

DRAFT PLAN OF SUBDIVISION PART OF LOTS 19 AND 20, CONCESSION 2 GEOGRAPHIC TOWNSHIP OF WILLOUGHBY, NOW IN THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN ON THIS PLAN.

DATE MAY 31, 2024

Dasha Page
DASHA PAGE
ONTARIO LAND SURVEYOR

OWNER'S CERTIFICATE

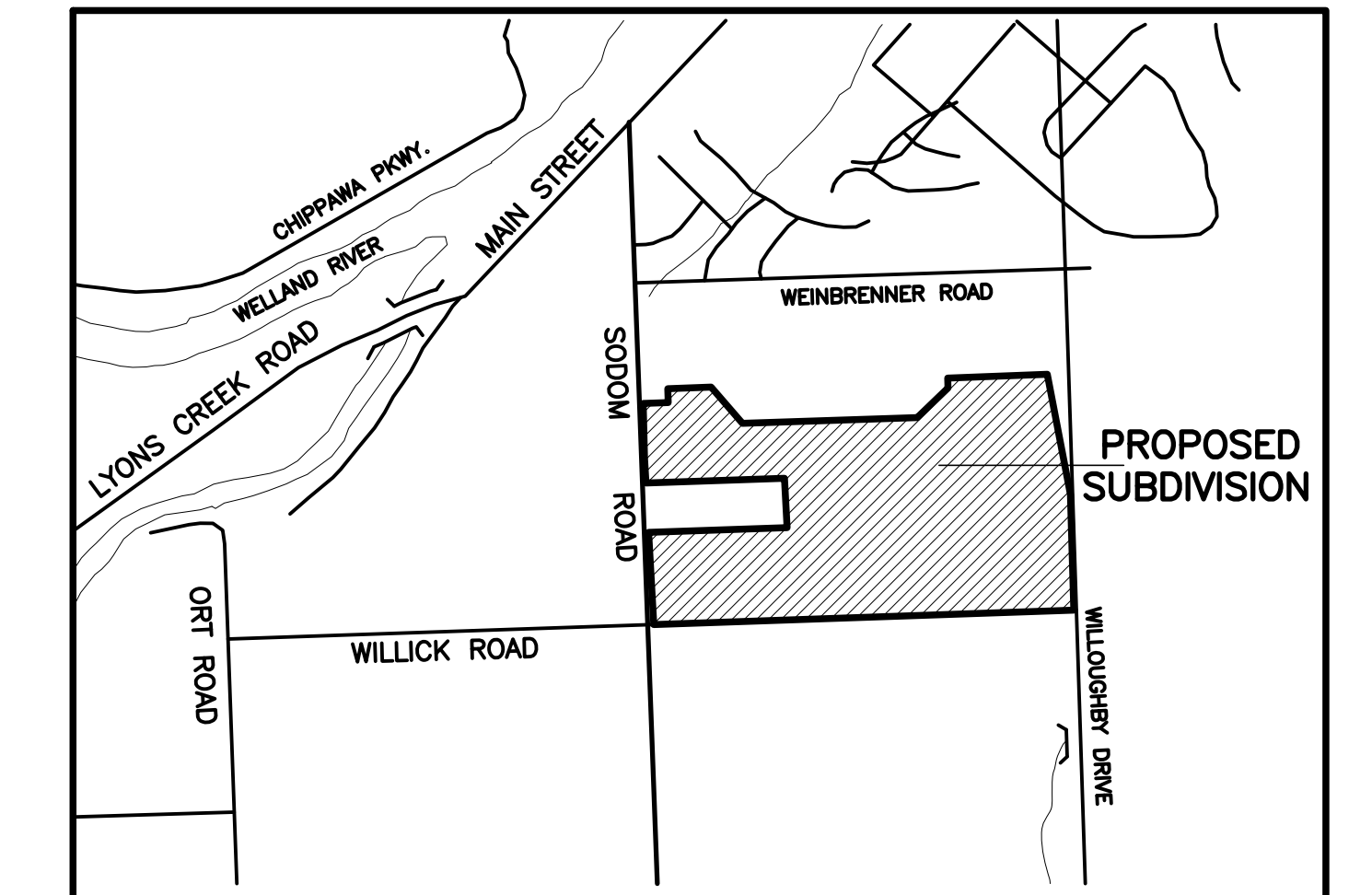
I AUTHORIZED METRUS DEVELOPMENT INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF NIAGARA FALLS FOR APPROVAL.

OWNER
QUEENSWAY CHIPPAWA PROPS INC.

C/O
DG GROUP
30 FLORAL PARKWAY, SUITE 300
CONCORD, ONTARIO
L4K 4R1

Robert De Gasperi
ROBERT DE GASPERI
A.S.O.

DRAFT PLAN T-



KEY PLAN

SECTION 51, PLANNING ACT, ADDITIONAL INFORMATION

- A. AS SHOWN ON DRAFT PLAN
- B. AS SHOWN ON DRAFT PLAN
- C. AS SHOWN ON DRAFT PLAN
- D. SEE SCHEDULE OF LAND USE
- E. AS SHOWN ON DRAFT PLAN
- F. AS SHOWN ON DRAFT PLAN
- G. WATER COURSES DRAINAGE DITCHES AND WOODED AREAS
- H. MUNICIPAL PIPED WATER AVAILABLE AT TIME OF DEVELOPMENT
- I. CLAY-LOAM
- J. AS SHOWN ON DRAFT PLAN
- K. SANITARY AND STORM SEWERS, GARBAGE COLLECTION, FIRE PROTECTION
- L. AS SHOWN ON DRAFT PLAN

SCHEDULE OF LAND USE

TOTAL AREA OF LAND TO BE SUBDIVIDED = $49,507 \pm \text{Ha.}$ ($122,334 \pm \text{Acs}$)

SINGLE DETACHED DWELLINGS BLOCKS LOTS UNITS $\pm \text{Ha.}$ $\pm \text{Acs.}$

LOTS	UNITS	$\pm \text{Ha.}$	$\pm \text{Acs.}$
LOTS 1-8, 55-56, 371-395 and 444	36	36	1.841 4.549
MIN. LOT FRONTAGE=13.7m. MIN. LOT AREA=369.8sq.m.			
LOTS 9-10, 22-25, 30, 38-39, 47-49, 52-54, 57-59, 82-92, 115-119, 127-142, 169-171, 174-180, 188-193, 196-198, 211-213, 216-222, 233-245, 255-259, 262-267, 277-285, 288-295, 318-322, 336-338, 343-353, 360-370, 396-399, 402-403, 414-416, 441-443, 445-448, 475-479, 481-490 and 494-501	189	189	8.064 19.926
MIN. LOT FRONTAGE=12.2m. MIN. LOT AREA=329.4sq.m.			

LOTS 43-46, 50-51, 62-81, 93-114, 120-126, 143-161, 168, 172-173, 183-187, 194-195, 199-203, 206-210, 214-215, 223-226, 229-232, 246-249, 252-254, 260-261, 268-272, 275-276, 286-287, 307-317, 323-335, 339-342, 354-359, 400-401, 404-413, 417-440, 449-468, 471-474, 480, 491-493 and 502-505 and 524-528	224	224	8.725 21.560
MIN. LOT FRONTAGE=11.0m. MIN. LOT AREA=297.0sq.m.			

SEMI-DETACHED DWELLINGS

LOTS 11-21, 26-29, 31-37 and 469-470	24	48	1.245 3.076
MIN. UNIT FRONTAGE 15.3m.			

TOWNHOUSE DWELLINGS

BLOCKS 60-61, 166 and 297-306	13	69	1.883 4.653
MIN. UNIT FRONTAGE 7.0m.			
BLOCKS 40-42, 162-165, 167, 181-182, 204-205, 227-228, 250-251, 273-274 and 296	19	114	2.700 6.672
MIN. UNIT FRONTAGE 6.1m.			

CONDOMINIUM RESIDENTIAL

BLOCK 506	1	246*	5.060 12.504
SUBTOTAL	33	478	931 29,518 72,940
		473*	926* 29,328 72,471*

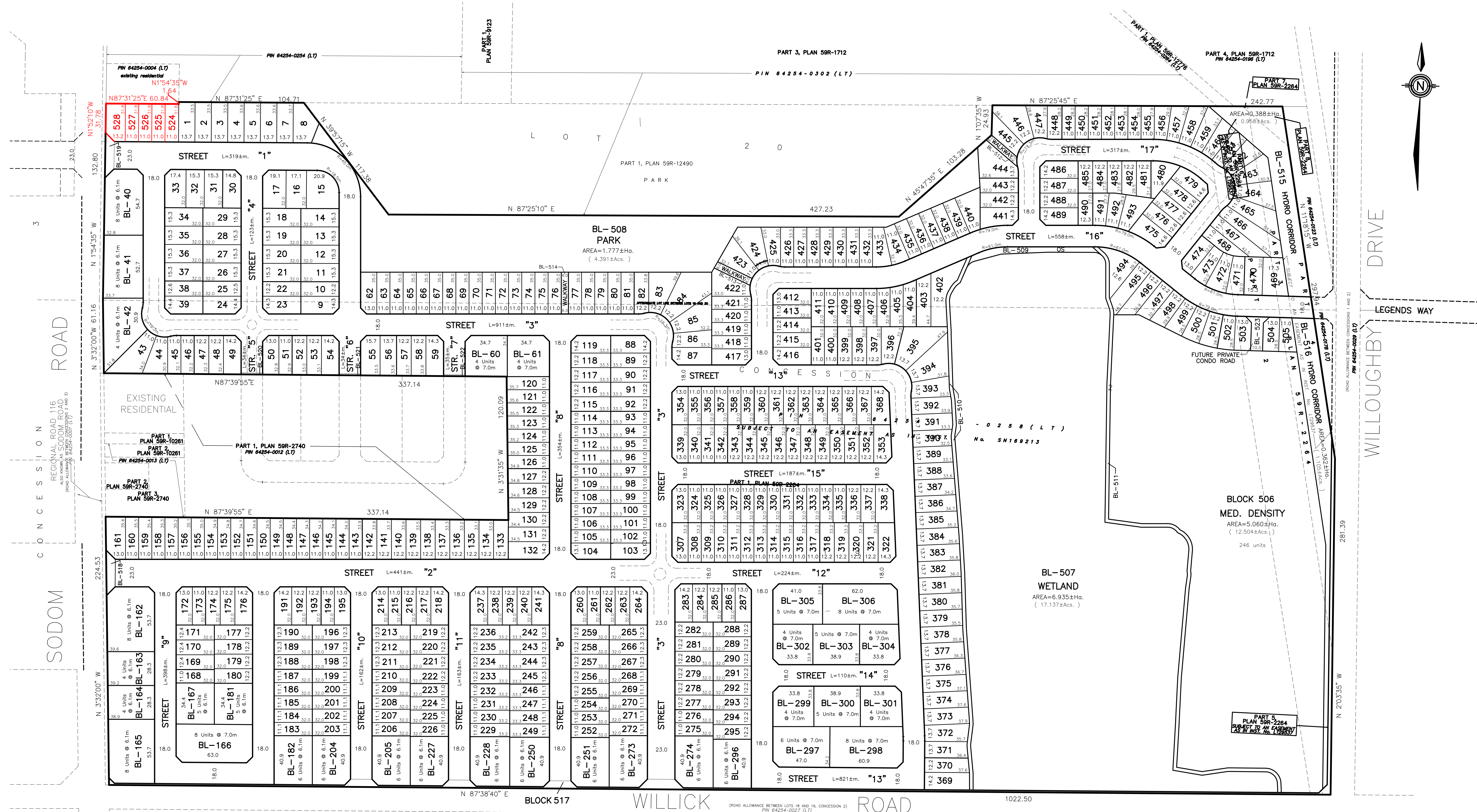
BLOCK 507	1		6.935 17.137
BLOCK 508	1		1.777 4.391
BLOCK 509	1		0.055 0.136
BLOCKS 510-511	2		0.316 0.781
BLOCKS 512-514	3		0.059 0.146
BLOCKS 515-516	2		0.750 1.853
BLOCKS 517-519	3		0.334 0.825
BLOCKS 520-522	3		0.002 0.005
BLOCK 523	1		0.031 0.077
STREETS			9.730 24.043
			-9.729 24.040-

23.0m WIDE TOTAL LENGTH= 769m. AREA=1,771.8ha.			
18.0m WIDE TOTAL LENGTH=4,422m. AREA=7,960.8ha.			
TOTAL LENGTH=5,191m. AREA=9,731.6ha.			
TOTAL	50	478	931 49,507 122,334
		473*	926* 49,316 121,862*

PROJECT No. P-933
SCALE 1:1500
(933DES13 REDLINED) X-REF: (933MAS4EAST & 933TOPEAST)

KLM DWG. No. - 21:1
PLANNING PARTNERS INC. 64 JARDIN DRIVE - UNIT 18, CONCORD ONTARIO L4K 3P3
TEL: (905) 669-4055 FAX: (905) 669-0097 design@klmplanning.com

Planning • Design • Development



* SUBJECT TO FINAL CALCULATION
NOTE - ELEVATIONS RELATED TO CANADIAN GEODETIC DATUM