

**DRAWING LIST**

<b>A1</b>	ELEVATIONS EXTERIOR 3D PERSPECTIVES
<b>A2</b>	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
<b>A3</b>	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
<b>A4</b>	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
<b>A5</b>	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
<b>A6</b>	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
<b>A7</b>	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
<b>A8</b>	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE	REVISION:

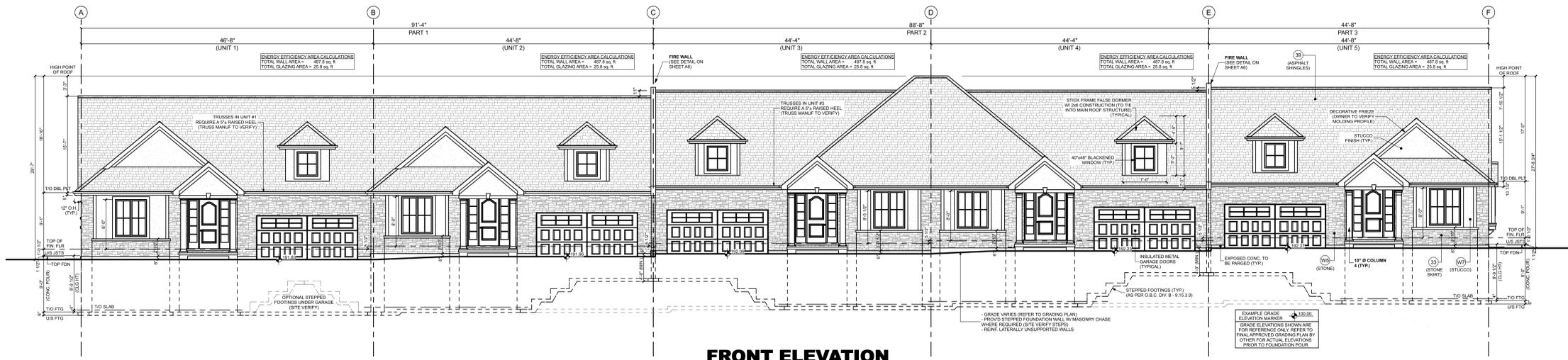
**CERTIFICATION:**  
**PRICING DRAWINGS**  
**NOT TO BE USED FOR CONSTRUCTION**

**DESIGNED/CD BY:**  
 MIKE CORRIVEAU

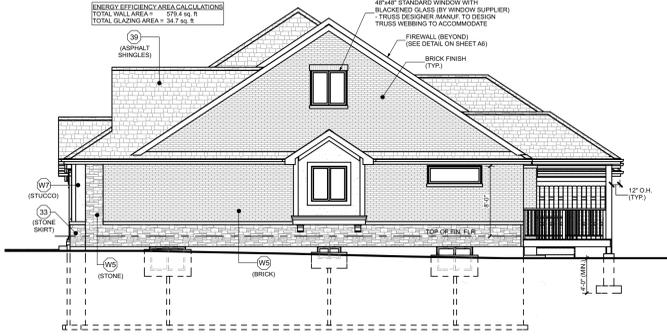
**DR. BY:** JUSTIN NEWMAN      **C.C. JOB #:** 2022-53

**DATE:** 2023-08-10      **SCALE:** AS SHOWN

**TITLE:**  
**ELEVATIONS,  
 EXTERIOR 3D  
 PERSPECTIVES**



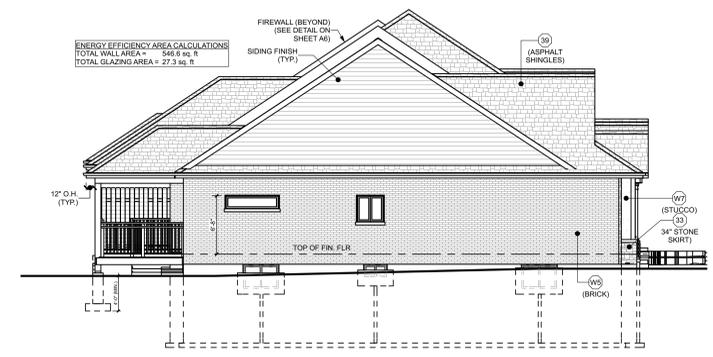
**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"



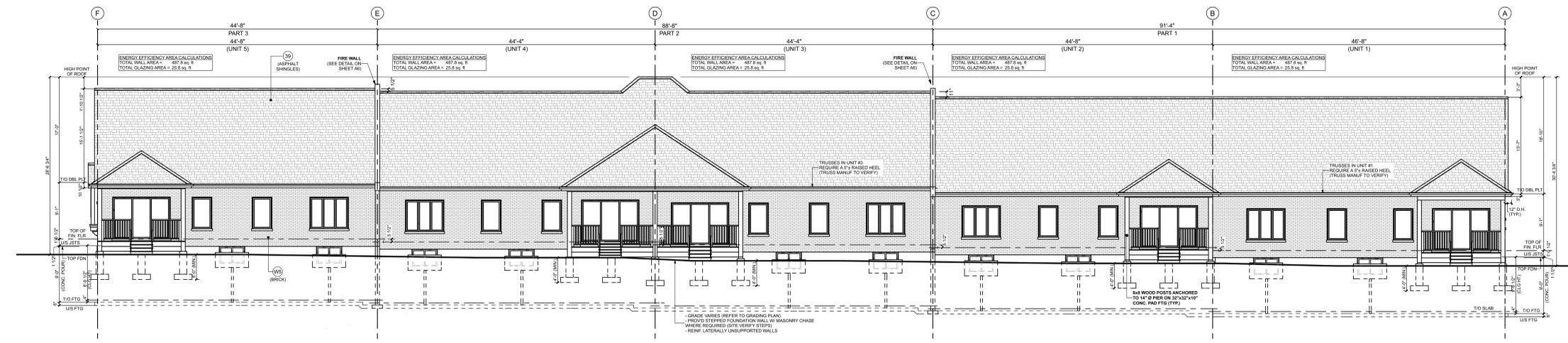
**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**EXTERIOR 3D PERSPECTIVES COMING SOON**



**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

FOR INTERIOR DIMENSIONS, NOTES AND STRUCTURE REFER TO THE TYPICAL UNIT LAYOUT PLANS ON SHEET A3 - A5

**CORRIVEAU CADD**  
 CorriveauHomeDesign.com  
 4065 STANLEY AVENUE, UNIT 2  
 NIAGARA FALLS, ON L2E 4Z2 1 (905) 358-5535  
 Email: CorrCADD@gmail.com

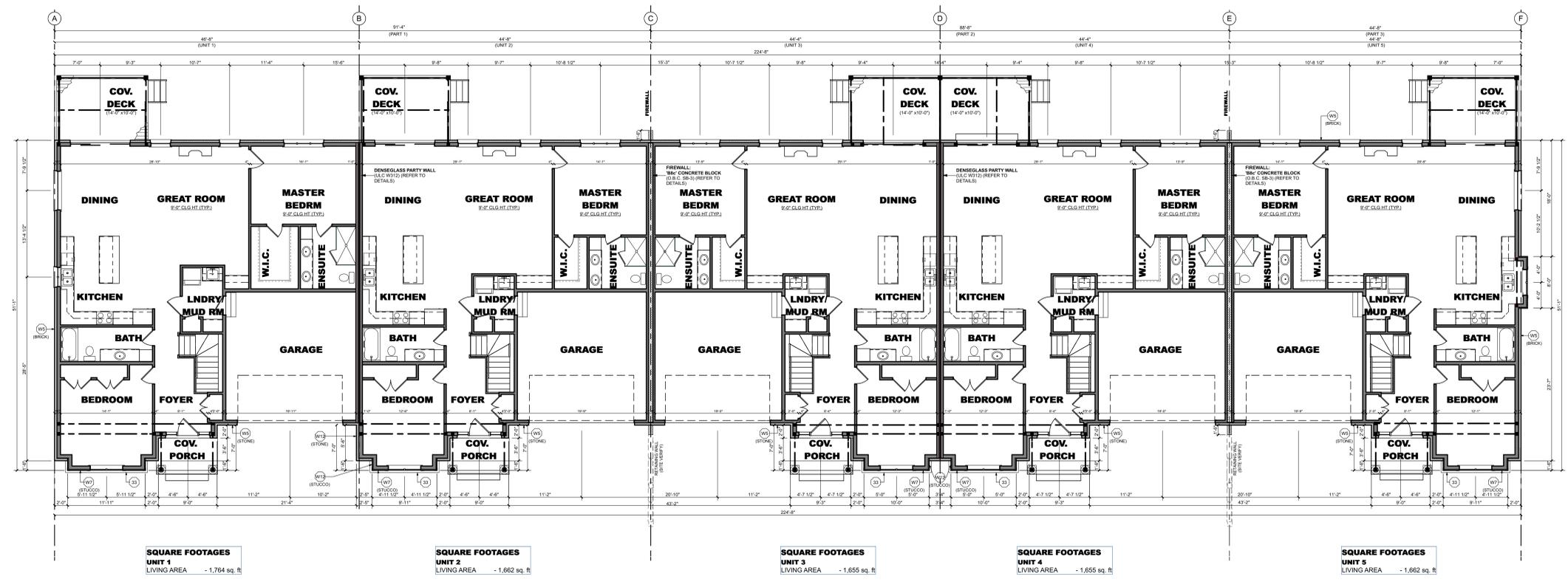
COMMISSION: **COSTANTINO CONSTRUCTION**  
 TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 1**  
**UNITS 1 - 5**  
 4257 MONTROSE ROAD  
 NIAGARA FALLS, ONTARIO

NOTES:  
**ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMMENDMENTS)**

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST.  
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- 1- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2- ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3- ALL "B" - VENT LOCATIONS MUST BE VERIFIED BY CONTRACTOR
- 4- ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5- ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6- ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER, BUILDER & CONTRACTOR.
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SQUARE FOOTAGES  
 UNIT 1  
 LIVING AREA - 1,784 sq. ft.

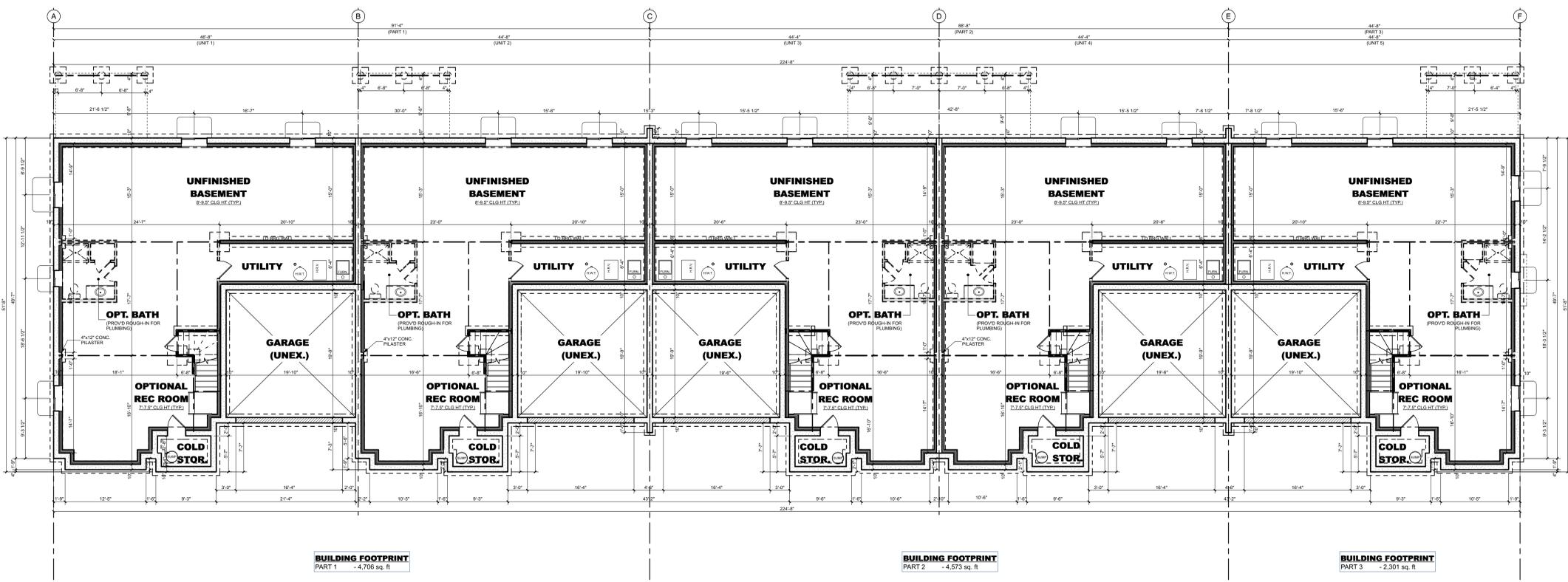
SQUARE FOOTAGES  
 UNIT 2  
 LIVING AREA - 1,662 sq. ft.

SQUARE FOOTAGES  
 UNIT 3  
 LIVING AREA - 1,655 sq. ft.

SQUARE FOOTAGES  
 UNIT 4  
 LIVING AREA - 1,655 sq. ft.

SQUARE FOOTAGES  
 UNIT 5  
 LIVING AREA - 1,662 sq. ft.

**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



BUILDING FOOTPRINT  
 PART 1 - 4,708 sq. ft.

BUILDING FOOTPRINT  
 PART 2 - 4,573 sq. ft.

BUILDING FOOTPRINT  
 PART 3 - 2,301 sq. ft.

**FOUNDATION PLAN**  
 9'-0" CONCRETE POUR HEIGHT  
 SCALE: 1/8" = 1'-0"

**DRAWING LIST**

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DESIGNED/CKTD BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE: **MAIN FLOOR PLAN, FOUNDATION PLAN**

TYPICAL FLOOR PLAN LAYOUT:  
END UNIT - LEFT  
UNIT 1

COMMISSION: **COSTANTINO CONSTRUCTION**  
TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 1 UNITS 1 - 5**  
4257 MONTROSE ROAD  
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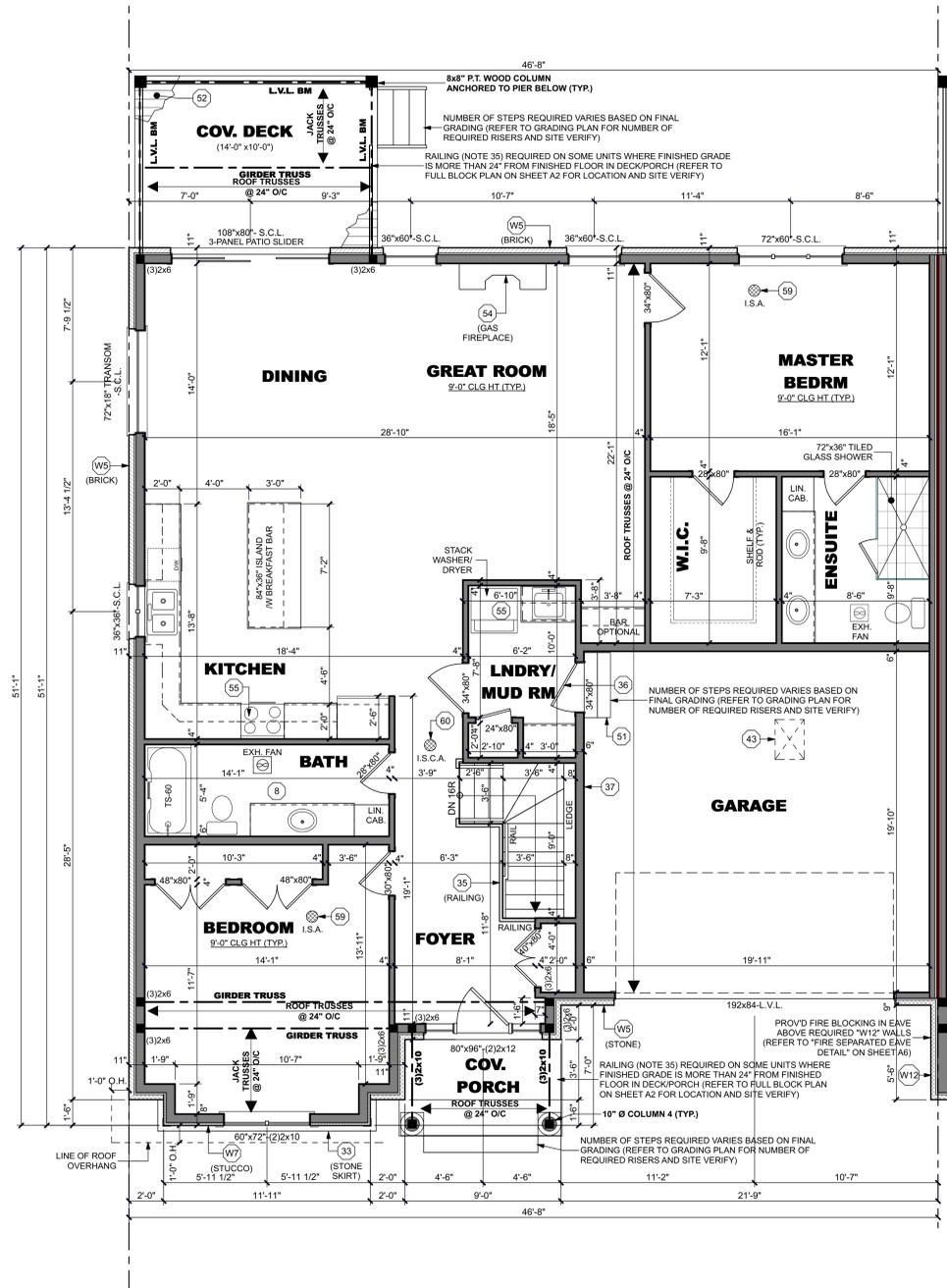
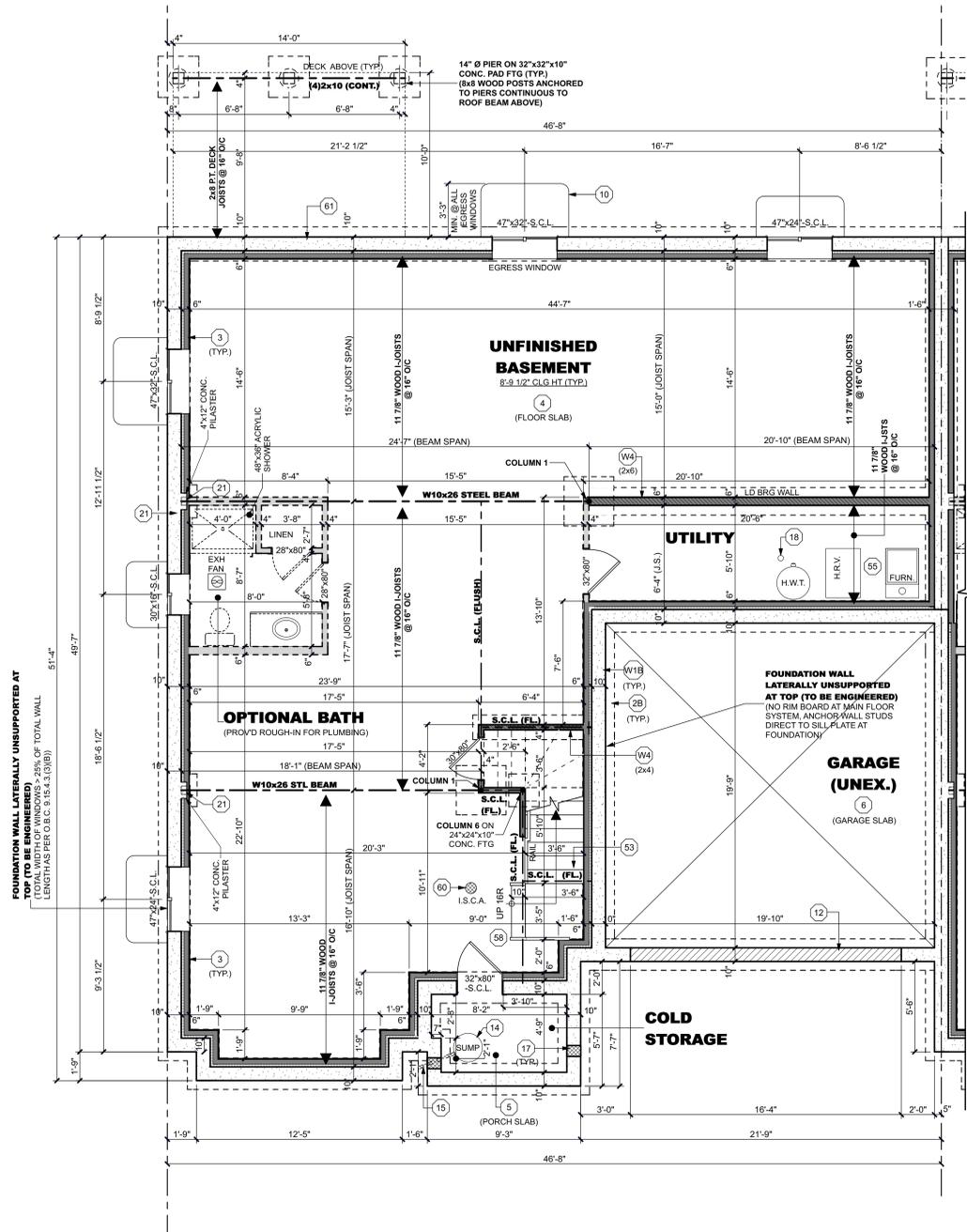
DESIGNED/CKTD BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE:  
**END UNIT - LEFT:  
TYPICAL FLOOR PLAN  
LAYOUT**

SHEET No. **3 OF 8** **A3**



TYPICAL FLOOR PLAN LAYOUT:  
MIDDLE UNIT  
UNITS 2, 3, 4

COMMISSION: **COSTANTINO CONSTRUCTION**  
TEL: (905) 356-7270

PROJECT: **PROPOSED TOWNHOUSE BLOCK 1 UNITS 1 - 5**  
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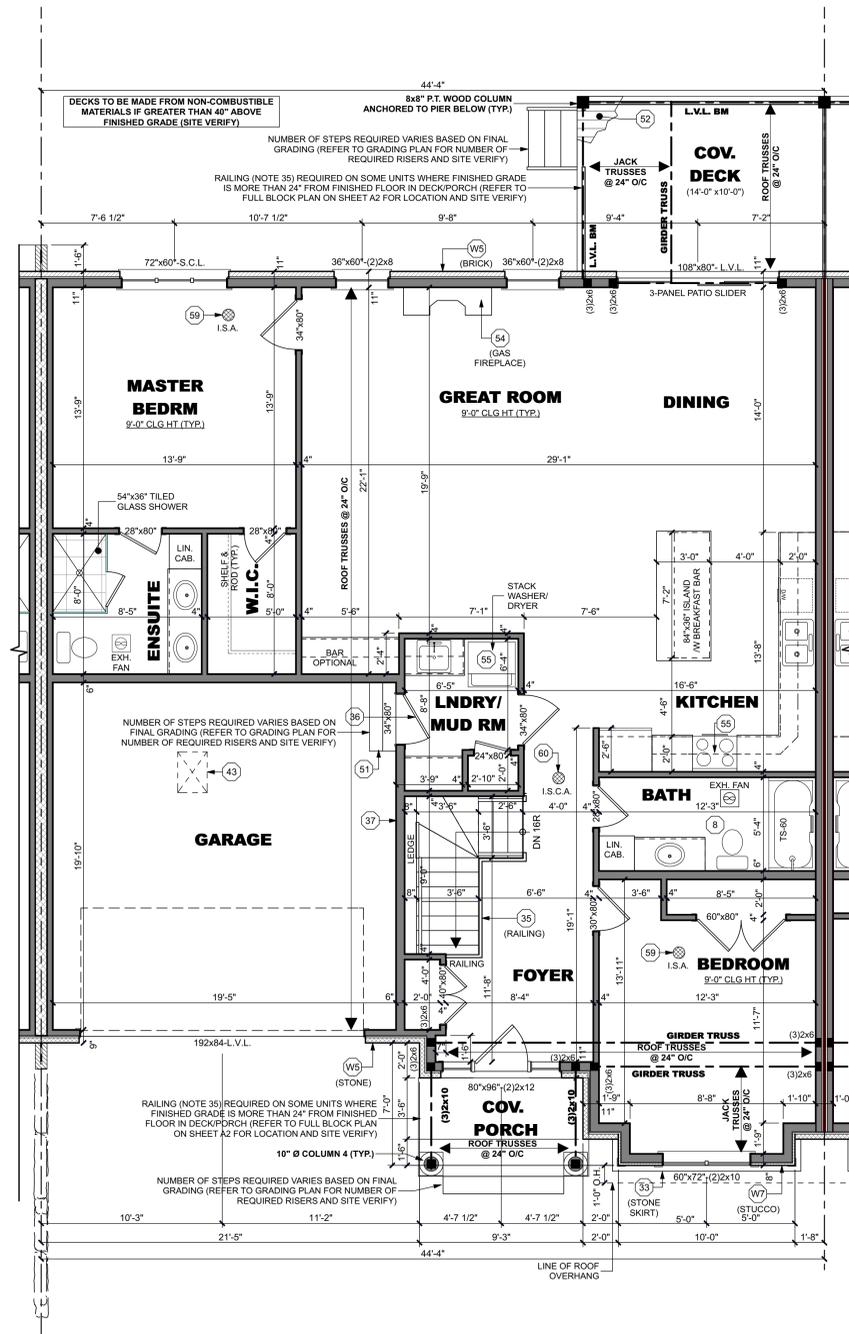
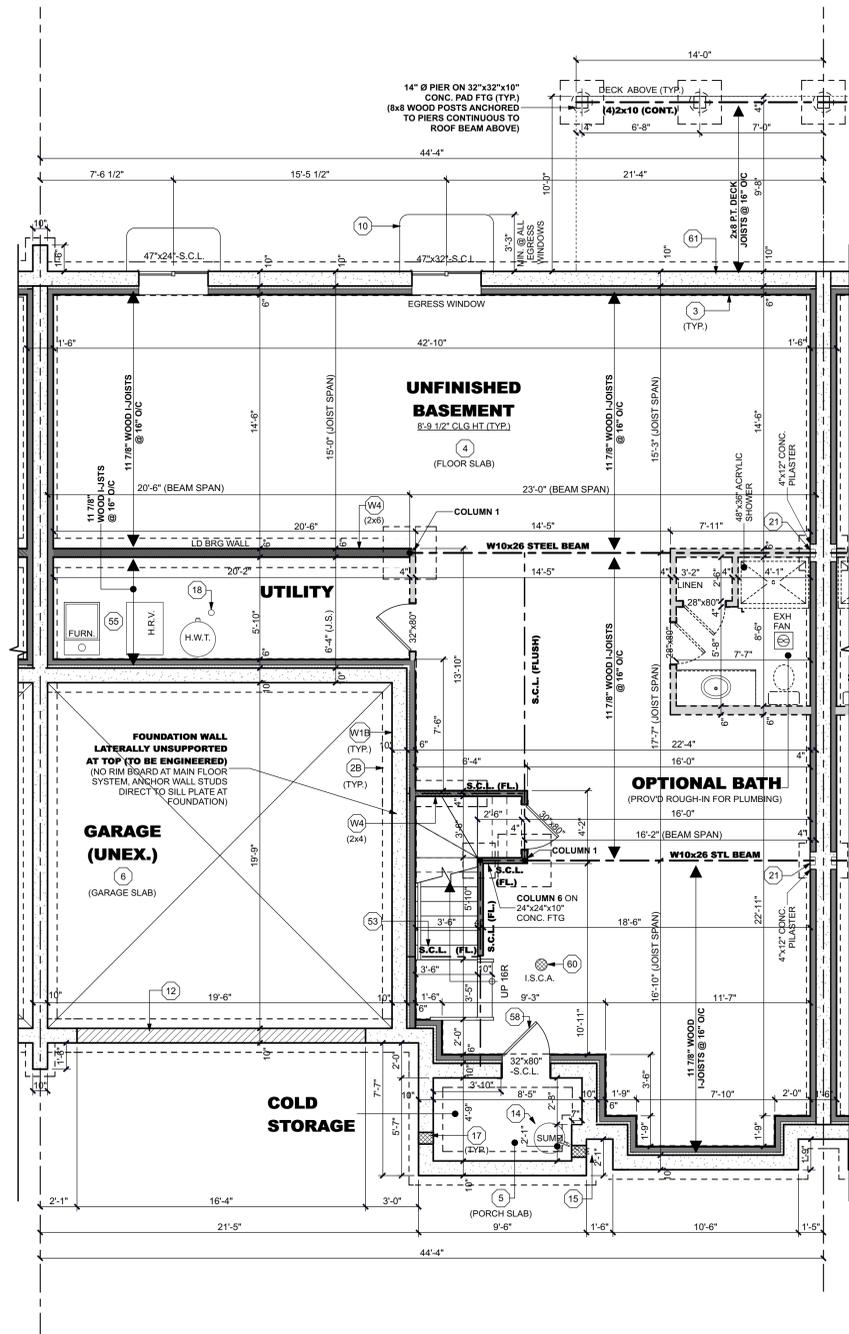
DESIGNED/CHKD BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE:  
**TYPICAL FLOOR PLAN LAYOUT: MIDDLE UNIT**

SHEET No. **4 OF 8** **A4**



**TYPICAL FLOOR PLAN LAYOUT:  
END UNIT - RIGHT  
UNIT 5**

COMMISSION: **COSTANTINO  
CONSTRUCTION**  
TEL: (905) 356-7270

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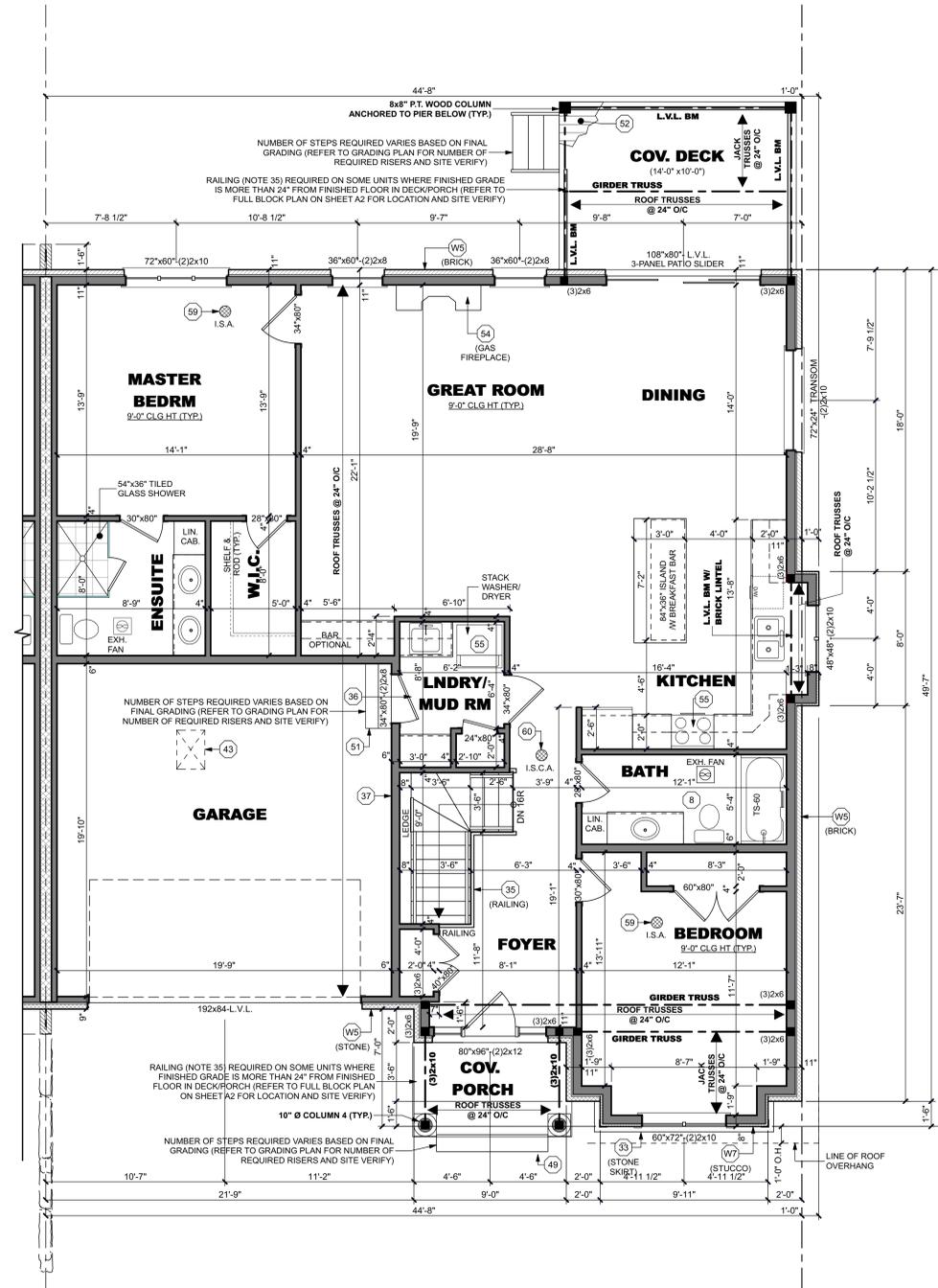
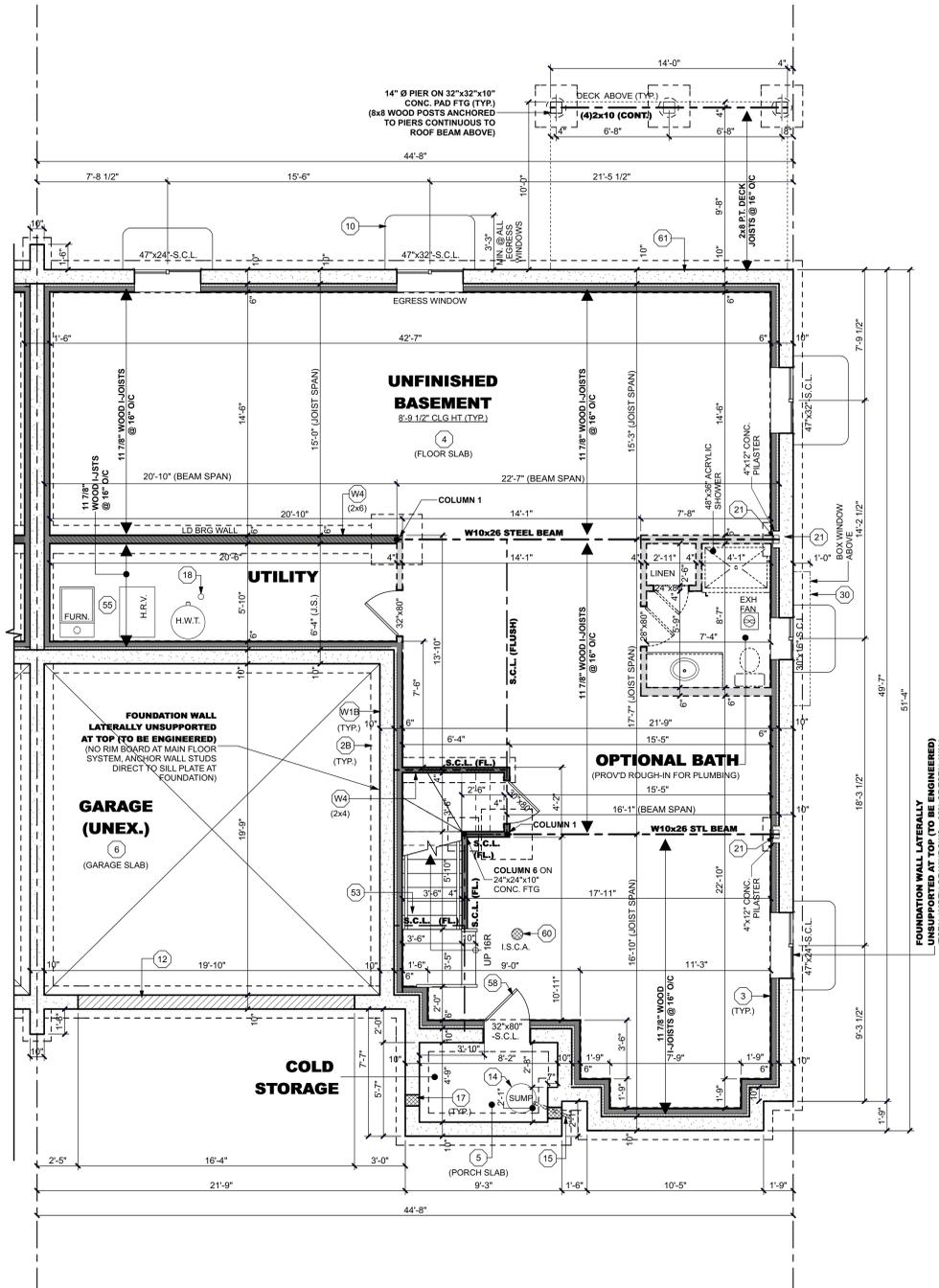
DESIGNED BY:  
**MIKE CORRIVEAU**

DR. BY: **JUSTIN  
NEWMAN** C.C. JOB #: **2022-53**

DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE:  
**TYPICAL FLOOR PLAN  
LAYOUT:  
END UNIT - RIGHT**

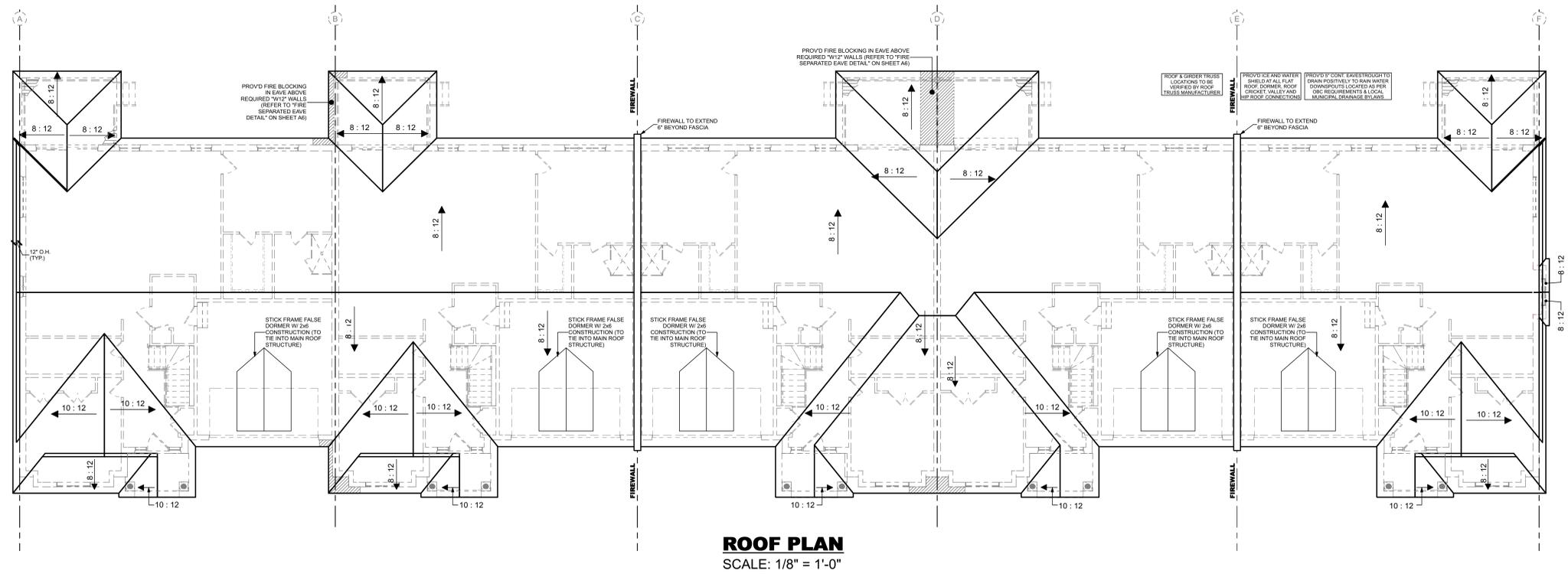
SHEET No. **5 OF 8** **A5**



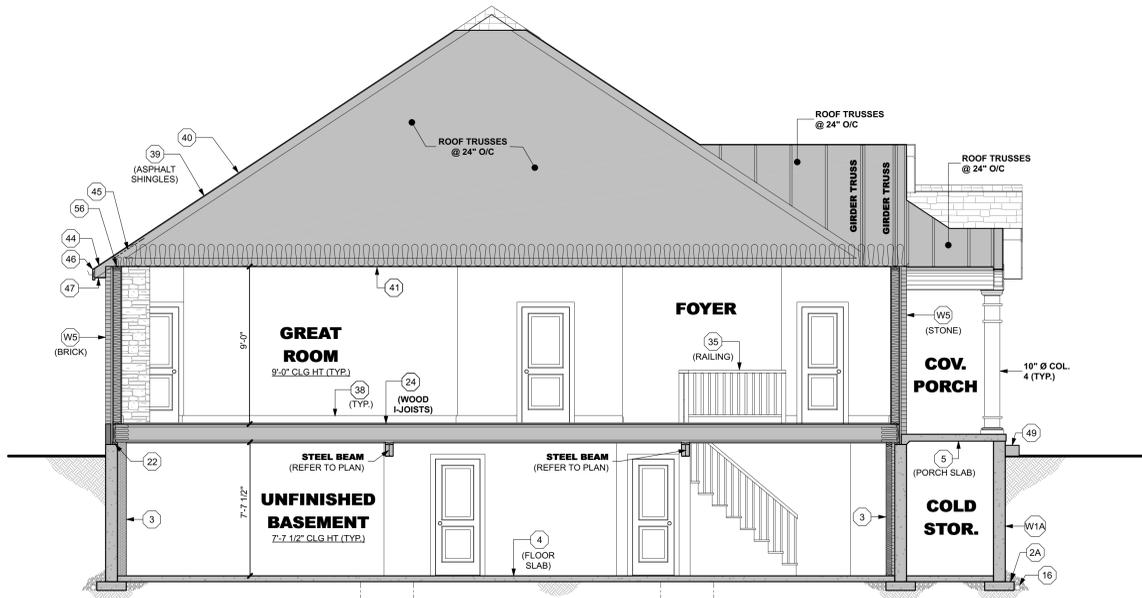
FOUNDATION WALL LATERALLY  
UNSUPPORTED AT TOP (TO BE ENGINEERED)  
(TOTAL WIDTH OF WINDOWS > 25% OF TOTAL WALL  
LENGTH AS PER O.C. 9.15.4.3.(3)(B))

NUMBER OF STEPS REQUIRED VARIES BASED ON  
FINAL GRADING (REFER TO GRADING PLAN FOR  
NUMBER OF REQUIRED RISERS AND SITE VERIFY)

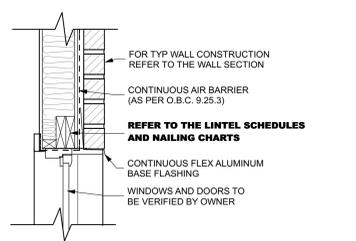
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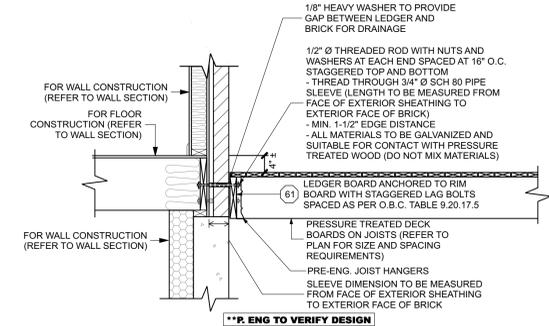
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



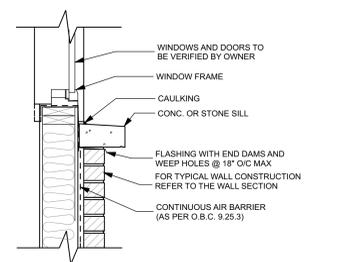
**A**  
**A2** **CROSS SECTION**  
SCALE: 1/4" = 1'-0"



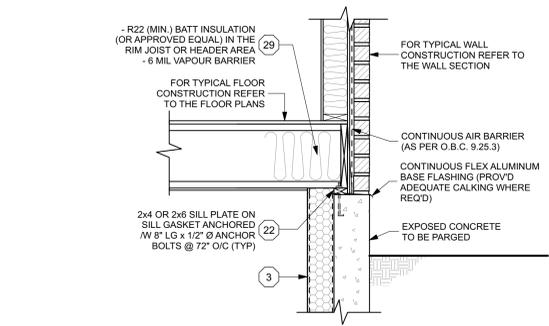
**LINTEL DETAIL**  
SCALE: 1" = 1'-0"



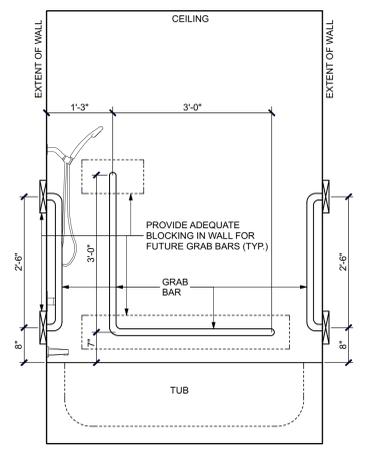
**TYPICAL DECK TO MASONRY DETAIL**  
SCALE: 3/4" = 1'-0"



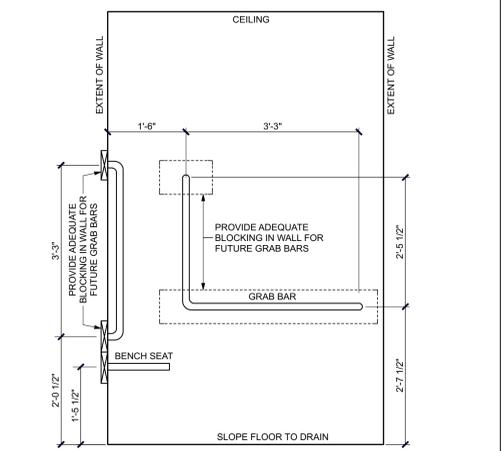
**SILL DETAIL**  
SCALE: 1" = 1'-0"



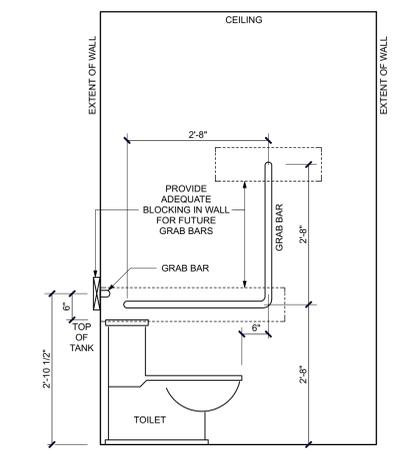
**JOIST TO FDN CONNECTION DETAIL**  
SCALE: 3/4" = 1'-0"



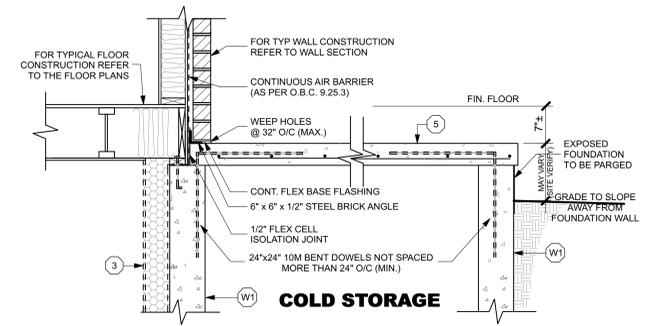
**TYPICAL TUB GRAB BAR DETAIL**  
SCALE: N.T.S.



**TYPICAL SHOWER GRAB BAR DETAIL**  
SCALE: N.T.S.



**TYPICAL TOILET GRAB BAR DETAIL**  
SCALE: N.T.S.



**PORCH SLAB DETAIL**  
SCALE: 3/4" = 1'-0"

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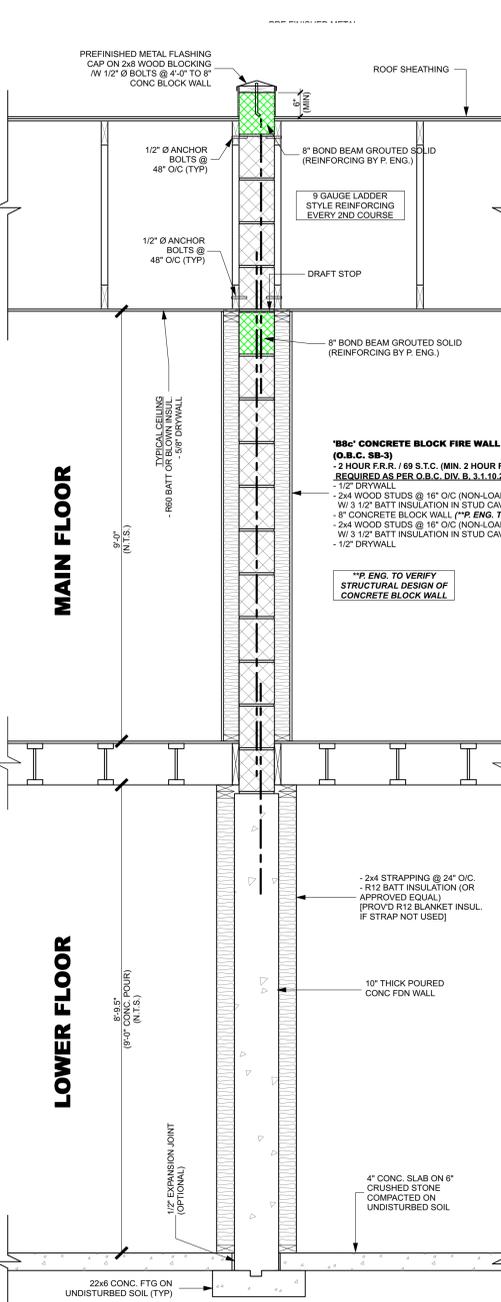
DESIGNED BY: **MIKE CORRIVEAU**

DR. BY: **JUSTIN NEWMAN** C.C. JOB #: **2022-53**

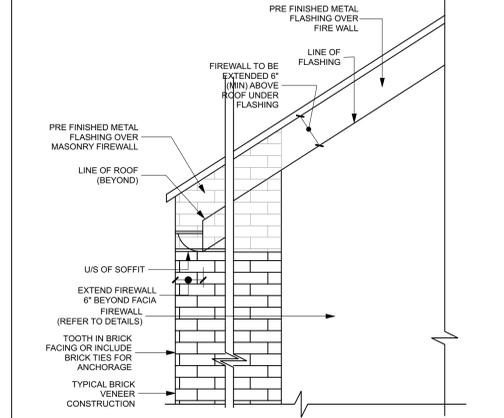
DATE: **2023-08-10** SCALE: **AS SHOWN**

TITLE: **ROOF PLAN, BUILDING CROSS SECTIONS, TYPICAL CONSTRUCTION DETAILS**

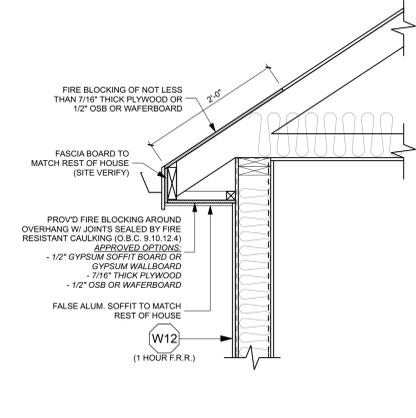
- MASONRY:**
1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO COMPLETE ALL THE MASONRY WORK INDICATED ON THE DWGS AND SPECIFIED HEREIN INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
    - 1.1 ALL CONC. BLOCK WALLS INCLUDING HORIZONTAL REINFORCING
    - 1.2 PROVIDE MASONRY PLASTER AROUND COLUMNS AS REQUIRED-MIN 3 1/2" THICK. FILL SPACE AROUND COLUMNS WITH GROUT.
    - 1.3 GROUTING TO RECEIVE STEEL BEAMS AND BLOCKING IN.
    - 1.4 SUPPLY AND INSTALL ALL LINTELS AND WALL SUPPORT CLIP ANGLES REQUIRED.
    - 1.5 INSTALL INSERTS, ANCHOR BOLTS, DOWELS, ETC. REQUIRED.
    - 1.6 ALLOW FOR BLOCKING AROUND CONDUIT PIPING AND OTHER OBSTRUCTIONS.
    - 1.7 BUILD IN DOOR FRAMES, WINDOWS, LOUVERS, OTHER OPENINGS, SUPPORT FRAMES, PLUMBING, PIPING CONDUIT AND BOXES AS REQUIRED.
    - 1.8 ALL CONCRETE BLOCK WALLS SHALL BE COMPLETELY GROUTED UNLESS NOTED OTHERWISE.
  2. ALL WORK SHALL CONFORM TO CSA STANDARD S304.1 (LATEST EDITION) "MASONRY DESIGN FOR BUILDINGS (LIMIT STATES DESIGN)" AND CSA STANDARD A370 "CONNECTORS FOR MASONRY".
  3. BLOCK TO BE NORMAL WEIGHT HOLLOW, TYPE HY15M10 TO CSA-A165.1M. INCLUDE ALL SPECIAL SHAPES SUCH AS END AND BULLNOSE, AS REQUIRED.
    - 3.1 HANDLE AND STORE UNITS TO PREVENT CHIPPING.
    - 3.2 DO NOT USE CHIPPED, CRACKED, OR DAMAGED UNITS.
  4. MORTAR TO BE TYPE S. SHALL CONFORM TO CSA STANDARD A179 (LATEST EDITION). NO CALCIUM OR CHLORIDE OR OTHER CHLORIDE SALTS OR ADMIXTURES CONTAINING THESE TO BE ADDED TO MORTAR OR GROUT.
  5. ALL MASONRY WALLS SHALL BE FULL MORTAR HEAD AND BED JOINTS HAVING A THICKNESS OF 3/8" (10mm)
  6. TOOL ALL MORTAR JOINTS AFTER MORTAR HAS BECOME THUMB PRINT HARD. ALL JOINTS ARE TO BE CONCAVE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  7. ALL MASONRY UNITS ARE TO BE LAID IN A RUNNING BOND PATTERN. TRUE TO LINE. PLUMB, SQUARE AND LEVEL WITH VERTICAL JOINTS OF ALTERNATE COURSES IN LINE. THE MASON SHALL SET ALL CORNERS, LINES AND LEVELS AND CHECK ALIGNMENT AND PLUMBNESS DURING PROGRESS OF WORK.
  8. SUPPORT TOP OF ALL WALLS WITH L3x3x1/8"x4" LONG GALV. ANGLES BOTH SIDES WELDED TO US STEEL DECK AT 6" O.C. MAX SPACING. LEAVE 1/2" DEFLECTION GAP AT TOP.
  9. ALL MASONRY CONNECTORS AND TIES ARE TO BE STAINLESS STEEL UNLESS NOTED OTHERWISE ON DRAWINGS. ALL HORIZONTAL JOINT TRUSS TIE REINFORCING TO BE HOT-DIPPED GALVANIZED UNLESS NOTED OTHERWISE.
  10. ALL LINTELS SUPPORTED ON MASONRY SHALL BEAR ON 2 COURSES OF SOLID MASONRY WITH A MINIMUM BEARING LENGTH OF 8" (200mm) UNLESS NOTED OTHERWISE ON DRAWINGS.
  11. ALL GROUT TO BE 25MPa COURSE GROUT WITH 3/8" PE GRAVEL AS PER CSA STANDARD A179 (LATEST EDITION)
  12. CLEAN MASONRY AS FOLLOWS:
    - 12.1 RAKE AND REPLACE DEFECTIVE MORTAR JOINTS.
    - 12.2 ON COMPLETION, REMOVE EXCESS MORTAR, SMEARS, AND STAINS.
    - 12.3 SCUB SURFACES TO BE CLEANED WITH SUITABLE NON-ACID CLEANING SOLUTIONS.
    - 12.4 FINISHED PRODUCT TO HAVE UNIFORM CLEAN APPEARANCE.
  13. PROVIDE REINFORCED CORES ON EACH SIDE OF CONTROL JOINTS AND ON EACH SIDE OF WINDOW AND DOOR OPENINGS. LOCATE AT SECOND CORE FROM WINDOW OR DOOR OPENING IN ORDER THAT VERTICAL REINFORCING BAR DOES NOT INTERFERE WITH STEEL LINTEL BEAM ABOVE.



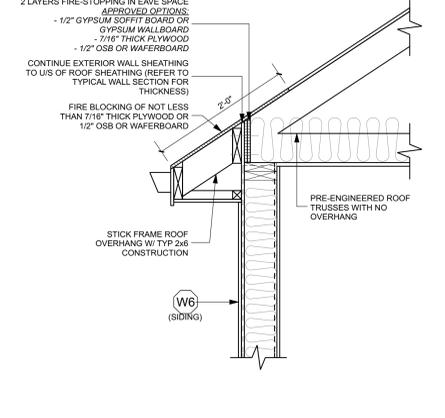
**TYPICAL FIREWALL SECTION**  
 CONCRETE BLOCK - B8c (O.B.C. SB-3)  
 2 HOUR F.R.R. / 69 STC  
 SCALE: 3/4" = 1'-0"



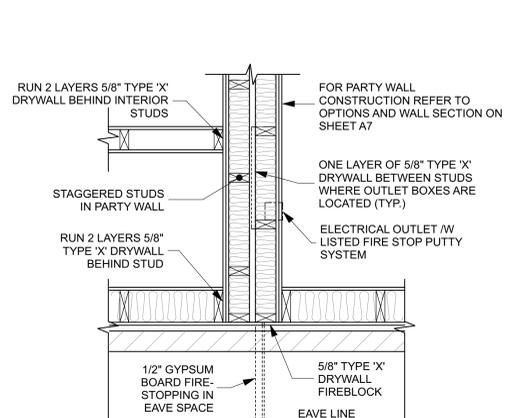
**FIREWALL DETAIL @ EXTERIOR WALL**  
 SCALE: 3/4" = 1'-0"



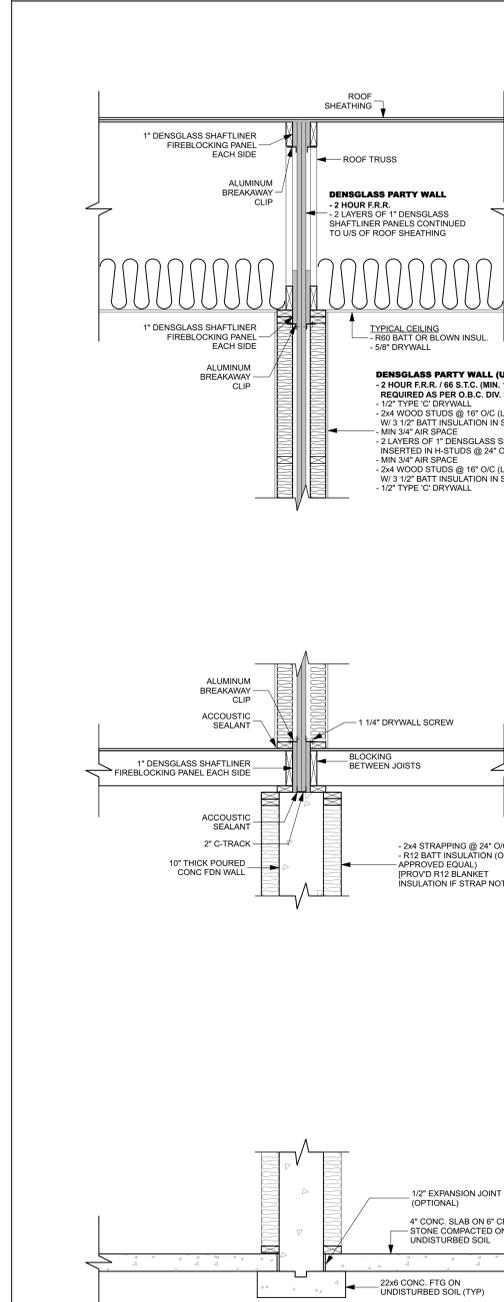
**FIRE SEPARATED EAVE DETAIL (OPTION A)**  
 (ROOF/EAVE ABOVE REQUIRED W12)  
 SCALE: 1" = 1'-0"



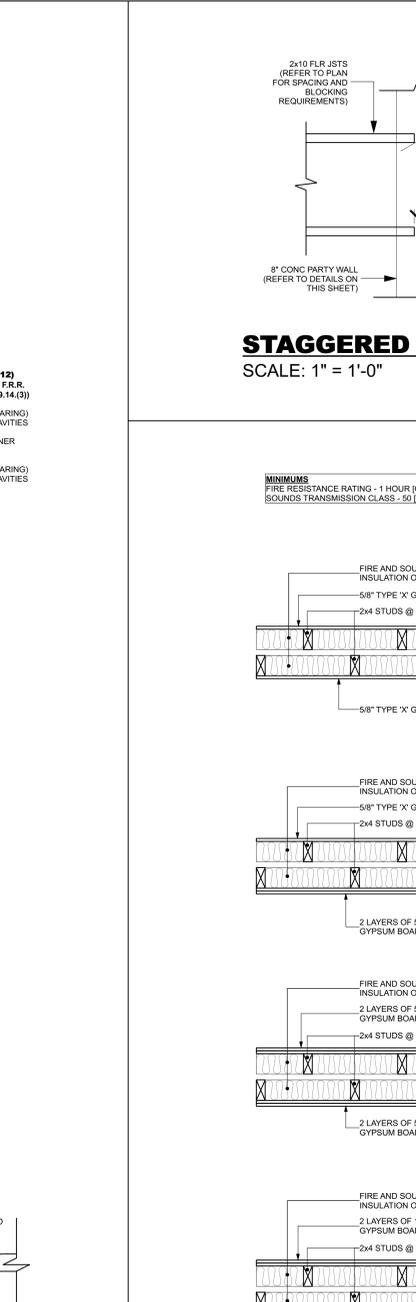
**FIRE SEPARATED EAVE DETAIL (OPTION B)**  
 (ROOF/EAVE ABOVE REQUIRED W12)  
 SCALE: 1" = 1'-0"



**PARTY WALL @ EXTERIOR WALL**  
 SCALE: 1" = 1'-0"

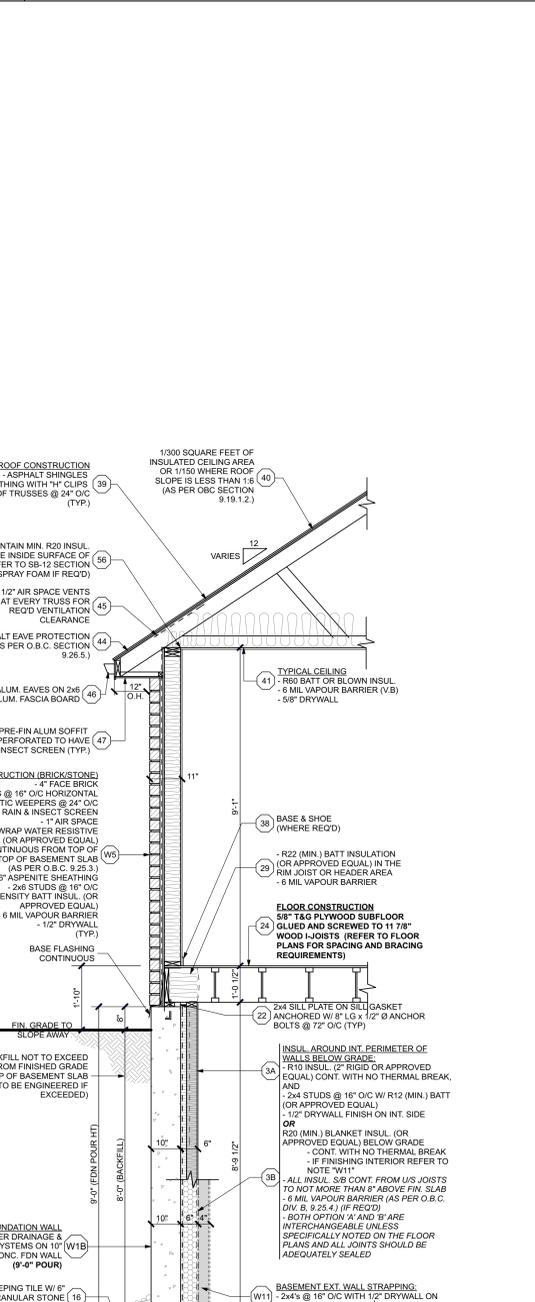


**TYPICAL PARTY WALL SECTION**  
 DENSEGLASS FIREWALL (ULC W312)  
 3 HOUR F.R.R. / 66 STC (MIN. REQUIRED 1 HOUR)  
 SCALE: 3/4" = 1'-0"



**STAGGERED JOIST DETAIL**  
 SCALE: 1" = 1'-0"

**APPROVED PARTY WALL ALTERNATIVES FOR FIRE AND SOUND RESISTANCE**  
 REFER TO O.B.C. SB-3



**TYPICAL WALL SECTION**  
 SCALE: 1/2" = 1'-0"

**CORRIVEAU CADD**  
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 NIAGARA FALLS, ON L2E 4Z2 1 (905) 358-5535  
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**COMMISSION:** COSTANTINO CONSTRUCTION  
 TEL: (905) 356-7270

**PROJECT:** PROPOSED TOWNHOUSE BLOCK 1  
 UNITS 1 - 5  
 4257 MONTROSE ROAD  
 NIAGARA FALLS, ONTARIO

**NOTES:**  
 ALL TYPICAL CONSTRUCTION SHALL CONFORM TO THE O.B.C. PART 9 (MOST CURRENT EDITION AND AMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL "B" - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STUDS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
- 7 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/BUILDER A CONTRACTOR.
- 8 - ROOF LAYOUT & GROUND TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

**DRAWING LIST**

A1	ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	FOUNDATION BLOCK PLAN MAIN FLOOR BLOCK PLAN
A3	TYPICAL FLOOR PLAN LAYOUT END UNIT - LEFT
A4	TYPICAL FLOOR PLAN LAYOUT MIDDLE UNIT
A5	TYPICAL FLOOR PLAN LAYOUT END UNIT - RIGHT
A6	ROOF PLAN BUILDING CROSS SECTIONS TYPICAL CONSTRUCTION DETAILS
A7	TYPICAL FIRE AND PARTY WALL DETAILS TYPICAL WALL SECTIONS
A8	GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES CONSTRUCTION SCHEDULES

NO.	DATE:	REVISION:

**PRICING DRAWINGS**  
 NOT TO BE USED FOR CONSTRUCTION

DESIGNED BY: MIKE CORRIVEAU

DR. BY: JUSTIN NEWMAN C.C. JOB #: 2022-53

DATE: 2023-08-10 SCALE: AS SHOWN

TITLE: TYPICAL FIRE AND PARTY WALL DETAILS, TYPICAL WALL SECTIONS

SHEET No. 7 OF 8 **A7**

