET LOCATION. PROVIDE FIVE 3/4" THICK X 18" WIDE WOOD SHELVES AT ALL LINEN CLOSET LOCATIONS.

MOISTURE PROTECTION

CONCRETE FOUNDATION WALLS TO HAVE ALL EXTERIOR TIE HOLES AND RECESSES SEALED WITH MORTAR OR WATERPROOFING MATERIALS. CONCRETE FOUNDATION WALLS TO BE DAMP-PROOFED TO BE COVERED WITH A LIBERAL COAT OF BITUMINOUS MATERIAL. COVE DAMP-PROOFING OVER ALL FOOTING AND OBSTRUCTIONS TO PROVIDE WATERPROOF

PROVIDE SUITABLE FIRE STOPS FOR ALL CONCEALED AREAS AT FLOOR, CEILING, ROOF LEVELS AND AT STAIRS. CLEARANCES BETWEEN CHIMNEYS OR GAS VENTS AND THE ADJOINING CONSTRUCTION WHICH ALLOW AIR LEAKAGE AND HEAT LOSS FROM WITHIN THE BUILDING INTO THE ADJACENT ROOF SPACE IS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT SUCH LEAKAGE.

PROVIDE THE FOLLOWING MINIMUM THERMAL RESISTANCE VALUES THROUGHOUT THE BUILDING CONSTRUCTION: CEILING BELOW AN ATTIC OR ROOF SPACE (R60)

EXTERIOR WOOD FRAMED WALLS ABOVE FOUNDATION (R22) - CONCRETE FOUNDATION WALL (R20 ci)

PERIMETER INSULATION FOR FOUNDATION WALLS ENCLOSING HEATED AREAS SHALL BE CONTINUOUS R20 BLANKET INSULATION (OR APPROVED EQUAL) COMPLETE WITH INTEGRAL 6 MIL POLYETHYLENE VAPOUR RETARDER.

WALL AND CEILING INSULATION TO BE PROTECTED BY 6 MIL TYPE 1 VAPOUR RETARDANT INSTALLED IN SUCH A MANNER THAT ALL JOINTS OCCUR OVER WOOD FRAMING MEMBERS AND ARE LAPPED MINIMUM 4" ALL PERFORATIONS THROUGH THE VAPOUR RETARDANT. CAUSED BY THE INSTALLATION OF ELECTRICAL OR MECHANICAL ITEMS TO BE TIGHTLY TILE OR PIPE LAID AROUND THE OUTSIDE EDGE OF THE FOOTING THE TOP AND SIDES SEALED USING CAULKING, TAPE OR OTHER APPROVED METHODS OF SEALING IN ORDER TO MAINTAIN THE INTEGRITY AND CONTINUITY OF THE VAPOUR RETARDANT IN THE BUILDING

> EXPOSED FLASHING TO BE 0.013" GALVANIZED STEEL, 0.014" COPPER, 0.018" ZINC OR 0.019" ALUMINUM. CONCEALED FLASHING TO BE F-20 BY LEXSUCO CANADA LTD. OR TYPE 'S' ROLL ROOFING. FLASHING TO BE INSTALLED AT THE FOLLOWING LOCATIONS: - AT EVERY HORIZONTAL JUNCTION BETWEEN DIFFERENT EXTERIOR FINISHES EXCEPT

WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH OPENINGS IN EXTERIOR WALLS WHEN VERTICAL DISTANCE BETWEEN TOP OF OPENING AND BOTTOM OF EAVES EXCEEDS 1/4 OF HORIZONTAL EAVE OVERHANG BENEATH SANDSTONE AND JOINTED MASONRY WINDOW SILLS

OPEN VALLEYS TO BE FLASHED WITH NOT LESS THAN ONE LAYER OF SHEET METAL MINIMUM 2'-0" WIDE WITH A LAYER OF #15 ROOFING PAPER OR FELT UNDERLAY; OR TWO LAYERS OF ROLL ROOFING, BOTTOM LAYER 55 LB.. MINIMUM NOT LESS THAN 18" WIDE AND

TOP LAYER 90 LB., MINIMUM 36" WIDE

INTERSECTIONS OF ASPHALT SHINGLE ROOF AND MASONRY WALLS OR CHIMNEYS TO BE PROTECTED BY COUNTER FLASHING IMBEDDED A MINIMUM OF 1" INTO THE MASONRY AND EXTENDED NOT LESS THAN 6" DOWN THE MASONRY AND LAP LOWER FLASHING MINIMUM 4". FLASHING ALONG THE SLOPE OF THE ROOF TO BE STEPPED SO THAT THERE IS A MINIMUM OF 3" HEAD LAP IN BOTH LOWER AND COUNTER FLASHING. FLASHING AT THE INTERSECTION OF SHINGLE ROOFS AND CLADDING OTHER THAN MASONRY TO EXTEND UP THE WALL MINIMUM 3" BEHIND SHEATHING PAPER AND MINIMUM 3" HORIZONTALLY. THE INTERSECTION OF SINGLE PLY MEMBRANE ROOFS AND ADJACENT WALL SURFACES TO HAVE A CANT STRIP WITH THE MEMBRANE EXTENDED MINIMUM 6" UP THE WALL AND COUNTER FLASHED OR SET BEHIND THE SHEATHING PAPER. CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF, FLASH OVER CHIMNEY SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 2'-6".

ROOF EAVE TO BE FINISHED WITH PRE FINISHED ALUMINUM EAVES TROUGH, FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF EAVES TROUGH OR PART THEREOF AROUND THE PERIMETER OF THE BUILDING. CONNECT DOWN SPOUTS TO THE STORM SEWER SYSTEM OR ONTO GRADE WITH PRE CAST CONCRETE SPLASH PADS TO PREVENT EROSION.

ROOF SPACE VENTILATION TO BE 1/300 OF INSULATED AREA FOR ROOF SLOPES GREATER THAN 2 IN 12 AND 1/150 OF INSULATED AREA FOR ROOF SLOPES LESS THAN 2 IN 12 OR ANY ROOF WHERE AN INTERIOR FINISH IS APPLIED TO THE UNDERSIDE OF THE ROOF RAFTERS. NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WHERE CONTINUOUS RIDGE AND EAVE VENTILATION IS REQUIRED. ALL VENTILATION OPENINGS TO BE PROTECTED FROM THE WEATHER AND INSECTS. VENTS TO BE CONSTRUCTED OF RUST PROOF MATERIAL.

PROVIDE TYPE 'S' ROLL ROOFING OR DOUBLE LAYER OF NO. 15 ASPHALT SATURATED FELTS BRICK & STONE VENEER CONSTRUCTION TO BE TIED BACK TO SOLID WOOD FRAMING AS EAVE PROTECTION AT ALL ROOF EDGES AND EXTEND TO A LINE NOT LESS THAN 12"

ALL PENETRATIONS AND JOINTS BETWEEN HEATED AND UNHEATED SPACES SHALL ADEQUATLEY SEALED WITH CAULKING OR APPROVED EQUAL (INCL. BUT NOT LIMITED TO STONE AND OVER ALL OPENINGS. PROVIDE 6 MIL BLACK REINFORCED POLYETHYLENE WHERE THE WALL PLATES MEET THE FLOORS OR TRUSSES, AT SILL PLATES, WHERE THE SLAB MEETS THE FDN WALL, AT WINDOWS & DOORS, ATTIC ACCESSES, VENTS, PLUMBING

STACKS, ELECTRICAL SERVICES, TELEPOSTS, ETC.) (REFER TO O.B.C. 9.25). **DIVISION 8 DOORS AND WINDOWS**

WINDOW SIZES AND TYPES TO BE AS DENOTED ON PLANS. ALL WINDOWS TO BE DOUBLE GLAZED OR TO INCLUDE REMOVABLE STORM WINDOWS IN ORDER TO MINIMIZE HEAT LOSS AND AIR INFILTRATION. MINIMUM SIZE OF TRANSPARENT OPENINGS FOR HABITABLE ROOMS STEEL PIPE COLUMNS TO BE A MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND A MINIMUM TO BE 10 % OF APPLICABLE FLOOR AREA AND FOR BEDROOMS TO BE 5 % OF APPLICABLE FLOOR AREA, AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL UNOBSTRUCTED OPENING NOT LESS THAN 3.7 SQ. FT. WITH NO WINDOW DIMENSION LESS

> DOOR SIZES AND TYPES TO BE AS DENOTED ON PLANS, MAIN ENTRANCE DOOR TO HAVE A THUMB TURN LOCK SET WHICH ALLOWS OPENING THE DOOR FROM THE INSIDE WITHOUT A KEY ALL GLASS IN SIDE LIGHTS GREATER THAN 20". IN SLIDING PATIO DOORS AND IN STORM DOORS TO BE LAMINATED OR TEMPERED SAFETY GLASS. THE DOOR BETWEEN THE BARAGE AND HABITABLE AREAS TO BE A SOLID CORE EXTERIOR TYPE WITH A SELF CLOSING DEVICE AND TIGHT FITTING WEATHER STRIPPING TO PROVIDE AN EFFECTIVE BARRIER AGAINST GAS AND EXHAUST FUMES. PROVIDE AN MIN 6" HIGH STEP AT THIS DOOR.

PROVIDE ACCESS HATCHES TO CRAWL SPACES OR ATTICS WITH ROOF SPACES MORE THAN 2'-0" HIGH. ACCESS HATCH OPENING TO BE A MINIMUM 20"x28", AND FITTED WITH DOORS OR COVERS THAT ARE INSULATED AND WEATHER STRIPPED

ALL WINDOWS SHOWN ON DRAWINGS TO BE AS MANUFACTURED BY PELLA WINDOWS OR AN APPROVED EQUAL.

TYPE: METAL CLAD CASEMENT OR AS NOTED

DIVISION 9 FINISHES SOUND TRANSMISSION CLASSIFICATION RATINGS BETWEEN DWELLING UNITS TO BE MINIMUM 45 DECIBELS. FLAME SPREAD RATING OR INTERIOR FINISHES TO BE 150 MAXIMUM OR 200 MAXIMUM WHEN P.O.C. DETECTORS ARE INSTALLED.

FINISHED FLOORING IN BATHROOMS, LAUNDRY ROOMS, ENTRANCES, GENERAL STORAGE AREAS AND KITCHENS TO BE RESILIENT TYPE PROVIDING WATER RESISTANCE. REFER TO

ALL EXTERIOR MOLDINGS, TRIMS, PEDIMENTS, PILASTERS, ETC. TO BE AS SUPPLIED BY

PENINSULA ARCHITECTURAL DETAILS INC. OR APPROVED EQUAL. **DIVISION 10 SPECIALTIES**

CHIMNEYS TO EXTEND THROUGH UNIT IN FURRED SPACES AND UP THROUGH ROOF CONSTRUCTION A MINIMUM OF 3'-0" ABOVE POINT OF CONTACT WITH ROOF BUT NOT LESS THAN 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0".

DIVISION 11 EQUIPMENT

UNDERWRITERS' LABORATORIES OF CANADA TEST S627-M1983 "STANDARDS FOR SPACE HEATERS FOR USE WITH SOLID FUELS".

DIVISION 13 SPECIAL CONSTRUCTION DIVISION 15 MECHANICAL

LOCATION OF WATER METER AND GAS METER TO BE IN ACCORDANCE WITH THOSE

AUTHORITIES HAVING APPROPRIATE JURISDICTION.

DUCTWORK IN ATTIC OR ROOF SPACES TO HAVE ALL JOINTS TAPED AND SEALED TO ENSURE THAT DUCTS ARE AIRTIGHT THROUGHOUT THEIR LENGTH. PROVIDE MINIMUM OF 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA FOR EVERY

500 SQ, FT, OF FLOOR AREA IN CRAWL SPACES AND BASEMENTS, PROVIDE MINIMUM 3 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN FINISHED OR HABITABLE AREAS. PROVIDE MINIMUM 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN BATHROOMS. WHEN MECHANICAL VENTILATION IS REQUIRED PROVIDE MINIMUM ONE AIR CHANGE PER HOUR, DISCHARGE EXHAUST DIRECTLY TO OUTDOORS AND PROVIDE BACK FLOW DAMPERS

METAL CHIMNEYS AND VENTS TO BE ULC LABELED, CLASS B FOR GAS-FIRED FURNACES. A METAL CHIMNEY NOT SUPPORTED ON A FOUNDATION TO BE SUPPORTED BY NON-COMBUSTIBLE MATERIAL AND THE SUPPORT TO BE INDEPENDENT OF THE APPLIANCE IT

DIVISION 16 ELECTRICAL

OR SLEEPING AREAS WHEN INTERVENING DOORS ARE CLOSED.

- A CONDUIT FROM THE PANEL TO THE PARKING SPACE

- AN ELECTRICAL BOX IN THE PARKING SPACE

LOCATION OF HYDRO METER AND ELECTRICAL PANEL TO BE IN ACCORDANCE WITH THE AUTHORITIES HAVING APPROPRIATE JURISDICTION. PROVIDE 3 WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAYS

EXCEPT AT UNFINISHED BASEMENTS, PROVIDE A SEPARATE THREE WIRE CIRCUIT WITH NO

OTHER OUTLET CONNECTIONS TO EACH DRYER RECEPTACLE. STOVE RECEPTACLE AND AT

LEAST THREE SPLIT RECEPTACLES IN EACH KITCHEN. TWO OF THE KITCHEN RECEPTACLES MUST BE INSTALLED ABOVE THE COUNTER LEVEL. ELECTRICAL SWITCHES, RECEPTACLES, ETC. ON OPPOSITE SIDES OF DEMISING WALL TO BE STAGGERED. ALL WALL MOUNTED EQUIPMENT (I.E. ELECTRICAL SERVICE PANELS) TO BE

INSTALLED IN SUCH A MANNER A TO MAINTAIN THE INTEGRITY OF THE DEMISING WALL FIRE PRODUCTS OF COMBUSTION DETECTORS TO BE A SINGLE STATION ALARM TYPE SUCH AS AN IONIZATION P.O.C. DETECTOR OR A SPOT TYPE PHOTO ELECTRICAL SMOKE DETECTOR WHICH IS U.L.C. LABELED AND LISTED. DETECTORS TO BE EQUIPPED WITH A VISUAL

INDICATOR WHICH DEMONSTRATES THAT THE UNIT IS OPERATIONAL. DETECTORS TO BE PERMANENTLY MOUNTED TO A JUNCTION BOX OR STANDARD ELECTRICAL OUTLET ON THE CEILING AND WIRED TO THE MAIN ELECTRICAL PANEL ON A SEPARATE CIRCUIT. THE DETECTOR IS LOCATED AT THE CEILING LEVEL BETWEEN THE BEDROOMS OR SLEEPING AREAS AND THE REMAINDER OF THE DWELLING UNIT. SUCH AS INDICATED ON THE DRAWINGS. THE DETECTOR TO HOUSE AN ALARM THAT IS AUDIBLE WITHIN THE BEDROOM

NOT LESS THAN 20% OF THE PARKING SPACES SHALL BE PROVIDED WITH THE REQUIREMENTS OUTLINED IN THE BUILDING CODE (O.B.C. DIV. B, 9.34.4) FOR THE FUTURE INSTALLATION OF AN ELECTRICAL CHARGING STATION (LOCATIONS INCLUDED BUT NOT LIMITED TO GARAGE, CARPORT, ADJACENT TO THE DRIVEWAY) - A MINIMUM 200 AMP PANEL BOARD

A) 20"x6" CONCRETE FOOTING (20 MPa) | ALL SHOULD BEAR ON UNDISTURBED SOIL

TYPICAL NOTE SCHEDULE

B) 22"x6" CONCRETE FOOTING (20 MPa C) 24"x6" CONCRETE FOOTING (20 MPa) SULATION AROUND INTERIOR PERIMETER OF WALLS BELOW GRADE: - ALL INSULATION SHOULD BE CONTINUOUS A) - R10 INSULATION (2" RIGID OR APPROVED EQUAL) CONTINUOUS WITH NO THERMAL BREAK FROM UNDERSIDE OF THE JOISTS TO NOT MORE - 2x4 STUDS @ 16" O/C WITH R12 (MIN.) BATT (OR APPROVED EQUAL) THAN 8" ABOVE THE FINISHED SLAB - 1/2" DRYWALL FINISH ON INTERIOR SIDE. OR. - 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B. B) R20 (MIN.) BLANKET INSULATION (OR APPROVED EQUAL) BELOW GRADE 9 25 4) (IF REO'D CONTINUOUS WITH NO THERMAL BREAK BOTH 'A' AND 'B' ARE INTERCHANGEABLE

- IF FINISHING INTERIOR REFER TO NOTE "W11: BASEMENT EXTERIOR WALL STRAPPING" UNLESS SPECIFICALLY NOTED ON THE FLOOR PLANS & ALL JOINTS SHOULD BE SEALED $_{1}$ $\overline{|4^{"}}$ CONCRETE SLAB (20 MPa) ON 6" CRUSHED STONE COMPACTED ON UNDISTURBED SOIL (MIN.)

5" REINFORCED CONCRETE SLAB (32 MPa) 10M REBAR @ 8" O/C BOTH WAYS (REFER TO O.B.C. DIV. B, 9.39) - PROVIDE 3" BEARING (MIN.) & ANCHORED TO WALLS WITH 24"x24" 10M BENT DOWELS NOT SPACED MORE THAN 24" O/C 5" CONCRETE SLAB ON GRADE (32 MPa) (GARAGE) - 6"x6"x #6/6 WELDED WIRE MESH

- SLOPE TO GARAGE DOOR 5" CONCRETE SLAB ON GRADE (32 MPa) - 6x6x #6/6 WELDED WIRE MESH - 4" (MINIMUM) CLEAR CRUSHED STONE - REMOVE TOPSOIL PER O.B.C. DIV. B, 9.12.1.1.

- REMOVE TOPSOIL PER O.B.C. DIV. B, 9.12.1.1.

- 8" CLEAR CRUSHED STONE

BLOCKING BETWEEN STUDS FOR FUTURE INSTALLATION OF GRAB BARS FOR WATER CLOSETS, BATHTUBS AND SHOWERS (O.B.C. DIV. B, 9.5.2.3 (1)) - IF NO WALL IS PRESENT DUE TO DESIGN CONSTRAINTS THEN LEAVE SPACE FOR INSTALLATION OF A FUTURE WALL FOR THE GRAB BAR

WINDOW WELL: GALVANIZED STEEL OR APPROVED EQUA - ADEQUATE DRAINAGE WHERE REQUIRED - PROV'D COVER OR GRATE AT OR ABOVE GRADE LEVEL IF REQ'D (INSTALLED AS PER MANUF, SPECS) - IF WINDOW IS USED FOR EGRESS: ENSURE THE COVER IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS [O.B.C. DIV. B. 9.9.10.1.(1)] DEPRESS CONCRETE FOR OPENING ABOVE (REFER TO PLAN FOR SIZE)

DEPRESS CONCRETE FOUNDATION WALL FOR CONCRETE STAIR BEARING - REFER TO TYPICAL CONCRETE STAIR WALKOUT DETAIL WHEN APPLICABLE SUMP PUMP (SITE VERIFY LOCATION): - REFER TO GRADING PLAN FOR DISCHARGE LOCATION PRIOR TO CONCRETE POUR - PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION

- PROVIDE SLEEVE THROUGH CONCRETE WITH ADEQUATE SEAL WHERE REQUIRED - REFER TO GRADING PLAN FOR LOCATION PRIOR TO CONCRETE POUR 16) 4" Ø WEEPING TILE WITH 6" (MINIMUM) GRANULAR STONE COVER

PRE-FINISHED AIR VENT(S) WITH RAIN & INSECT SCREEN \$\frac{1}{4"\pi}\$ FLOOR DRAIN WITH COVER (SITE VERIFY LOCATION): - PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION 4" DEEP BEAM POCKET (GROUTED) - SITE VERIFY WIDTH AND HEIGHT TO SUIT BEAM

BARRIER (AS PER O.B.C. DIV. B, 9.25.4) ON WARM SIDE OF INSULATION

2x4 or 2x6 SILL PLATE ON SILL GASKET ANCHORED WITH 8" LONG X 1/2" Ø ANCHOR BOLTS @ 72" O/C FLOOR CONSTRUCTION: - 5/8" TONGUE AND GROOVE PLYWOOD SUBFLOOR GLUED AND SCREWED TO FLOOR JOISTS - REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS

LUSH MOUNT JOISTS OR TRUSSES (REFER TO PLAN) TO BEAM USING PRE-ENG. HANGERS 26) ILOAD BEARING WALL ABOVE, JOISTS TO CARRY LINE LOAD (LUMBER SUPPLIER TO VERIFY) CANTILEVERED FLOOR IN CLOSET ABOVE - GASPROOF & INSULATE AT UNDERSIDE OF FLOOR - FOR ADDITIONAL BEARING FRAME 2x4 WALL UNDER CANTILEVERED FLOOR & PROVIDE 6" THICKENED SLAB PROVIDE R22 (MIN.) BATT INSULATION (OR APPROVED EQUAL) IN THE RIM JOIST OR HEADER AREA [REFER TO O.B.C. SB-12, 3.1.1.1.(14)] AND 6 MIL VAPOUR

EXPOSED FLOOR SYSTEM: - 5/8"TONGUE & GROOVE PLYWOOD SHEATHING - 6 MIL POLY VAPOUR BARRIER (TO TIE INTO ADJOINING WALL ASSEMBLIES) - FLOOR JOISTS (REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS) - R32 (MIN.) INSULATION (BATT OR APPROVED EQUAL) (SPRAY FOAM RECOMMENDED)

- AIR BARRIER (CONTINUOUS AND TIED INTO ADJOINING WALL/FLOOR ASSEMBLIES) - 1x3 STRAPPING @ 16" O/C - PRE-FINISHED ALUMINUM SOFFIT OPTIONAL REQUIREMENTS FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING:

- PROV'D A CONDUIT DIRECTLY FROM THE ELECTRICAL PANEL INTO THE PARKING AREA THAT, IS NOT LESS THAN 1" TRADE SIZE AND IS EQUIPPED WITH THE MEANS TO ALLOW CABLES TO BE PULLED THROUGH AND. - AN ELECTRICAL OUTLET BOX IN THE PARKING AREA THAT IS 4-11/16" TRADE SIZE BOTH SHALL <u>- P</u>ROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST AND BE INSTALLED IN ACCORDANCE WITH ELECTRICAL CODES BRICK OR STONE SKIRT:

- PROVIDE CAULKING, FLASHING & TIES WHERE REQUIRED - REFER TO "W5: WALL CONSTRUCTION (BRICK/STONE)" NOTE FOR TYPICAL CONSTRUCTION HANDRAIL AND/OR GUARD AT STAIRS OR RAMP - WHERE SIDE IS PROTECTED BY WALL REFER TO O.B.C. DIV. B, 9.8.7 FOR HANDRAIL REQUIREMENTS OTHERWISE REFER TO O.B.C. DIV. B, 9.8.8 FOR GUARD REQUIREMENTS

- HEIGHT: 36" IF AGAINST A WALL OR 42" IF GUARD REQUIRED PROV'D 2" CLEARANCE FROM WALL WITH NO MORE THAN 4" PROJECTED INTO REQUIRED STAIR WIDTH 35 GUARD (RAILING OR HALF WALL - REFER TO PLAN) (O.B.C. DIV. B, 9.8.8)

- BRICK OR STONE SKIRT WALL (REFER TO PLAN FOR HEIGHT) WITH 4" CONCRETE OR STONE SILL

- NO OPENING IN RAILING/GUARD CAN PERMIT THE PASSAGE OF A SPHERICAL OBJECT 4" Ø OR LARGER - NO MEMBER OF THE RAILING BETWEEN 5.5" AND 36" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE DESIGNED TO FACILITATE CLIMBING INSULATED SELF-CLOSING DOOR WITH WEATHER-STRIPPING GAS PROOF WALLS AND CEILING IN GARAGE WITH 1/2" TYPE 'X' GYPSUM BOARD

- PROVIDED R22 INSULATION - TAPE AND SEAL ALL JOINTS GAS TIGHT 38) BASE & SHOE (WHERE REQUIRED) 39 ROOF CONSTRUCTION:

- ASPHALT SHINGLES - 3/8" PLYWOOD SHEATHING WITH "H" CLIPS - PRE-ENG. ROOF TRUSSES @ 24" O/C ROOF VENTS (O.B.C. DIV. B, 9.19.1.2):

- 1/300 SQUARE FEET OF INSULATED CEILING AREA OR, 1/150 WHERE ROOF SLOPE IS LESS THAN 1:6 TYPICAL CEILING: - R60 (MIN.) BATT OR BLOWN INSULATION (OR APPROVED EQUAL)

- 5/8" DRYWAI PROVIDE DROPPED CEILING IN THIS AREA - R31 INSULATION (MINIMUM) [BATT OR APPROVED EQUAL WITH SPRAYED FOAM INSULATION OPTIONAL BUT RECOMMENDED]

- PROVIDE HEAT DÙCT & COLD AIR RETURN INTO VOID ATTIC ACCESS (O.B.C. DIV. B, 9.19.2) (SITE VERIFY LOCATION) - MINIMUM 20"x28" - PROVIDE R20 INSULATION & WEATHER STRIPPING

- 6 MIL VAPOUR BARRIER AS PER O.B.C. DIV. B, 9.25.4

ASPHALT EAVE PROTECTION AS PER O.B.C. DIV. B, 9.26.5 1 1/2" AIR SPACE VENTS (BAFFLE) AT EVERY TRUSS FOR REQUIRED VENTILATION CLEARANCE 16) PRE-FINISHED ALUMINUM EAVESTROUGH ON 2x6 CAPPED ALUMINUM FASCIA BOARD PRE-FINISHED PERFORATED ALUMINUM SOFFIT WITH INSECT SCREEN

AR STAIR WALKOUT(CAST-IN-PLACE CONCRETE STEPS): - RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE OR 11" RUN W/ NO NOSING **P. ENG. TO VERIFY INCLUDED DETAIL 49 CAST-IN-PLACE STEPS:

- RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE OR 11" RUN W/ NO NOSING - ANCHORED TO CONCRETE WALL & ON 10" GRANULAR BASE ON UNDISTURBED SOIL (SITE VERIFY DIMS) STEP(S) (O.B.C. DIV. B, 9.8): THE STEP(S) SHOWN ON PLAN ARE AN ESTIMATE AND MAY NOT REFLECT ACTUAL SITE CONDITIONS. AFTER FINISHED SLAB/GRADE IS COMPLETE, SITE VERIFY NUMBER OF STEPS REQUIRED BASED ON THE FOLLOWING DESIGN REQUIREMENTS - WOOD, CONCRETE OR APPROVED EQUAL

- RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE - PROVIDE A LANDING (DESIGNED AS PER O.B.C DIV. B, 9.8.6) **EXCEPT WHERE**;
- IN A DWELLING UNIT, THE DOOR AT THE TOP OF A STAIR SWINGS AWAY FROM THE STAIR, OR IN AN ATTACHED GARAGE OR SECONDARY ENTRANCE, THE STAIR HAS NO MORE THAN 3 RISERS & THE DOOR AT THE TOP SWINGS AWAY - PROVIDE HANDRAILS (SEE NOTE 34) EXCEPT WHERE: - <u>INTERIOR STAIRS</u>, HAVE NO MORE THAN 2 RISERS, OR <u>EXTERIOR STAIRS</u>, HAVE NO MORE THAN 3 RISERS

PROVIDE GUARDS (SEE NOTE 35) WHERE THE DIFFERENCE BETWEEN SURFACES IS MORE THAN 1'-11" - BOTTOM TO BEAR ON PATIO STONE OR CONCRETE SLAB 5/4" PRESSURE TREATED DECK PLANKS WITH 3/16" BETWEEN AND SLOPED AWAY FROM HOUSE 1/4" PER FOOT (MIN)

REQUIRED HEIGHT OVER STAIRS (O.B.C. DIV. B, 9.8.2.2(1)): 6'-5" MINIMUM (SLANT JOISTS IF NEEDED) GAS FIREPLACE: - PROVIDE DIRECT VENT AS PER O.B.C. DIV. B, 9.22.10.2 PROVIDE SEPARATE DIRECT VENTS FOR FURNACE, HOT WATER TANK, H.R.V., DRYER AND EXHAUST HOOD

6) MAINTAIN R20 (MIN.) INSULATION ABOVE THE INSIDE SURFACE OF WALL (SPRAY FOAM IF REQUIRED) (REFER TO SB-12 SECTION 3.1.1.8 - PROVIDE BITUMINOUS MEMBRANE & FLASHING AS PER O.B.C. (SLOPE 1/4" = 1'-0" (MINIMUM) AWAY FROM HOUSE OR TO PROVIDED DRAIN) - 5/8" T&G PLYWOOD SHEATHING - ROOF JOISTS / TRUSSES (REFER TO PLAN FOR SPACING AND BRACING REQUIREMENTS)

INSULATED METAL DOOR WITH WEATHER STRIPPING 110V INTERCONNECTED SMOKE ALARM COMPLETE WITH REQUIRED VISUAL COMPONENT (I.S.A.) (AS PER O.B.C. DIV. B, 9.10.19) 1110V INTERCONNECTED SMOKE & CARBON MONOXIDE ALARM C/W REQUIRED VISUAL COMPONENT (I.S.C.A.) (AS PER O.B.C. DIV. B, 9.10.19 & 9.33.4) LEDGER BOARD (REFER TO PLAN FOR LUMBER SIZE):

- ANCHORED TO RIM BOARD WITH STAGGERED 1/2" Ø LAG BOLTS SPACED AS PER O.B.C. TABLE 9.20.17.5 - PROVIDE CONTINUOUS FLASHING WITH DRIP EDGE AS PER THE O.B.C. **P. ENG. TO VERIFY WHEN ANCHORED TO A WALL WITH AN EXTERIOR MASONRY FINISH, REFER TO INCLUDED DETAIL 4" EXTERIOR MASONRY CHASE IN FOUNDATION WALL (O.B.C. DIV. B, 9.15.4.7): - FACING SHALL BE TIED TO FOUNDATION WITH METAL TIES SPACED 8" VERTICALLY AND 36" HORIZONTALLY AND. - GROUT SPACE BETWEEN FACING AND FOUNDATION SOLID TO TOP OF FOUNDATION WALL

SPACE TRUSSES ADEQUATELY TO NOT INTERFERE WITH THE CEILING PENETRATION OF ANY FIXTURES (LIGHTING, SOLAR TUBES, ETC.) AT THE NOTED LOCATION OR CENTER OF ANY COFFERED CEILING PANELS **LIST OF TYPICAL ABBREVIATIONS**

- SITE VERIFY HEIGHT (REFER TO GRADING PLAN)

- L.V.L. AND S.C.L. BEAMS AND POSTS TO BE VERIFIED BY THE LUMBER SUPPLIER

- ALL EXTERIOR WOOD TO BE PRESSURE TREATED

- WOOD I-JOISTS SHALL HAVE ADEQUATE BLOCKING AT ALL SUPPORTS (LUMBER SUPPLIER TO VERIFY)

DBI_PLT = DOUBLE PLATE

I.S.A. = INTERCONNECTED SMOKE ALARM REQ'D = REQUIRED ALUM. = ALUMINUM D.J. OR DBL JST = DOUBLE JOIST BLKG = BLOCKING "DO" = DITTCL.V.L. = LAMINATED VENEER LUMBER BSMNT = BASEMENT EXH FAN OR E.F. = EXHAUST FAN MTI = MFTAI BTM = BOTTOM FDN = FOUNDATION N.T.S. = NOT TO SCALE CANT'L = CANTILEVERED FIN. FLR = FINISHED FLOOR O.B.C. = ONTARIO BUILDING CODE CATH. CLG = CATHEDRAL CEILING FL. = FLUSH O/C = ON CENTER COL. = COLUMN FTG = FOOTING P.E.B. = PRE-ENGINEERED BEAM CONT. = CONTINUOUS HSS = HOLLOW STRUCTURAL STEEL P.E.H. = PRE-ENGINEERED HEADER CONC. = CONCRETE H W T = HOT WATER TANK PRF FIN = PRF-FINISHED COV = COVEREDH.R.V. = HEAT RECOVERY VENTILATOR PROV'D = PROVIDE OR PROVIDED INSUL. = INSULATION OR INSULATED P.T. = PRESSURE TREATED

CLG TRANS. = CEILING TRANSITION I.S.C.A. = INTERCONNECTED SMOKE P.L.A. = POINT LOAD ABOVE

GENERAL CONSTRUCTION NOTES: STEEL BEAMS SUPPORTING NON-UNIFORM LOADS (POINT LOADS, BRICK LOADS, ETC.) AND THE SUPPORTING STEEL POSTS & CONCRETE PADS SHALL BE SIZED BY A PROFESSIONAL - KITCHEN LAYOUT TO BE VERIFIED BY KITCHEN DESIGNER / MANUFACTURER - ALL COOKING APPLIANCES AND LAUNDRY SPACES SHALL BE SUPPLIED WITH AN ELECTRICAL OUTLET, NATURAL GAS LINE OR PROPANE LINE

THE FURNACE SHALL HAVE A BRUSHLESS DIRECT CURRENT MOTOR (AS PER O.B.C. DIV. B, 12.3.1.5 (2)) ELECTRICAL LAYOUT TO BE VERIFIED ON SITE BY OWNER/BUILDER & CONTRACTOR PROVIDE ICE AND WATER SHIELD AT ALL FLAT ROOF, DORMER, VALLEY, ROOF CRICKET AND HIP ROOF CONNECTIONS PROVIDE 5" CONTINUOUS EAVESTROUGH TO DRAIN POSITIVELY TO RAIN WATER DOWNSPOUTS LOCATED AS PER O.B.C. REQUIREMENTS & LOCAL MUNICIPAL DRAINAGE BYLAWS WALLS, FLOORS AND CEILINGS THAT SEPARATE CONDITIONED SPACES FROM UNCONDITIONED SPACES SHALL BE CONSTRUCTED SO TO INCLUDE AN AIR BARRIER SYSTEM THAT SHALL PROVIDE A CONTINUOUS BARRIER TO AIR LEAKAGE

& CARBON MONOXIDE ALARM REINF. = REINFORCED

VENTS, PLUMBING STACKS, ELECTRICAL SERVICES, TELEPOSTS, ETC.) (REFER TO O.B.C. DIV. B, 9.25) - ALL PENETRATIONS THROUGH SLAB (IE. WHERE THE SLAB MEETS THE FOUNDATION WALL, TELEPOSTS, PLUMBING DRAINS, ETC.) SHALL BE ADEQUATELY SEALED FOUNDATION WALLS TO BE ENGINEERED IF THE TOTAL LENGTH OF ALL OPENINGS EXCEED 25% OF THE TOTAL WALL LENGTH OR IF ANY OPENING EXCEEDS 47" EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE SUPPORTED ON CONCRETE WALLS OR PIERS (MINIMUM 6" IN CROSS SECTION) OR CANTILEVERED FROM THE MAIN FOUNDATION WALL (AS PER O.B.C. DIV. B, 9.8.9.2) - ALL STAIRS SHALL CONFORM TO O.B.C. DIV. B, SECTION 9.8: - RISE / RUN DIMENSIONS - SECTION DIV. B, 9.8.2, LANDINGS - SECTION DIV. B, 9.8.6, HANDRAILS - SECTION DIV. B, 9.8.7 - ROOF & GIRDER TRUSS LOCATION TO BE VERIFIED BY ROOF MANUFACTURER

- THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT AND ALL PENETRATIONS MUST BE SEALED AIRTIGHT (O.B.C. DIV. B, 9.25.3 & SB-12)

- ALL PENETRATIONS AND JOINTS BETWEEN HEATED AND UNHEATED SPACES SHALL ADEQUATELY SEALED WITH CAULKING OR APPROVED EQUAL (INCLUDING BUT NOT LIMITED TO:

WHERE THE WALL PLATES MEET THE FLOORS OR TRUSSES, AT SILL PLATES, WHERE THE SLAB MEETS THE FOUNDATION WALL, AT WINDOWS & DOORS, ATTIC ACCESSES,

RFTR = RAFTFR

TYP. = TYPICAL

STL BM = STEEL BEAM

SOG = SLAB ON GRADE

UNEX. = UNEXCAVATED

V.B. = VAPOUR BARRIER

UNFIN. = UNFINISHED

T.J. OR TRPL JST = TRIPLE JOIST

W.W.M. = WELDED WIRE MESH

S.C.L. = STRUCTURAL COMPOSITE LUMBER

SQ. FT = SQUARE FOOTAGE OR SQUARE FOOT

- PROVIDE ADEQUATE CAPPING AND WEATHER-PROOFING AROUND ALL EXTERIOR NON PRESSURE TREATED WOOD BEAMS - A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT (REFER TO O.B.C. SB-12, 3.1.1.12) - ALL JOISTS SHALL BE RESTRAINED AT THE BOTTOM FROM TWISTING BY TOE NAILING INTO THE SUPPORTED WOOD PLATE, END NAILING TO THE HEADER JOIST OR BY CONTINUOUS STRAPPING OR BLOCKING NEAR THE SUPPORT - STEEL BEAMS SUPPORTING FLOOR JOISTS SHALL HAVE A NAILING PLATE ALONG THE TOP. IF JOISTS BEAR DIRECTLY ON THE BEAM STRAPPING SHALL BE PROVIDED ALONG THE

C) 12" POURED CONCRETE (20 MPa) FOUNDATION WALL CONTÍNUOUS AIR BARRIER REQÙIRED FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. DIV. B, 9.25.3) 2x4 OR 2x6 STUDS @ 16" O/C WITH 1/2" DRYWALL ON BOTH SIDES PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS /FUTURE - 2x4 OR 2x6 STUDS @ 16" O/C WITH 1/2" DRYWALL ON BOTH SIDES - PROVIDE ADEQUATE BLOCKING @ MIDPOINT - PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS RIOR LOAD BEARING WALL WITH FOOTING: - 2x4 @ 16" O/C STUDS ON 1 COURSE 4" ASHLAR & 16"x6" CONCRETE FOOTING OR, - 2x6 @ 16" O/C STUDS ON 1 COURSE 6" ASHLAR & 18"x6" CONCRETE FOOTING (ALL SHOULD CONTAIN ADEQUATE BLOCKING @ MIDPOINT) WALL CONSTRUCTION (BRICK/STONE):

- 4" FACE BRICK / STONE FINISH - STAINLESS STEEL TIES @ 16" O/C HORIZONTAL - 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM WITH RAIN & INSECT SCREEN TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED FOLIAL) - AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) 7/16" ASPENITE SHEATHING - 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C - R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS) - 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4)

WALL CONSTRUCTION (SIDING - VINYL OR BOARD AND BATTON SIDING FINISH - TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL) - AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) - 7/16" ASPENITE SHEATHING - 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C

DELTA-MS WATER DRAINAGE & DAMPPROOF SYSTEMS ON THE EXTERIOR OF

A) 8" POURED CONCRETE (20 MPa) FOUNDATION WALL

B) 10" POURED CONCRETE (20 MPa) FOUNDATION WALL

- R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS) - 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4) - 1/2" DRYWALL WALL CONSTRUCTION (STUCCO) - 2 COATS CEMENT PARGING ON FIBREMESH - 1" STYROFOAM INSULATION - TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL) - AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) - 7/16" ASPENITE SHEATHING

- R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

- 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4) WALL CONSTRUCTION (DOUBLE STUCCO 2x4 OR 2x6 STUDS (REFER TO PLAN) @ 16" O/C EACH SIDE OF STUD: - STUCCO FINISI 2 COATS CEMEMT PARGING ON FIBREMESH 1" STRYOFOAM INSULATION

- 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C

7/16" ASPENITE SHEATHING WALL CONSTRUCTION (DOUBLE BRICK/STONE) 2x4 OR 2x6 STUDS (REFER TO PLAN) @ 16" O/C EACH SIDE OF STUD: - 4" FACE BRICK / STONE FINISH - STAINLESS STEEL TIES @ 16" O/C HORIZONTAL 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM WITH RAIN & INSECT SCREEN

 1" AIR SPACE 7/16" ASPENITE SHEATHIN WALL CONSTRUCTION (BRICK/STONE VENEER): BRICK / STONE VENEER FINISH WITH VENEER MORTAR (OR APPROVED EQUAL) AS PER MANUFACTURERS SPECIFICATIONS TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL) - AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) - FLASHING AS PER O.B.C. AND MANUFACTURERS SPECIFICATIONS - 7/16" ASPENITE SHEATHING - 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C

- 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4) BASEMENT EXTERIOR WALL STRAPPING 2x4 STUDS @ 16" O/C WITH 1/2" DRYWALL ON INTERIOR SIDE - WHEN ABOVE GRADE AT KNEE WALLS PROVIDE R12 INSULATION (BATT OR APPROVED EQUAL) PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS (OPTIONAL INTERIOR FINISH IF NOTE "3A: R20 CONTINUOUS INSULATION PROVIDED") (REFER TO PLAN) TERIOR FIRE RATED WALL ASSEMBLY - MINIMUM 1 HOUR FIRE RESISTANCE RATING (FRR)

- R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

NOTES ON THIS SHEET FOR TYPICAL WALL CONSTRUCTION BASED ON THE FINISH AND SUBSTITUTE THE FOLLOWING REQUIREMENTS: EW1a (O.B.C. SB-3) - 1 HOUR FRR - EXTERIOR FINISH: MASONRY **OR** SIDING: NON-COMBUSTIBLE **OR** STUCCO: NO FOAM INSULATION, WIRE MESH ATTACHED TO NON COMBUSTIBLE SHEATHING - FIREPROOF INSULATION (MINERAL FIBRE PROCESSED FROM ROCK OR SLAG) BETWEEN STUDS AS PER O.B.C. 1 LAYER 5/8" TYPE 'X' INTÈRIOR DRYWALL FINISH W13 INTERIOR FIRE RATED WALL ASSEMBLY - MINIMUM 1 HOUR FIRE RESISTANCE RATING (FRR) AND 50 SOUND TRANSMISSION CLASS (STC) RATING ALL VERSIONS SHOULD HAVE FIREPROOF INSULATION (MINERAL FIBRE PROCESSED FROM ROCK OR SLAG) BETWEEN STUDS AS PER O.B.C

W6d (O.B.C. SB-3) - 1 HOUR FRR (LOADBEARING) OR 1.5 HOUR FRR (NON-LOADBEARING) / 55 STC 2x4 STUDS @ 16" O/C RESILIENT METAL CHANNELS @ 24" O/C ON 1 SIDE (SITE VERIFY) 2 LAYERS OF 1/2" TYPE 'X' GYPSUM BOARD ON EACH SIDE OF STUD WALL W6h (O.B.C. SB-3) - 1 HOUR FRR (NON-LOADBEARING) / 52 STC (NOT TO BE USED WHERE LOAD BEARING REQUIRED)

EXTERIOR FIRE RATED WALL ASSEMBLY - MINIMUM 45 MINUTE FIRE RESISTANCE RATING (FRR) REFER TO NOTES ON THIS SHEET FOR TYPICAL WALL CONSTRUCTION BASED ON THE FINISH AND SUBSTITUTE THE FOLLOWING REQUIREMENTS: - ALL VERSIONS SHOULD HAVE FIREPROOF INSULATION (MINERAL FIBRE PROCESSED FROM ROCK OR SLAG) BETWEEN STUDS AS PER O.B.C. - WHEN A COMBINATION OF EXTERIOR FINISHES IS SHOWN USE THE MOST RESTRICTIVE VERSION WHERE SIDING FINISH IS SHOWN - EW1b (O.B.C. SB-3) - 45 MINUTE FRR

2 LAYERS OF 1/2" REGULAR GYPSUM BOARD ON EACH SIDE OF ŚTUD WALI

RESILIENT METAL CHANNELS @ 24" O/C ON 1 SIDE (SITE VERIFY)

WHERE STUCCO FINISH IS SHOWN - EW1b (O.B.C. SB-3) - 45 MINUTE FRR - NO FOAM INSULATION ALLOWED ON EXTERIOR, FASTEN WIRE MESH DIRECTLY TO SHEATHING - 1 LAYER 1/2" TYPE 'X' INTERIOR DRYWALL FINISH (OPTIONAL EW1c, 2 LAYERS OF REGULAR 1/2" GYPSUM BOARD) WHERE MASONRY CLADDING IS SHOWN - EW1d (O.B.C. SB-3) - 45 MINUTE FRR 1 LAYER 1/2" REGULAR INTERIOR DRYWALL FINISH

- 1 LAYER 1/2" TYPE 'X' INTERIOR DRYWALL FINISH (OPTIONAL EW1c, 2 LAYERS OF REGULAR 1/2" GYPSUM BOARD)

COLUMN SCHEDULE 1. 3.5" Ø x 0.188 H.S.S. COLUMN

WALL SCHEDULE

 4x4x1/2 TOP PLATE - 4x8x1/2 BASE PLATE WITH 2-5/8"x10" ANCHOR BOLTS - 36"x36"x16" CONCRETE FOOTING (UNLESS OTHERWISE NOTED)

DUBLED STUDS AT OPENINGS, OR STUDS AT

OUBLED TOP WALL PLATES

NTELS TO STUDS

OOF RAFTER ROOF TRUSS OR

OOF JOIST TO PLATE - TOE NA

AFTER TO JOIST (WITH RIDGE

RAFTER PLATE TO EACH CEILING JOIST

GUSSET PLATE TO EACH RAFTER AT PEAK

DLLAR TIE TO RAFTER - EACH END

OLLAR TIE LATERAL SUPPORT TO

ROOF STRUT TO RAFTER

W 6 x 20

W 8 x 18

W 8 x 21

ACK RAFTER TO HIP OR VALLEY RAFTER

ROOF STRUT TO LOADBEARING WALL - TOE NAIL

2" x 6" OR LESS PLANK DECKING TO SUPPORT

EDGE LAID PLANK DECKING TO SUPPORT

2" EDGE LAID PLANK TO EACHOTHER

ANK DECKING WIDER THAN 2" x 6" TO SUPPO

STEEL LINTEL SCHEDULE

W 8 x 24 18'-9" 18'-0" 17'-2"

13'-11"

15'-4"

17'-:5"

18'-3"

16'-8"

17'-7"

13'-5" 12'-11"

14'-10" 14'-2"

16'-9"

RAFTER AT RIDGE BOARD - TOE NAIL - END NAI

ALLS OR WALL INTERSECTIONS AND CORNERS

TTOM WALL PLATE OR SOLE PLATE TO JOISTS

ITERIOR WALLS TO FRAMING OR SUBFLOORIN

EILING JOIST TO PLATE - TOE NAIL EACH END

ORIZONTAL MEMBER OVER OPENINGS IN

N-LOADBEARING WALLS - EACH END

2x4 STUDS @ 16" O/C

DECORATIVE COLUMN (REFER TO PLAN FOR SIZE) INTERIOR DECORATIVE STRUCTURAL COLUMN (REFER TO PLAN FOR SIZE) 6x6 STRUCTURAL WOOD POST (OR APPROVED EQUAL) WITH OR WITHOUT DECORATIVE SURROUND (REFER TO PLAN FOR SIZE) ANCHORED TO SLAB / DECK / PIER 6x6 STRUCTURAL WOOD POST (OR APPROVED EQUAL) WITH DECORATIVE SURROUND ON THE PEDESTAL (REFER TO PLAN FOR SIZES) ANCHORED TO SLAB

TRIPLE STUD (REFER TO PLAN FOR SIZE) WOOD POST ON 36"x36"x16" POURED CONCRETE PAD FOOTING (UNLESS OTHERWISE NOTED) ENGINEERED STEEL COLUMN - FOR COLUMN, TOP AND BOTTOM PLATES & CONCRETE PAD FOOTING SIZES REFER TO ENGINEERED DRAWINGS MATCHING PROJECT IN THIS TITLE BLOCK

17 3/4" O/C

NAILING	FOR FRAMI	NG	FASTE	NERS FO	OR SHI	EATH O.B.C. 9		ND SU	JBFLC	ORING
CONSTRUCTION DETAIL	MINIMUM LENGTH MINIMUM NUMBER OR					MINIMUM LENGTH FOR FASTENERS, in				MINIMUM
OR JOISTS TO PLATE - TOE NAIL	OF NAILS, in	MAXIMUM SPACING OF NAILS 2	ELEMENT			COMMON OR SPIRAL NAILS	RING THREAD NAILS OR SCREWS	ROOFING NAILS	STAPLES	
ID OR METAL STRAPPING TO ERSIDE OF FLOOR JOISTS	2 1/4"	2	BOARD LUMBER 71	BOARD LUMBER 71/4" OR LESS WIDE 2" 13/4" N/A		N/A	2"	2 PER SUPPORT		
SS BRIDGING TO JOISTS	2 1/4"	2 AT EACH END	BOARD LUMBER MO	ORE THAN 7 1/4" '	WIDE	2"	1 3/4"	N/A	2"	2 PER SUPPORT
			FIBREBOARD SHEA	ATHING UP TO 1/2	?" THICK	N/A	N/A	1 3/4"	11/8"	
BLE HEADER OR TRIMMER JOISTS	3"	11 3/4" O/C	GYPSUM SHEATHING UP TO 1/2" THICK		ICK	N/A	N/A	13/4"	N/A	
OR JOIST TO STUD LLOON CONSTRUCTION)	3"	2	PLYWOOD, OSB OR WAFERBOARD UP T			2"	1 3/4"	N/A	1 1/2"	AND 11 3/4" 0/0
GER STRIP TO WOOD BEAM	3 1/4"	2 PER JOIST	PLYWOOD, OSB OR WAFERBOARD FROM 3/8" TO 13/16" THICK			2"	13/4"	N/A	2"	NUMBER OR MAXIMUM SPACING OF
T TO JOIST SPLICE E ALSO TABLE 9.23.13.8)	3"	2 AT EACH END	PLYWOOD, OSB, OR WAFERBOARD OVE			2 1/4"	2"	N/A	N/A	
DER JOIST END NAILED TO JOISTS NG PERIMETER	4"	3							-	
JOIST TO ADJACENT HEADER JOIST	3 1/4"	5		WOOD	LINTE	1 601	JEDIII	_		\neg
NAILED) AROUND OPENINGS	4"	3	WOOD LINTEL SCHEDULE (O.B.C. 9.23.12.3)							
H HEADER JOIST TO ADJACENT TRIMMER	3 1/4"	5	,					_		
T (END NAILED) AROUND OPENINGS	4"	3				N	MAXIMUM SI	PAN, m	1	
O TO WALL PLATE (EACH END) TOE NAIL	2 1/2"	4	LINTEL	LINTEL		EXTERIOR WALLS			INTERIO	R
ND NAIL	3 1/4"	2	SUPPORTING	SIZE	SPI	ECIFIED SI	NOW LOAD,	kPa	WALLS	

3 1/4"	5										
			WOOD	I IN'	TFI (SCHE	DIII	F			
4"	3		11000		B.C. 9.23		DOL	_			
3 1/4"	5			T			MUM SPA	AN m			
4"	3								1		
2 1/2"	4	LINTEL SUPPORTING	LINTEL SIZE			·De	INTERIOR				
3 1/4"	2			SPECIFIED SNOW LOAD, kPa 1.0 1.5 2.0 2.5 3.0		3.0	WALLS				
3"	30" O/C	LIMITED	0 44/0 74/0	1.0	1.5	2.0	2.0	0.0	4' - 2"		
3"	23 5/8" O/C	ATTIC STORAGE	2-11/2×31/2 2-11/2×51/2 2-11/2×71/4						6' - 4" 7' - 9"		
3 1/4"	15 3/4" O/C	AND CEILING	2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4						9' - 5'' 11' - 0''		
3 1/4"	23 5/8" O/C	ROOF AND	2-11/2×31/2	8' - 4"	7' - 4"	6' - 8"	6' - 2"	5' - 10''	6' - 2"		
3 1/4"	2	CEILING ONLY (TRIBUTARY WIDTH OF 0.6 M	2-11/2×51/2 2-11/2×71/4 2-11/2×91/4	13' - 1" 17' - 4" 20' - 11"	11' - 6" 15' - 2" 18' - 11"	10' - 5" 13' - 9" 17' - 6"	9' - 9" 12' - 9" 16' - 3"	9' - 1" 12' - 0" 15' - 4"	9' - 9'' 12' - 9'' 16' - 3''		
3 1/4"	2 AT EACH END	MAXIMUM)	2 - 1 1/2 × 11 1/4	24' - 2"	21' - 11"	20' - 4"	19' - 3"	18' - 5"	19' - 3"		
3 1/4"	2	ROOF AND CEILING ONLY	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2	4' - 2" 6' - 4"	3' - 8" 5' - 5"	3' - 4'' 4' - 10''	3' - 1" 4' - 5"	2' - 10'' 4' - 1''	3' - 1" 4' - 5"		
3 1/4"	3	(TRIBUTARY WITH OF 4.9 M	2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	7' - 9" 9' - 5" 11' - 0"	6' - 8" 8' - 1" 9' - 5"	5' - 11" 7' - 3" 8' - 5"	5' - 5" 6' - 7" 7' - 8"	5' - 0" 6' - 0" 6' - 10"	5' - 5" 6' - 7" 7' - 8"		
4"	2	MAXIMUM)	2-11/2×31/2	3' - 5"	3' - 2"	2' - 11"	2' - 9"	2' - 7"			
3"	3	ROOF, CEILING,	2 - 1 1/2 × 5 1/2 2 - 1 1/2 × 7 1/4	4' - 11" 6' - 0"	4' - 6" 5' - 6"	4' - 2" 5' - 1"	3' - 11" 4' - 9"	3' - 9" 4' - 5"	2' - 5" 3' - 4" 3' - 11"		
3"	SEE 0.B.C. TABLE 9.23.13.8	AND 1 STOREY	2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	7' - 3'' 8' - 6''	6' - 8'' 7' - 9''	6' - 2'' 7' - 1''	5' - 8'' 6' - 5''	5' - 3" 5' - 11"	4' - 9'' 5' - 5''		
2 1/4"	4	ROOF,	2 - 1 1/2 × 3 1/2 2 - 1 1/2 × 5 1/2	3' - 1" 4' - 5"	2' - 11'' 4' - 2''	2' - 9" 3' - 11"	2' - 7" 3' - 9"	2' - 6" 3' - 6"	2' - 1'' 2' - 11''		
3 1/4"	3	CEILING AND 2	2 - 1 1/2 x 7 1/4	5' - 4"	5' - 0" 6' - 2"	4' - 9" 5' - 8"	4' - 5" 5' - 3"	4' - 1" 4' - 11"	3' - 5"		
3"	3	STOREYS	2 - 1 1/2 × 9 1/4 2 - 1 1/2 × 11 1/4	6' - 6" 7' - 7"	6' - 11"	6' - 5"	6' - 0"	5' - 7"	4' - 2" 4' - 9"		
2 1/4"	2	ROOF, CEILING	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2	2' - 11" 4' - 1"	2' - 9" 3' - 11"	2' - 8" 3' - 9"	2' - 6" 3' - 7"	2' - 5" 3' - 4"	1' - 11" 2' - 8"		
3 1/4"	2	AND 3 STOREYS	2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	5' - 0" 6' - 1"	4' - 9" 5' - 8"	4' - 5" 5' - 4" 6' - 0"	4' - 2" 5' - 0" 5' - 9"	4' - 0" 4' - 9" 5' - 5"	3' - 2" 3' - 10" 4' - 5"		
3"	3		Z-11/ZX111/4	6' - 11"	6' - 5"	10-0	10-9	0 - 0"	4-5		
3 1/4"	2										

	MAX. ALLOWABLE SPAN						
MIN. ANGLE SIZE	FOR BRICK (2 3/4")	FOR BRICK (3 1/2")	FOR STONE				
3 1/2" x 3 1/2" x 1/4"	8'-6" OR LESS	8'-1" OR LESS	7°-9" OR LESS				
4" x 3 1/2" x 1/4"	9'-2"	8'-9"	8'-2"				
4 7/8" x 3 1/2" x 5/16"	11'-5"	10'-10''	10'-1''				
4 7/8" x 3 1/2" x 3/8"	11'-11''	11'-5"	10'-8"				
4 7/8" x 3 1/2" x 1/2"	12'-7"	11'-9"	10'-11''				
5 7/8" x 3 1/2" x 3/8"	13'-4"	12'-7"	11'-8"				
5 7/8" x 3 1/2" x 1/2"	14'-2"	13'-5"	12'-5"				
5 7/8" x 4" x 1/2"	14'-4"	13'-6"	12'-7''				
7 1/8" x 4" x 3/8"	15'-0"	14'-1''	13'-1"				
· 7 1/8" x 4" x 13 1/2"	16'-0"	15'-1"	14'-0"				

STEEL LINTEL SCHEDULE

CorriveauHomeDesign.com 4065 STANLEY AVENUE, UNIT 2 NIAGARA FALLS, ON I L2E 4Z2 I (905) 358-5535 Email: CorrCADD@Gmail.com

> COSTANTINO CONSTRUCTION

TEL: (905) 356-7270

BLOCK 1

NIAGARA FALLS, ONTARIO

PROPOSED TOWNHOUSE

4257 MONTROSE ROAD

NOTES:

ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST **CURRENT EDITION AND AMMENDMENTS)**

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPENCIES PRIOR TO COMMENCEMENT OF WORK, THIS DRAWING IS NOT TO BE SCALED, ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR 3 - ALL 'B' - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS. 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER. 8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR.

9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY

ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST ELEVATIONS **EXTERIOR 3D PERSPECTIVES** | FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN

A3 TYPICAL FLOOR PLAN LAYOUT **END UNIT - LEFT** A4 TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT

TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT ROOF PLAN

TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS **GENERAL NOTES AND SPECS**

YPICAL CONSTRUCTION DETAILS

BUILDING CROSS SECTIONS

TYPICAL NOTE SCHEDULE

LIST OF ABBREVIATIONS

COLUMN SCHEDULE

GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES **REVISION:** DATE:

PRICING DRAWINGS

NOT TO BE USED FOR CONSTRUCTION

MIKE CORRIVEAU

NEWMAN

GENERAL NOTES AND SPECS, TYPICAL NOTE SCHEDULE, COLUMN SCHEDULE, LIST OF ABBREVIATIONS, **GENERAL CONSTRUCTION NOTES,**

CONSTRUCTION SCHEDULES

SHEET NO **OF** 8

2023-08-10

AS SHOWN