UEM PROJECT No.: 24-204

DATE: MAY 13, 2024

PLANNING JUSTIFICATION REPORT PREPARED FOR:

PLANNING JUSTIFICATION REPORT ZONING BY-LAW AMENDMENT 8700 ROOSEVELT AVENUE, NIAGARA FALLS

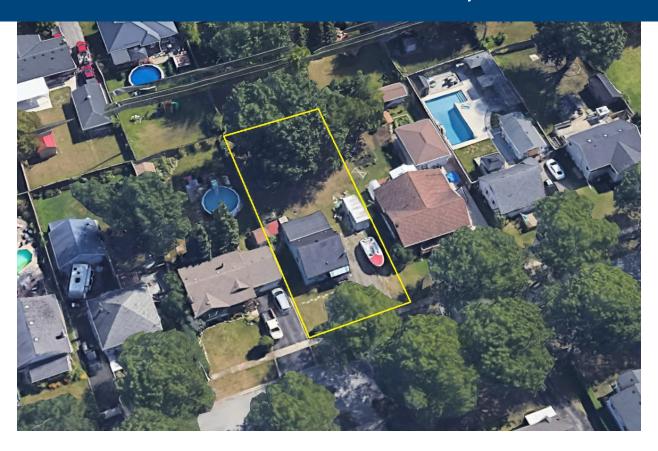




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1.0 Introduction

1.1 PROPONENT AND AGENT

Urban & Environmental Management Inc. (UEM) was retained by the owners of 8700 Roosevelt Avenue, Chippewa, Niagara Falls, to assist with an application for a Zoning By-law Amendment (ZBA) in support of the removal of the existing single-detached dwelling and development of a semi-detached dwelling on the property.

1.2 PRE-CONSULTATION

A pre-consultation meeting with City of Niagara Falls Planning and Infrastructure staff, as well as Niagara Region Planning staff was held on March 21, 2024. The meeting was attended by the proponent and their architect. Formal minutes of the pre-consultation meeting were prepared and issued by the City on March 28, 2024. At the pre-consultation meeting, a Planning Justification Report (including Draft ZBA) was identified as required in support of the ZBA application.

1.3 APPLICATIONS TO BE SUBMITTED

A Zoning By-law Amendment application and supporting documentation are being submitted by the proponent to the City of Niagara Falls.

1.4 Purpose of the Planning Justification Report

The purpose of this Planning Justification Report is to analyze the proposed development in consideration of relevant Provincial, Regional, and Municipal planning documents and policies. The conformance of the proposed development is evaluated, and where deviations exist, justification is provided, or mitigation measures are proposed (as required).

2.0 SITE CONTEXT

2.1 SITE DESCRIPTION (EXISTING)

The subject property is located at 8700 Roosevelt Avenue in the Chippewa neighbourhood in the City of Niagara Falls. There is an existing single-detached dwelling on the property that will be removed to redevelop the site for a semi-detached residence.

The property is located on the northeast side of Roosevelt Avenue. The property has a lot frontage of 18.29 m, a lot depth of 45.72 m and an area of 836.13 m². The legal description of the property is Plan 07, Lot 58.





Figure 2-1: Site Location and Approximate Property Boundaries (Source: Niagara Navigator)

2.2 SURROUNDING LAND USES

The property is oriented in a northeast/southwest direction. The surrounding neighbourhood is comprised of single-detached dwellings with some semi-detached dwellings. Land uses immediately surrounding the property are as follows:

- Northeast
 – Immediately northeast of the property is a single-detached dwelling on a similar sized
 residential lot. Other properties the northeast are also single-detached dwellings on similar sized
 residential lots.
- Southeast Immediately southeast of the property is a single-detached dwelling on a similar sized residential lot. Other properties to the southeast are also used for single-detached dwellings.
- Southwest– Immediately southwest of the property is Roosevelt Avenue, and beyond Roosevelt Avenue are single-detached residential dwellings.
- Northwest Immediately northwest of the property is a single-detached dwelling on a similar sized residential lot. Other properties to the northwest are also single detached dwellings on similar sized lots.

2.3 IDENTIFICATION OF ANY CONSTRAINTS AFFECTING THE SITE

UEM and the proponent are not aware of any constraints affecting the subject property.

2.4 Identification of any Lands Regulated by NPCA

There are no lands regulated by the Niagara Peninsula Conservation Area (NPCA) on or in close proximity to the subject property. It was confirmed during the pre-consultation process that the NPCA had no further requirements related to this proposed rezoning.



2.5 IDENTIFICATION OF ANY OTHER KNOWN DEVELOPMENT PROPOSALS

UEM and the proponent are not aware of any other development proposals that have the potential to affect the site.

3.0 DESCRIPTION OF PROPOSAL

3.1 EXISTING AND PROPOSED LAND USES ON THE PROPERTY

The property is currently used for a single-detached residential dwelling that is proposed to be removed. A site survey and grading plan showing the property and the proposed semi-detached residence is included in **Appendix A**. Architectural drawings showing the proposed layout of the semi-detached residential development are included in **Appendix A**.

3.2 PLANNING HISTORY OF THE SITE

The property is currently designated Residential in the Niagara Falls Official Plan (Appendix B) and zoned Residential 1C (R1C) in the Niagara Falls Zoning By-law (Appendix C). No further planning history for the property is known.

3.3 SITE SERVICING

Site servicing for the subject property includes:

- Municipal sewers and water
- Storm sewer
- Natural gas
- Electricity
- Communications (telephone and internet)

3.4 DESCRIPTION OF PREVIOUS CONSULTATIONS WITH RELEVANT AGENCIES

As noted, a pre-consultation meeting specific to this proposed development was held on March 21, 2024. The history of any other previous consultations with City staff or relevant agencies is unknown.

3.5 Proposed Modifications to Zoning By-Law Provisions

The property is currently zoned Residential 1C (R1C), which does not permit a semi-detached dwelling. Therefore, to permit the proposed semi-detached residential development, the subject property is required to be rezoned to a Residential 2 (R2) zone.

3.6 TECHNICAL SUPPORTING STUDIES REQUIRED

At the pre-consultation meetings, it was identified that a Planning Justification Report (including Draft ZBA) would be required in support of the ZBA application. Further, the ZBA application form indicates that a Survey Drawing and Conceptual Site Plan are also required.



4.0 Policy and Planning Analysis

In support of the required ZBA, a summary and analysis of relevant planning documentation is provided. Planning guidance documents addressed include Provincial (i.e. Provincial Policy Statement and Growth Plan for the Greater Golden Horseshoe), Regional (Niagara Region Official Plan) and Municipal (City of Niagara Falls Official Plan and Zoning By-Law). The purpose of this review is to identify and consider relevant policies and discuss the appropriateness and conformity of the requested amendments with those policies.

4.1 Provincial Policy Statement

The Provincial Policy Statement (PPS, 2020) provides policy direction on matters of Provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land while protecting resources of provincial interest, public health and safety, and the quality of the natural environment.

The policies of the PPS may be complemented by Provincial Plans or by locally generated policies regarding matters of municipal interest. The Planning Act sets a minimum standard that requires all municipal planning decisions 'to be consistent with' the policies of the PPS. Together the PPS and Municipal Official Plans provide a framework for comprehensive, integrated and long-term planning.

4.1.1 Analysis of Provincial Policy Statement

In Part IV – Vision for Ontario's Land Use Planning System the PPS states:

Efficient development patterns optimize the use of land, resources and public investment in infrastructure and public services. These land use patterns promote a mix of housing, including affordable housing, employment, recreation, parks and open spaces, and transportation choices that increase the use of active transportation and transit before other modes of travel.

The proponent is proposing to redevelop the property by constructing a semi-detached residential dwelling in place of the existing single-detached dwelling. This would provide additional housing stock to the area, which is close to public transit and active transportation routes, allowing access to employment opportunities and amenities throughout the City of Niagara Falls. These support the PPS vision statement above. **Table 4-1** summarizes the review of the PPS with respect to this rezoning.

Table 4-1: Results of Review of the Provincial Policy Statement (PPS)

Policy Identifier	Policy Text	Is the Proposed Development Consistent with this Policy?
Section 1.1.1 a)	Healthy, liveable and safe communities are sustained by: a) Promoting efficient development and land use patterns which sustain the financial wellbeing of the Province and municipalities over the long term.	The proponent is proposing to redevelop the property more efficiently to provide additional housing stock to the Chippewa area in the City of Niagara Falls.
Section 1.1.1 b)	Healthy, liveable and safe communities are sustained by: b) Accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential	The redevelopment of the property to a higher density residential use will provide additional housing stock to the Chippewa area in the City of Niagara Falls and add an additional residential type (semi-detached dwelling) to the



	Policy Tout	Is the Draw and Development
Policy Identifier	Policy Text	Is the Proposed Development
	waite moulting it becomes affectable	Consistent with this Policy?
	units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs.	neighbourhood, which currently consists mostly of single-detached dwellings.
Section 1.1.1 e)	Healthy, liveable and safe communities are sustained by: e) Promoting cost-effective development patterns and standards to minimize land consumption and servicing costs.	The subject property is already developed and used for residential use. Therefore, the proposed development will not consume any new greenfield land or require extension/new municipal servicing infrastructure.
Section 1.1.1 g)	Healthy, liveable and safe communities are sustained by: (g) Ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs	The subject property will continue to be serviced by municipal infrastructure.
Section 1.1.3.1	Settlement areas shall be the focus of growth and development.	The subject property is within the City of Niagara Falls urban area.
Section 1.1.3.2	Land use patterns within settlement areas shall be based on densities and a mix of land uses which: a) efficiently use land and resources; b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion; c) minimize negative impacts to air quality and climate change, and promote energy efficiency; d) prepare for the impacts of a changing climate; e) support active transportation; f) are transit-supportive, where transit is planned, exists or may be developed; and g) are freight-supportive.	The proposed development will more efficiently use the land to provide new housing stock and add an additional residential type (semi-detached dwelling) to the neighbourhood, which consists mostly of single-detached dwellings. Further, it will utilize existing municipal infrastructure.
Section 1.1.3.3	Planning authorities shall identify appropriate locations and promote	The proposed development will intensify the existing residential use of



Policy Identifier	Policy Text	Is the Proposed Development
Toney Identifier	,	Consistent with this Policy?
	opportunities for transit-supportive	the property through redevelopment
	development, accommodating a	and will add to the mix of housing
	significant supply and range of housing	stock in the Chippewa area in the City
	options through intensification and	of Niagara Falls. Further, it will utilize
	redevelopment where this can be	existing municipal infrastructure.
	accommodated taking into account	
	existing building stock or areas,	
	including brownfield sites, and the	
	availability of suitable existing or	
	planned infrastructure and public	
	service facilities required to	
	accommodate projected needs.	
Section 1.1.3.4	Appropriate development standards	The proposed development will
	should be promoted which facilitate	intensify the existing residential use of
	intensification, redevelopment and	the property through redevelopment
	compact form, while avoiding or	and will provide a mix of new housing
	mitigating risks to public health and	stock in the Chippewa area in the City
	safety.	of Niagara Falls.
Section 1.4.1 a)	To provide for an appropriate range and	The proposed development will
1	mix of housing options and densities	increase the density of the property
	required to meet projected	and provide additional housing stock
	requirements of current and future	to the Chippewa area in the City of
	residents of the regional market area,	Niagara Falls, contributing to the
	planning authorities shall:	housing supply and accommodating
		residential growth.
	a) maintain at all times the ability to	
	accommodate residential growth for a	
	minimum of 15 years through	
	residential intensification and	
	redevelopment and, if necessary, lands	
	which are designated and available for	
	residential development.	
Section 1.6.6.2	Municipal sewage services and	The proposed development will utilize
	municipal water services are the	existing municipal infrastructure.
	preferred form of servicing for	
	settlement areas to support protection	
	of the environment and minimize	
	potential risks to human health and	
	safety. Within settlement areas with	
	existing municipal sewage services and	
	municipal water services, intensification	
	and redevelopment shall be promoted	
	wherever feasible to optimize the use of	
	the services.	
Continua 1 C C 7	Diamaing for standard standard	The site will utilize evicting recognising
Section 1.6.6.7	Planning for stormwater management	The site will utilize existing municipal storm infrastructure.
	shall:	storm mirastructure.



Policy Identifier	Policy Text	Is the Proposed Development
,	, one,	Consistent with this Policy?
	a) be integrated with planning for sewage and water services and ensure that systems are optimized, feasible and financially viable over the long term; b) minimize, or, where possible, prevent increases in contaminant loads; c) minimize erosion and changes in water balance, and prepare for the impacts of a changing climate through the effective management of stormwater, including the use of green infrastructure; d) mitigate risks to human health, safety, property and the environment; e) maximize the extent and function of vegetative and pervious surfaces; and f) promote stormwater management best practices, including stormwater attenuation and re-use, water conservation and efficiency, and low impact development.	Consistent with this Policy?

4.1.2 SUMMARY OF PPS ANALYSIS

The proposed rezoning of 8700 Roosevelt Avenue to allow the redevelopment of the property for a semi-detached dwelling will add to the housing stock in the Chippewa area in the City of Niagara Falls and introduce a new housing type (semi-detached dwelling) to the immediate surrounding neighbourhood, which consists mostly of single-detached dwellings. The property is also located close to public transit and active transportation routes, providing access to employment opportunities and amenities throughout the City. The property will continue to utilize existing municipal infrastructure. Based on this, it is concluded that the proposed development is consistent with the policies set out in the PPS (2020).

4.2 Growth Plan for the Greater Golden Horseshoe

The Province of Ontario's *Growth Plan for the Greater Golden Horseshoe* (GGH) (updated August 2020) was developed to create more livable, sustainable, and efficient communities in conjunction with significant anticipated population and economic growth in the Province. The Growth Plan was prepared under the *Places to Grow Act, 2005*, and is a framework for implementing the Government of Ontario's vision for building stronger, prosperous communities by better managing growth in the GGH. The Plan is intended to guide decisions on a wide range of issues including land-use planning, housing, and natural heritage and resource protection.

The Growth Plan builds on other key government initiatives including the Greenbelt Plan, Planning Act reform and the Provincial Policy Statement. The Growth Plan does not replace Municipal Official Plans but works within the existing planning framework to provide growth management policy direction for the GGH.



4.2.1 Analysis of Growth Plan Policies

The subject property is within the City of Niagara Falls Urban Boundary, which is considered to be a "Settlement Area" in the Growth Plan. There are several components of the Growth Plan that provide guidance for this proposed development. **Table 4-2** includes review of relevant policies in the Growth Plan in relation to the proposed development.

Table 4-2: Results of Review of the Growth Plan for the Greater Golden Horseshoe (GGH)

Policy Identifier	Policy Text	Is the Proposed Development Consistent with this Policy?
Section 1.2	Vision for the GGH states: The GGH will have sufficient housing supply that reflects market demand and what is needed in local communities. Thriving, livable, vibrant, and productive urban and rural areas will foster community health and individual wellbeing. The region will be supported by modern, well-maintained, sustainable, and resilient infrastructure built in accordance with a broad plan for managing growth. Residents will have easy access to food, shelter, education, health care, arts and recreation, and information technology.	The proposed development will provide additional housing stock that will contribute to the housing supply for the City of Niagara Falls. Further, it will utilize existing municipal infrastructure.
Section 1.2.1	Guiding Principles indicate the following should be prioritized: Support a range and mix of housing options, including additional residential units and affordable housing, to serve all sizes, incomes, and ages of households.	The proposed development will introduce a new housing type (semidetached dwelling) to the neighbourhood, which consists mostly of single-detached dwellings.
Section 2.2.1	Managing Growth states that: Forecasted growth to the horizon of this Plan will be allocated based on the following: a) the vast majority of growth will be directed to settlement areas that: i. have a delineated built boundary; ii. have existing or planned municipal water and wastewater systems; and iii. can support the achievement of complete communities. c) within settlement areas, growth will be focused in:	The subject property is located within the Urban Boundary of the City of Niagara Falls.



	e, Chippewa, Niagara Falis	iviay 2024
Policy Identifier	Policy Text	Is the Proposed Development
		Consistent with this Policy?
	 i. delineated built-up areas; ii. strategic growth areas; a) iii. locations with existing or planned transit, with a priority on higher order transit where it exists or is planned; and iv. areas with existing or planned public service facilities. 	
Section 2.2.6	Upper- and single-tier municipalities, in consultation with lower-tier municipalities, the Province, and other appropriate stakeholders, will: a) support housing choice through the achievement of the minimum intensification and density targets in this Plan, as well as the other policies of this Plan by:	The proposed development will introduce a new housing type (semidetached dwelling) to the neighbourhood, which consists mostly of single-detached dwellings.
	i. identifying a diverse range and mix of housing options and densities, including additional residential units and affordable housing to meet projected needs of current and future residents; and ii. establishing targets for affordable ownership housing and rental housing.	

4.2.2 SUMMARY OF GROWTH PLAN ANALYSIS

The proposed redevelopment of the property at 8700 Roosevelt Avenue to construct a semi-detached dwelling supports the primary objective of the Growth Plan to direct growth to settlement areas and to utilize existing municipal infrastructure. It is concluded that the proposal satisfies the objectives of the Growth Plan for the Greater Golden Horseshoe.

4.3 NIAGARA REGION OFFICIAL PLAN

The property is located within the "Delineated Built-Up Area" of Niagara Region's Urban Area for the City of Niagara Falls as identified on Schedule B of the Niagara Region Official Plan (2022). Development proposals within Urban Areas are subject to the availability of adequate municipal water, sanitary sewer, and stormwater and road services.



4.3.1 Analysis of Niagara Region Official Plan Policies

The Niagara Region Official Plan has two basic functions: first to provide guidelines for the location and type of development in both urban and rural areas and second, to identify the environmental resources of the Region and to develop measures for their protection and management. **Table 4-3** summarizes the review of applicable Niagara Region Official Plan policies with respect to this proposed rezoning.

Table 4-3: Summary of Applicable Regional Policies

Policy Identifier	Policy Text	Is the Proposed Development Consistent with this Policy?
2.2	The objectives of this [Regional Structure] section are as follows: a) manage growth within urban areas; b) accommodate growth through strategic intensification and higher densities.	The proposed development is within the existing urban boundary and is an intensification opportunity.
2.2.1	Development in urban areas will integrate land use planning and infrastructure planning to responsibly manage forecasted growth and to support: a) the intensification targets in Table 2-2 and density targets outlined in this Plan; c) a diverse range and mix of housing types, unit sizes, and densities to accommodate current and future market-based and affordable housing needs.	The proposed development will intensify the residential use of the property and increase the density of an existing property. It will also provide additional housing stock in the Chippewa area of the City of Niagara Falls.
2.2.2.1	Within urban areas, forecasted population growth will be accommodated primarily through intensification in built-up areas with particular focus on the following locations: areas with existing or planned public service facilities.	The subject property is within an urban area, will intensify an existing the residential use of the property and will utilize existing municipal infrastructure.
2.3.1.3	The forecasts in Table 2-1 will be used to maintain, at all times: a) the ability to accommodate residential growth for a minimum of 15 years through residential intensification, and lands designated and available for residential development.	The proposed development will provide new housing stock in the Chippewa area of the City of Niagara Falls through intensification and will contribute to accommodating the Region's population forecasts.



Policy Identifier	Policy Text	Is the Proposed Development Consistent with this Policy?
2.3.1.5	New residential development and residential intensification should incorporate universal design standards to meet housing needs at all stages of life.	Appropriate design standards will be met when designing the semi-detached dwelling.
5.2.2.12	Within urban settlement areas full municipal services are the preferred form of servicing.	The proposed development will utilize existing full municipal infrastructure.

4.3.2 SUMMARY OF NIAGARA REGION OFFICIAL PLAN ANALYSIS

The Niagara Region Official Plan policies require consideration related to proposals in built-up urban areas. The proposed development of 8700 Roosevelt Avenue for a semi-detached dwelling meets the intent of the Niagara Region Official Plan, as the property is located in a Delineated Built-Up Area in the urban area of Niagara Falls, will provide new housing stock in the Chippewa area and will utilize existing municipal infrastructure. Further supporting that the policies of the Niagara Region Official Plan have been met for this proposed development, during the pre-consultation meeting, Region Staff indicated that the Region does not require circulation of the ZBA application for review.

4.4 CITY OF NIAGARA FALLS OFFICIAL PLAN

The Official Plan for the City of Niagara Falls outlines the long-term objectives and policies of the City with respect to the growth and development of urban lands, the protection of agricultural lands, the conservation of natural heritage areas, and the provision of the necessary infrastructure.

4.4.1 Analysis of City of Niagara Falls Official Plan Policies

The property is designated Residential in the City of Niagara Falls Official Plan. The Residential designation permits a variety of residential uses, including the proposed semi-detached dwelling. **Table 4-4** provides an analysis of the proposed development relative to the relevant policies of the City of Niagara Falls Official Plan.

Table 4-4: Summary of Applicable City of Niagara Falls Official Plan Policies

Policy Identifier	Policy Text	Is the Proposed Development Consistent with this Policy?
Schedule A – Land Use Plan	Subject property is identified as "Residential"	The proponent is proposing to rezone the property from Residential 1C (R1C) zone to a Residential 2 (R2) zone. The existing use is a single-detached residential dwelling. The proposed development will maintain a residential use of the property, which is consistent with the Residential designation of the property in the Official Plan.
Part 1, Section 2 – Growth Objectives	1. To direct growth to the urban area and away from non-urban areas	The property is located within the urban area in the City of Niagara Falls. The proposed development of a semi-



Policy Identifier	Policy Text	Is the Proposed Development
r oney identifier	·	Consistent with this Policy?
	3. To support increased densities, where appropriate, and the efficient use of infrastructure within the Bulit-Up section of the urban area	detached dwelling will intensify the residential use of the property, increase the density and introduce a new housing type (semi-detached dwelling)
	6. To accommodate growth in accordance with the household, population and employment forecasts of the Region's Comprehensive Review	to the neighbourhood, which currently consists mostly of single-detached dwellings. This will contribute to meeting growth and housing targets for the City.
	7. To achieve a minimum of 40% of all residential development occurring annually within the Built Up Area shown on Schedule A-2 by the year 2015	The development is located close to a local public transit bus route, providing access other areas of the City of Niagara Falls and to the greater Niagara Region area.
	9. To encourage alternative forms of transportation such as walking, cycling and public transit	Further, the property will use existing municipal infrastructure.
	10. To plan for an urban land supply for 20 years and to maintain a minimum 10 year supply of land for residential growth through intensification or greenfield development	
	11. To provide a supply of serviced land that is capable of providing three years of residential development through intensification and land in draft approved and registered plans of subdivision	
Part 1, Section 2.3	The City shall provide sufficient lands within the Urban Area Boundary to meet the projected housing, population and employment targets of Table 1	The property is located within the Urban Area Boundary and the proposed development will contribute to meeting housing targets for the City.
Part 1, Section 2.4	The opportunity for increased densities within the Built Area Boundary shall be provided to make use of existing infrastructure, buildings and available transit through specific policies for the intensification nodes and corridors outlined in Part 1, Section 3	The proposed development will increase the density of the property and utilize existing municipal infrastructure.



Policy Identifier	Policy Text	Is the Proposed Development
Part 1, Section 2.5	Phasing policies shall guide growth across the urban area to make the most efficient use of existing and new infrastructure and to reduce the costs of providing new infrastructure	Consistent with this Policy? The property is located within the urban area and will continue to utilize existing municipal infrastructure.
Part 1, Section 3.1 – Intensification General Policies	Unless otherwise permitted through the maps and policies of this Plan, residential intensification shall require an amendment to this Plan and proceed by way of site specific zoning by-law amendment whereby individual proposals can be publicly assessed. Proposals of sufficient land area shall be developed through plans of subdivision	The proponent is proposing to rezone the property from Residential 1C (R1C) zone to a Residential 2 (R2) zone to permit the development of a semi-detached dwelling. This will intensify the residential use of the property.
Part 1, Section 3.4 – Intensification General Policies	The intensification through redevelopment of lands designated Residential in this Plan shall comply with the policies of Section 2, 1.15.5 of this Plan	The proposed development complies with the specified policies of Section 2, 1.15.5, as demonstrated below.
Part 1, Section 4.3 – Vision and Goals for Housing	Opportunities for a choice of housing including type, tenure, cost and location shall be provided to meet the changing needs of households throughout the Built-up Area and Greenfield Area. In order to achieve this goal, the City shall support the following:	The proposed development will redevelop an underutilized lot that is currently used for one single-detached dwelling. A semi-detached dwelling (two units) is proposed.
	4.3.1 Multiple unit developments, smaller lot sizes and innovative housing forms	
	4.3.2 Development of vacant land, and more efficient use of under-utilized parcels and existing housing stock	
	4.3.3 The full utilization and consolidation of properties to achieve larger scale and more comprehensive residential development	
Part 2, Section 1.1 – Residential General Policies	The predominant use of land in areas designated Residential shall be for dwelling units of all types catering to a wide range of households. Predominant uses shall include single detached and semi-detached	The proposed development is for a semi-detached dwelling.



Policy Identifier	Policy Text	Is the Proposed Development
	dwellings, duplexes, triplexes, quadraplexis, townhouses, apartments, group homes and other forms of residential accommodation	Consistent with this Policy?
Part 2, Section 1.7 – Residential General Policies	All residential development shall require proper and adequate municipal services. The municipality shall promote phased development to maintain logical, outward growth in residential areas in accordance with the policies of Part 3, Section 1	The proposed development will utilize existing municipal infrastructure.
Part 2, Section 1.10 – Built Up Area	It is recognized that opportunities exist throughout the Built-Up Area as shown on Schedule A-2 to create new housing units. Intensification, while maximizing the density of a given land area, shall be designed to integrate into the surrounding neighbourhood	The proposed development will provide additional housing stock in the City, specifically within the Chippewa area, through intensification of the property.
Part 2, Section 1.10.1	The character of the existing neighbourhoods within the Built-up Area shall be retained. Accordingly, residential development, intensification and infilling shall blend into the lot fabric, streetscape and built form of a neighbourhood	The proposed semi-detached dwelling will be designed appropriately to accommodate the surrounding lot fabric, built form and streetscape.
Part 2, Section 1.10.2	A gradation of building heights and densities will be encouraged together with sufficient horizontal separation distances between taller buildings and low rise dwellings in order to ensure a complementary arrangement of residential uses	The proposed height of the semidetached dwelling is 8.5 metres. This is consistent with the Zoning By-law requirement for height. Additionally, appropriate separation distance is provided between the dwelling and neighbouring residences, in compliance with the Zoning By-law.
Part 2, Section 1.10.3	Generally, development within the Built-up Area should be at a higher density that what currently exists in the neighbourhood. A harmonious mix of single and multiple accommodation will be encouraged through the Built Up Area so that at any one time a variety of housing types will be available suitable for different age groups, household sizes and incomes	The proposed development will increase the density of the property and introduce a new housing type (semi-detached dwelling) to the neighbourhood, which consists mostly of single-detached dwellings. Further, the property is located in the Built Up Area.



Ī	Policy Identifier	Policy Text	Is the Proposed Development
	Policy Identifier	Policy Text	Consistent with this Policy?
-	Part 2, Section 1.10.4	The conservation and renewal of the existing housing stock shall be encouraged as an important element in meeting future housing needs. In addition, the maintenance and rehabilitation of existing housing will be promoted by discouraging unnecessary demolition or conversion to nonresidential uses through such mechanisms as demolition control and application of the Maintenance and Occupancy Standards By-law	The property is currently used for one single-detached dwelling. The proposed semi-detached dwelling will result in two housing units which will replace the single residential unit that is currently on the property. Due to the location of the existing dwelling, as well as the size of the property, redevelopment to an equally high density as is proposed is not possible without the removal of the existing dwelling through demolition.
	Part 2, Section 1.10.5	Single detached housing is the dominant housing form in existing residential neighbourhoods. Increasing the amount of various types of multiple residential accommodations is encouraged in order to provide for an overall mix of housing within all communities. The inclusion of various housing forms through subdivisions, intensification and infilling shall not be mixed indiscriminately, but will be arranged in a gradation of building heights and densities according to the following policies: (i) Single and semi-detached dwellings, street townhouses, block townhouses and other compatible housing forms are to be developed to a maximum net density of 40 units per hectare with a minimum net density of 20 units per hectare and should generally be located on local or collector roads. New housing forms are to be of a height, massing and provide setbacks that are in character with the surrounding neighbourhood	The proposed semi-detached dwelling will equate to a density of approximately 24.1 units per hectare given the property's size of approximately 0.0831 hectares. This meets the density requirement range of 20 to 40 units per hectare. The height of the proposed dwelling units (1-storey raised bungalow) will be 8.5 metres, which meets zoning requirements and is generally consistent with the surrounding neighbourhood.



Policy Identifier Relicy Toyt		
Policy Identifier	Policy Text	Is the Proposed Development
		Consistent with this Policy?
Part 3, Section	Development within the urban area	The proposed development will utilize
1.2.4 – Water	shall be accommodated on the basis	existing municipal water and sanitary
and Sanitary	of full municipal services including	sewer infrastructure.
Sewage	sewers, storm sewers, water services	
	and improved roadways. Uses within	
	the urban area shall connect to	
	municipal water and sanitary services,	
	if available. Outside of the urban area,	
	Council shall cooperate with the	
	Niagara Region in promoting	
	individual sewage disposal systems	
	which incorporate proven new	
	technology achieving reduced	
	volumes and/or improved quality of	
	effluents.	
Part 3, Section	It is required that all new	The property will utilize existing
1.3.1 – Storm	development or redevelopment	municipal storm sewer infrastructure.
Drainage	within the City be connected to and	
	serviced by a suitable storm drainage	
	system. Appropriate systems may	
	include underground pipes, ditches,	
	culverts, swales, man-made and	
	natural watercourses, detention	
	storage areas or any other storm	
	water management system acceptable	
	to Council, the Niagara Region, the	
	Niagara Peninsula Conservation	
	Authority, and other agencies.	

4.4.2 SUMMARY OF CITY OF NIAGARA FALLS OFFICIAL PLAN ANALYSIS

The subject property is currently designated Residential in the Niagara Falls Official Plan. The proposed redevelopment of the property for a semi-detached dwelling will provide additional housing stock within the Built Up Area of the City of Niagara Falls, specifically within the Chippewa area. The development will intensify the residential use of the property and increase the density. Further, the property will continue to utilize existing municipal infrastructure. Therefore, it is concluded that the proposed rezoning of the subject property at 8700 Roosevelt Avenue is consistent with the City of Niagara Falls Official Plan.

4.5 CITY OF NIAGARA FALLS ZONING BY-LAW

4.5.1 Existing Zoning

The property is currently zoned Residential 1C (R1C) as identified in the City of Niagara Falls Zoning Bylaw 79-200. The R1C Zone permits single-detached dwellings, home occupation, accessory buildings/structures, group homes and bed and breakfasts, however it does not permit the proposed semi-detached dwelling.



4.5.2 PROPOSED ZONING

The proposal is to amend the current Residential 1C (R1C) zoning to a Residential 2 (R2) Zone, which permits semi-detached dwellings. **Tables 4-5** summarizes the required zoning provisions for the property.

Table 4-5: Zoning Provisions for 8700 Roosevelt Street

Parameter	R2 Requirements	Proposed Dimensions	Meets Requirement?
Minimum Lot Area	600 m ²	836.13 m ²	Yes
Minimum Lot 18 m Frontage		18.288 m	Yes
Minimum Front Yard Depth	6 m	9.20 m	Yes
Minimum Rear Yard Depth	7.5 m	14.05 m	Yes
Minimum Interior Side Yard Width	1.2 m	1.25 m	Yes
Minimum Exterior Side Yard Width	4.5 m	N/A	N/A
Maximum Lot Coverage	45%	40%	Yes
Maximum Height of Building	10 m	8.5 m	Yes
Maximum Number of Detached Dwellings on One Lot	1	1	Yes
Parking	In Accordance with Zoning By-law Sections 4.19.1 – 1 space per dwelling unit	2 spaces per dwelling unit	Yes
Accessory Buildings or Structures	In Accordance with Zoning By-law Sections 4.13 and 4.14	The proposed covered porches and decks do not project into the	Yes
	4.14 (d) subject to Section 4.27.1, a roofed-over one storey porch may project into a required front yard, rear yard or privacy yard of a block townhouse dwelling unit a distance of not more than 2.5 metres provided however that	front yard or rear yard setbacks.	



8700 Roosevelt Avenue, C	nippewa, Niagara Falis		May 2024
	(i) no enclosure of such porch, other than removable screens and storm sashes or awnings, shall be erected to a height of more than 1.0 metre above the floor of such porch, and		
	(ii) in no event and subject to said Section 4.27.1 shall any part of such porch be closer than 1.5 metres from any street line.		
	4.14 (h) subject to section 4.27.1, a deck may project into a required front yard a distance of not more than 2.5 metres and into a required rear yard or privacy yard of a block townhouse dwelling unit a distance of not more than 4 metres and in no event, and subject to said Section 4.27.1, shall any part of such deck be closer than 1.5 metres from any street line and closer to the interior and exterior side lot lines than the minimum interior side yard and exterior side yard widths of the specific zone.		
Minimum Landscaped Open Space	30%	51.2%	Yes

4.5.3 SITE-SPECIFIC ZONING PROVISIONS

As noted in Table 4-5 (above), the proposed semi-detached residential development meets all of the zoning requirements of the R2 zone. Therefore, there are not site-specific provisions required.



5.0 Conclusions and Recommendations

5.1 CONCLUSIONS

Based on the analysis of relevant planning documentation in this Planning Justification Report and the Architectural Plan and Survey/Grading Plan prepared in support of the Zoning By-Law Amendment application, the following is concluded with respect to the proposed rezoning of 8700 Roosevelt Avenue in the City of Niagara Falls.

- The proposed development meets the intent of the Provincial Policy Statement, as it will add to the housing stock in the Chippewa area in the City of Niagara Falls and utilizes existing municipal infrastructure.
- The proposal meets the intent of the Growth Plan, as the subject property is within an urban area and will aid in accommodating future residential growth within the urban area.
- The proposed development supports the policies of the Niagara Region Official Plan, as the subject property is located within the Built-Up Area of Niagara Falls, provides additional housing stock and will utilize existing municipal infrastructure.
- The proposed development of the subject property for a semi-detached dwelling is consistent
 with the Residential designation in the Official Plan, as it is a permitted use under the Residential
 designation and is an appropriate use for the area. Further, existing municipal infrastructure will
 continue to be utilized.
- The proposed rezoning of the subject property from R1C to R2 will permit the redevelopment of the subject property for a semi-detached dwelling, which is supported by the planning policies analyzed in this Planning Justification Report.

5.2 RECOMMENDATIONS

Based on the analysis presented in the Planning Justification Report, it is recommended that City of Niagara Falls Council approve the Zoning By-Law Amendment application to rezone the property at 8700 Roosevelt Avenue in the City of Niagara Falls from a Residential 1C (R1C) zoning, to a Residential 2 (R2) zoning to permit the redevelopment of the property for a semi-detached dwelling.

URBAN & ENVIRONMENTAL MANAGEMENT INC.

Report Prepared By:

Samantha Beam

Planner

Report Reviewed By:

Greg Taras, RPP Senior Planner

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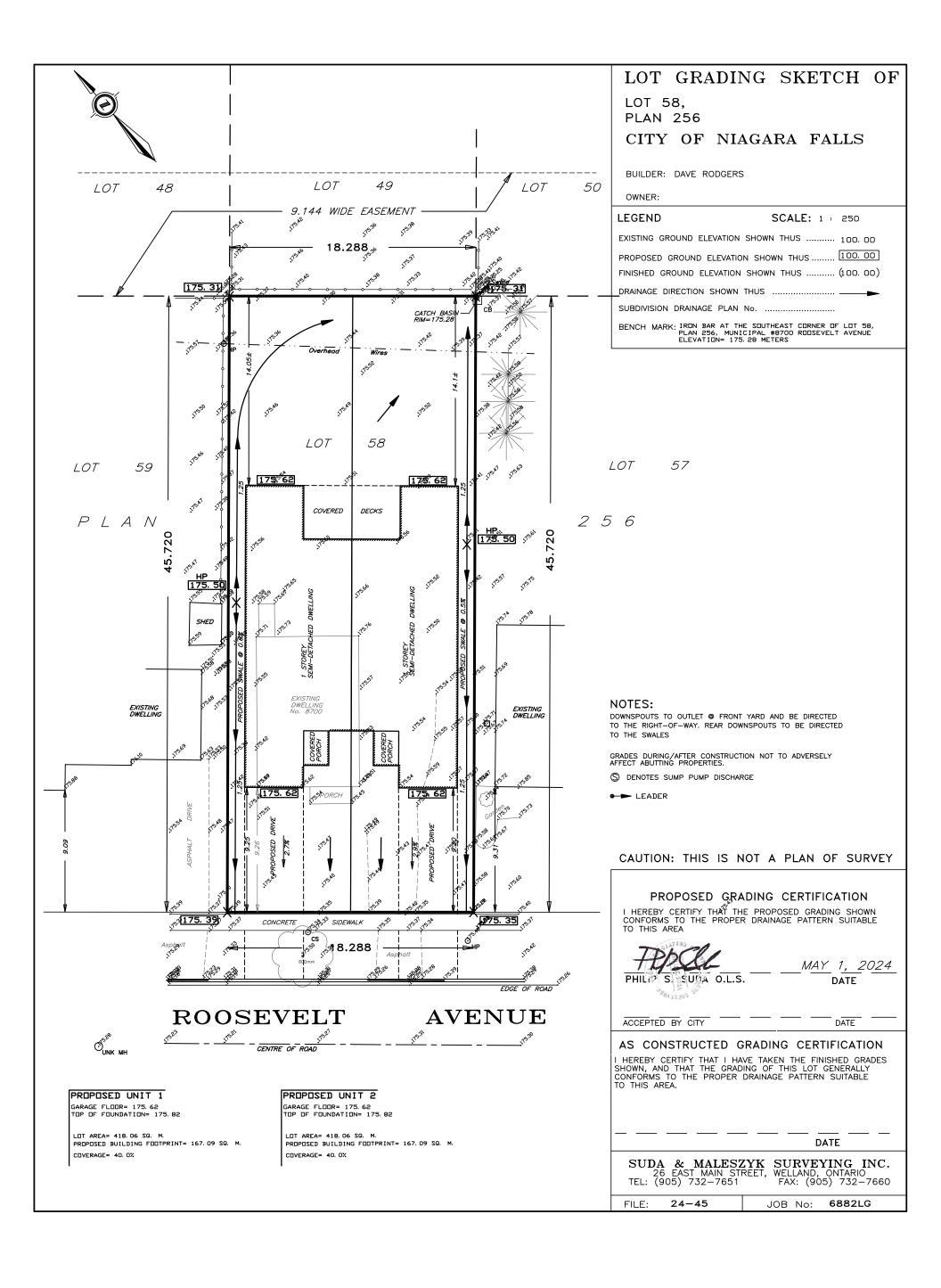


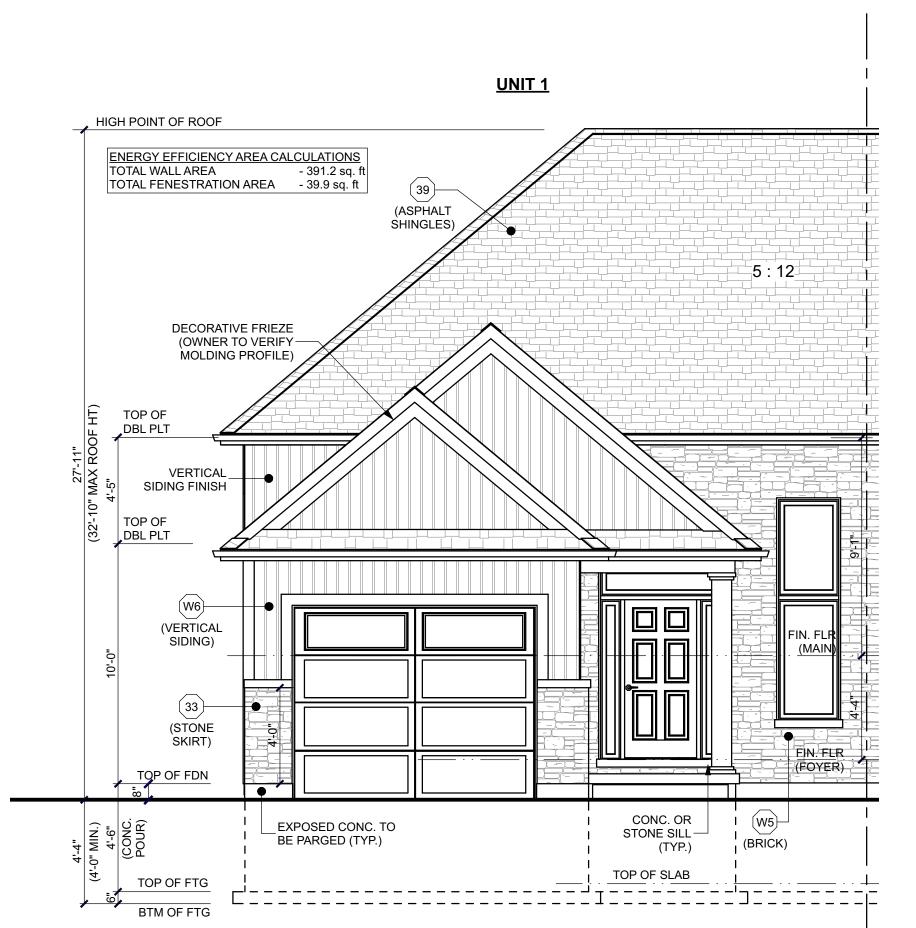
Appendix A

CONCEPTUAL SITE PLAN

- 1. Grading Plan with Proposed Semi-Detached Residence
 - 2. Architectural Drawings and Elevation Drawings







FRONT ELEVATION (EAST) SCALE: 1/4" =1'-0"

<u>UNIT 1</u> 22"x60" SKYLIGHT (AS PER MANUF. SPECS) ENERGY EFFICIENCY AREA CALCULATIONS
TOTAL WALL AREA 391.2 sq. ft
TOTAL FENESTRATION AREA 95.0 sq. ft _VINYL SIDING FINISH (TYP.) TOP OF DIVIDER _12" O.H. FIN. FLR TOP OF DBL PLT - 6"x6" WOOD POST - ANCHORED TO 12" Ø POURED CONCRETE PIER (15MPa) - ON 34"x34"x12" CONC. PAD FOOTINGS (MIN. 4'-0" BELOW GRADE ON

UNDISTURBED SOIL)

SCALE: 1/4" =1'-0"

REAR ELEVATION (WEST)

PROV'D ICE AND WATER SHIELD AT ALL FLAT ROOF, DORMER, ROOF CRICKET,

VALLEY AND HIP ROOF

CONNECTIONS

WINDOW MUNTIN BARS MAY VARY (WINDOW

MANUFACTURER TO VERIFY)

RIGHT ELEVATION (NORTH) SCALE: 1/4" =1'-0"



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CADD

4065 STANLEY AVENUE, UNIT 2 NIAGARA FALLS, ON | L2E 4Z2 | (905) 358-5535 Email: CorrCADD@Gmail.com

PROPOSED SEMI-DETACHED

BI-LEVEL 8700 ROOSEVELT AVENUE CHIPPAWA, ONTARIO

ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE (UP TO AND INCLUDING ALL 2021 AMENDMENTS)

NOTES, SITE AND REPORT ANY DISCREPENCIES PRIOR TO COMMENCEMENT AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND

MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT.

DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR

3 - ALL 'B' - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS. 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING. 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO

MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER. 8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR. 9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY

ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST A1 ELEVATIONS EXTERIOR 3D PERSPECTIVES A2 LOWER FLOOR PLAN MAIN FLOOR PLAN CROSS SECTION ROOF PLAN A3 WALL SECTION CONSTRUCTION SCHEDULES TYPICAL DETAILS A4 PARTY WALL DETAILS GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE A5 COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES NO. DATE: REVISION: FEB 8/21 ISSUED FOR PERMIT PURPOSES PRICING DRAWINGS **NOT TO BE USED FOR CONSTRUCTION**

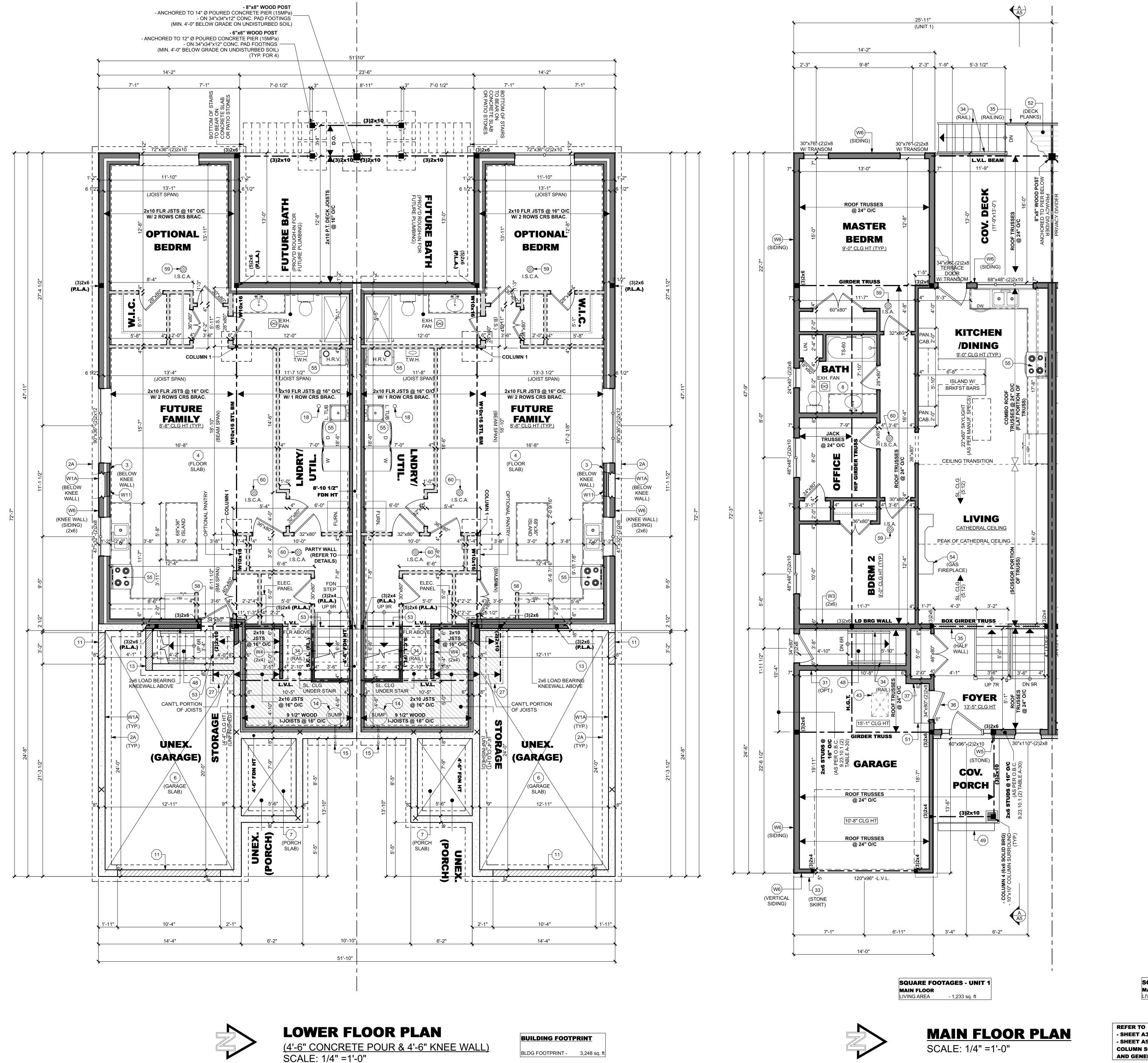
DR. BY: ANDRE CH. BY: MIKE 2024-04-09 **AS SHOWN**

ELEVATIONS, EXTERIOR 3D PERSPECTIVES

OF 5

CORRIVEAU

2020-117



SQUARE FOOTAGES - UNIT 2 - 1,233 sq. ft LIVING AREA



- SHEET A3 FOR CONSTRUCTION SCHEDULES - SHEET A5 FOR TYPICAL NOTE SCHEDULE, **COLUMN SCHEDULE, LIST OF ABBREVIATIONS,** AND GENERAL SPECIFICATIONS



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PROPOSED SEMI-DETACHED **BI-LEVEL**

8700 ROOSEVELT AVENUE CHIPPAWA, ONTARIO

ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE

- (UP TO AND INCLUDING ALL 2021 AMENDMENTS)
- AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT.
- DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 ALL 'B' VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS. 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER. 8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR. 9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY

ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST ELEVATIONS A1 ELEVATIONS
EXTERIOR 3D PERSPECTIVES LOWER FLOOR PLAN MAIN FLOOR PLAN **CROSS SECTION** ROOF PLAN A3 WALL SECTION CONSTRUCTION SCHEDULES TYPICAL DETAILS A4 PARTY WALL DETAILS **GENERAL NOTES AND SPECS** TYPICAL NOTE SCHEDULE A5 | COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES REVISION: NO. DATE: ISSUED FOR PERMIT PURPOSES FEB 8/21

ANDRE LACOURSIERE CORRIVEAU

PRICING DRAWINGS

NOT TO BE USED

FOR CONSTRUCTION

2020-117

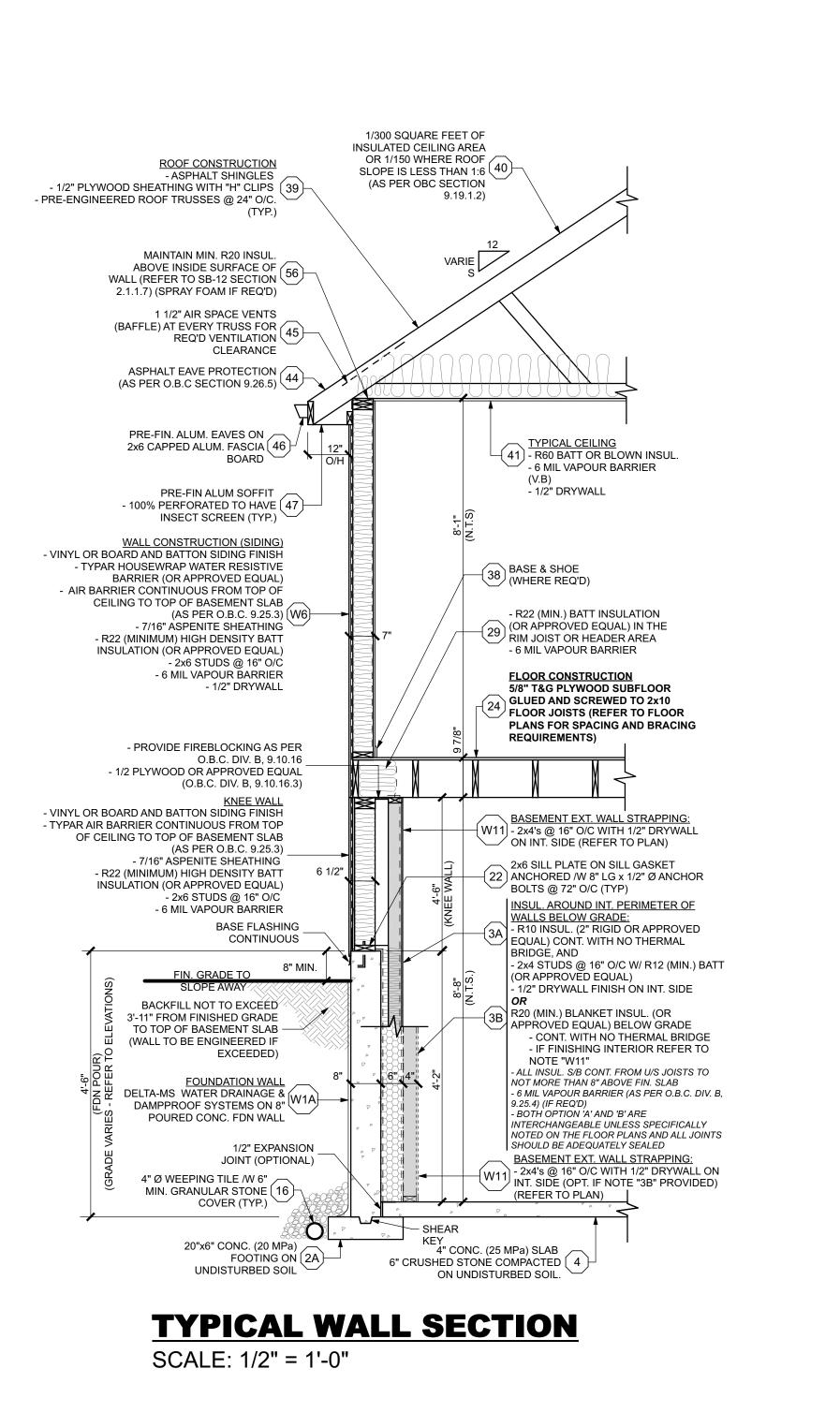
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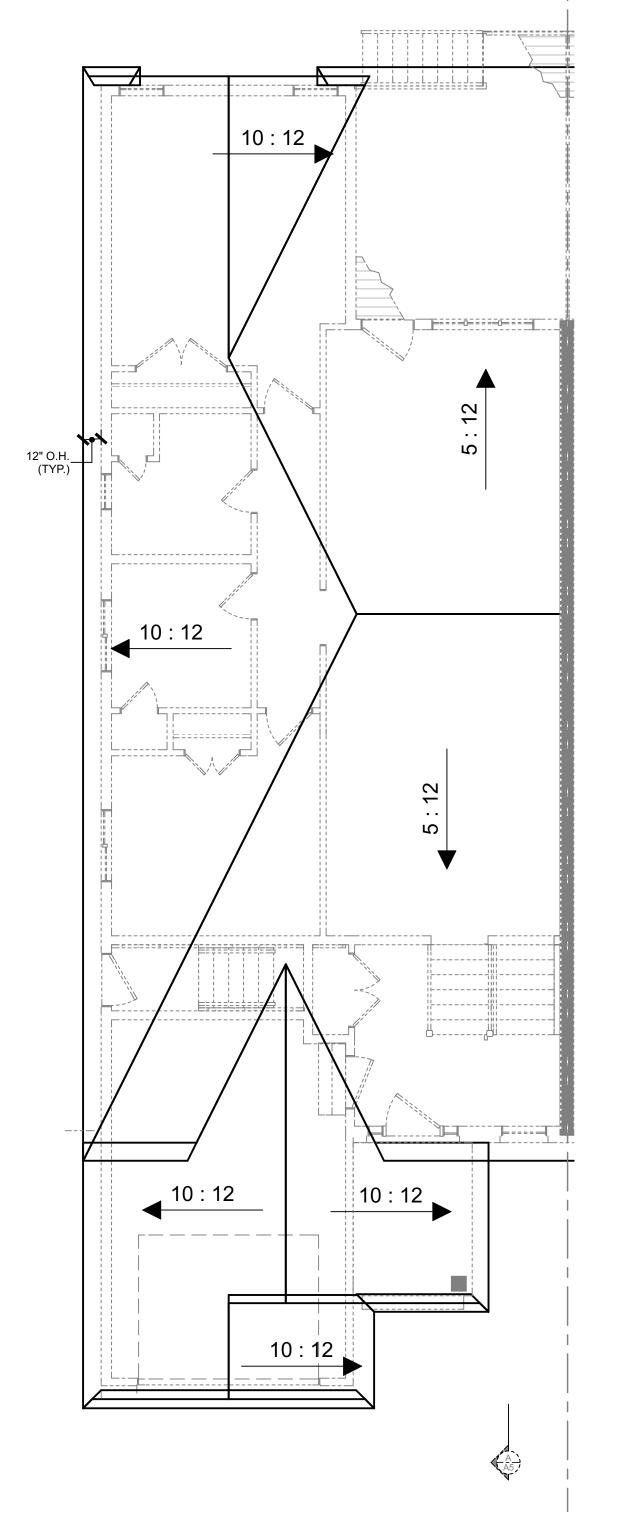
AS SHOWN

LOWER FLOOR PLAN, **UPPER FLOOR PLAN**

2 OF 5

A2





PROV'D 5" CONT. EAVESTROUGH TO

DRAIN POSITIVELY TO RAIN WATER

DOWNSPOUTS LOCATED AS PER OBC

REQUIREMENTS & LOCAL MUNICIPAL

DRAINAGE BYLAWS

PROV'D ICE AND WATER

SHIELD AT ALL FLAT ROOF,

DORMER, ROOF CRICKET,

VALLEY AND HIP ROOF

ROOF & GIRDER

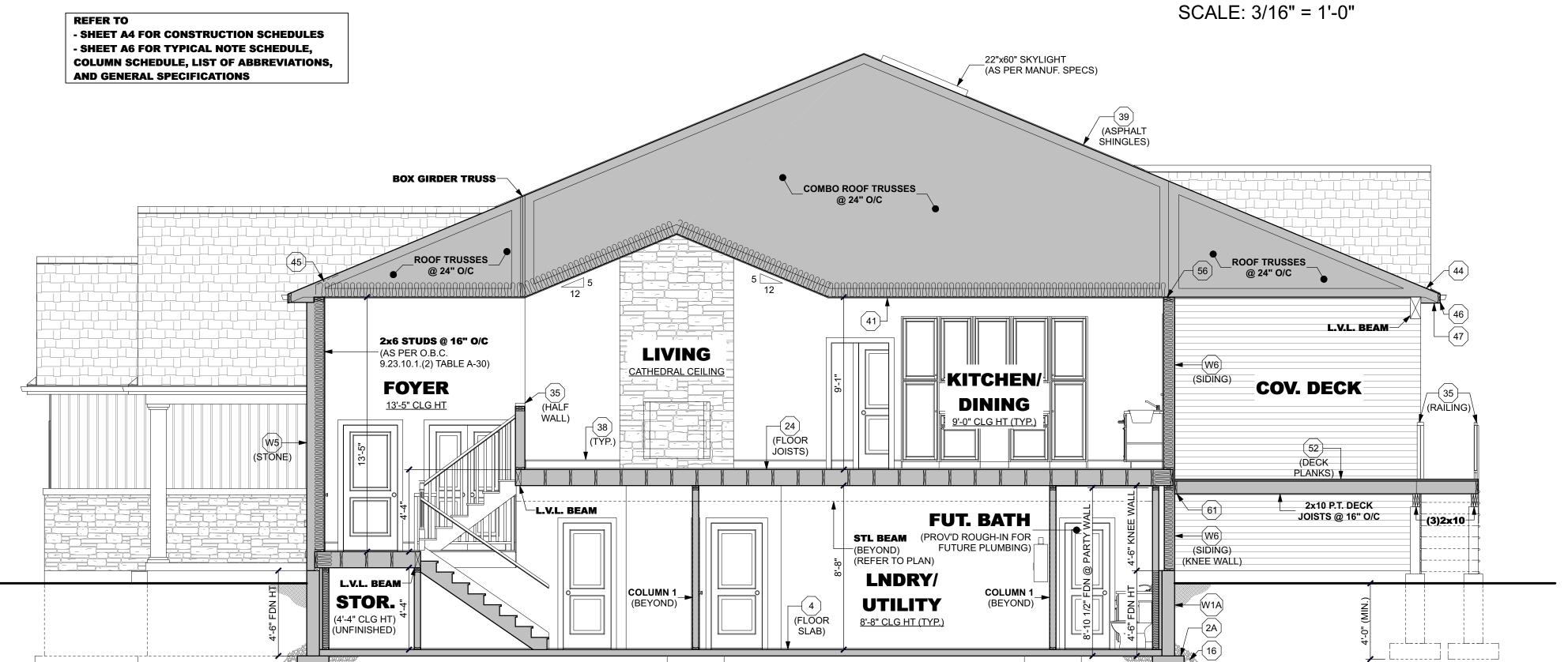
TRUSS LOCATIONS TO

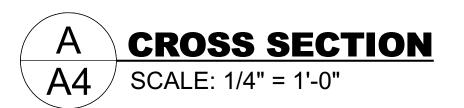
TRUSS

MANUFACTURER

BE VERIFIED BY ROOF

ROOF PLAN





	WOO	D LIN (O.I	TEL \$ B.C. 9.23.		DUL	E	
				MAXIMUI	M SPAN, I	m	
LINTEL	LINTEL SIZE		EXTE	RIOR WA	LLS		INTERIOR
SUPPORTING		S	PECIFIED	SNOW L	OAD, kPa	a	WALLS
		1.0	1.5	2.0	2.5	3.0	
LIMITED ATTIC STORAGE AND CEILING	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2 2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4						4' - 2" 6' - 4" 7' - 9" 9' - 5" 11' - 0"
ROOF AND CEILING ONLY (TRIBUTARY WIDTH OF 0.6m MAXIMUM)	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2 2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	8' - 4" 13' - 1" 17' - 4" 20' - 11" 24' - 2"	7' - 4" 11' - 6" 15' - 2" 18' - 11" 21' - 11"		6' - 2" 9' - 9" 12' - 9" 16' - 3" 19' - 3"	5' - 10" 9' - 1" 12' - 0" 15' - 4" 18' - 5"	6' - 2" 9' - 9" 12' - 9" 16' - 3" 19' - 3"
ROOF AND CEILING ONLY (TRIBUTARY WITH OF 4.9m MAXIMUM)	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2 2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	4' - 2" 6' - 4" 7' - 9" 9' - 5" 11' - 0"	3' - 8" 5' - 5" 6' - 8" 8' - 1" 9' - 5"	3' - 4" 4' - 10" 5' - 11" 7' - 3" 8' - 5"	3' - 1" 4' - 5" 5' - 5" 6' - 7" 7' - 8"	2' - 10" 4' - 1" 5' - 0" 6' - 0" 6' - 10"	3' - 1" 4' - 5" 5' - 5" 6' - 7" 7' - 8"
ROOF, CEILING, AND 1 STOREY	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2 2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	3' - 5" 4' - 11" 6' - 0" 7' - 3" 8' - 6"	3' - 2" 4' - 6" 5' - 6" 6' - 8" 7' - 9"	2' - 11" 4' - 2" 5' - 1" 6' - 2" 7' - 1"	2' - 9" 3' - 11" 4' - 9" 5' - 8" 6' - 5"	2' - 7" 3' - 9" 4' - 5" 5' - 3" 5' - 11"	2' - 5" 3' - 4" 3' - 11" 4' - 9" 5' - 5"
ROOF, CEILING AND 2 STOREYS	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2 2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	3' - 1" 4' - 5" 5' - 4" 6' - 6" 7' - 7"	2' - 11" 4' - 2" 5' - 0" 6' - 2" 6' - 11"	2' - 9" 3' - 11" 4' - 9" 5' - 8" 6' - 5"	2' - 7" 3' - 9" 4' - 5" 5' - 3" 6' - 0"	2' - 6" 3' - 6" 4' - 1" 4' - 11" 5' - 7"	2' - 1" 2' - 11" 3' - 5" 4' - 2" 4' - 9"
ROOF, CEILING AND 3 STOREYS	2 - 1 1/2 x 3 1/2 2 - 1 1/2 x 5 1/2 2 - 1 1/2 x 7 1/4 2 - 1 1/2 x 9 1/4 2 - 1 1/2 x 11 1/4	2' - 11" 4' - 1" 5' - 0" 6' - 1" 6' - 11"	2' - 9" 3' - 11" 4' - 9" 5' - 8" 6' - 5"	2' - 8" 3' - 9" 4' - 5" 5' - 4" 6' - 0"	2' - 6" 3' - 7" 4' - 2" 5' - 0" 5' - 9"	2' - 5" 3' - 4" 4' - 0" 4' - 9" 5' - 5"	1' - 11" 2' - 8" 3' - 2" 3' - 10" 4' - 5"

NAILING FOR FRAMING (O.B.C. 9.23.3.4) MIN. LENGTH OF NAILS, in MAXIMUM SPACING			
CONCEDUCTION DETAIL			
OF NAILS, III WAXIMUM STACING	J OI IVAILO		
FLOOR JOISTS TO PLATE - TOE NAIL 3 1/4" 2			
WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS 2 1/4" 2			
CROSS BRIDGING TO JOISTS 2 1/4" 2 AT EACH E	2 AT EACH END		
DOUBLE HEADER OR TRIMMER JOISTS 3" 11 3/4" O/0	C		
FLOOR JOIST TO STUD (BALLOON CONSTRUCTION) 3" 2			
LEDGER STRIP TO WOOD BEAM 3 1/4" 2 PER JOIS	ST		
JOIST TO JOIST SPLICE (SEE ALSO TABLE 9.23.13.8) 3" 2 AT EACH E	END		
HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER 4" 3			
TAIL JOIST TO ADJACENT HEADER JOIST 3 1/4" 5			
(END NAILED) AROUND OPENINGS 4" 3			
EACH HEADER JOIST TO ADJACENT TRIMMER 3 1/4" 5			
JOIST (END NAILED) AROUND OPENINGS 4" 3 STUD TO WALL PLATE (EACH END) 2 1/2" 4			
STUD TO WALL PLATE (EACH END) 2 1/2" 4 TOE NAIL OR END NAIL 3 1/4" 2			
DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS 3" 30" O/C			
DOUBLED TOP WALL PLATES 3" 23 5/8" O/	/C		
BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS) 3 1/4" 15 3/4" O/	15 3/4" O/C		
INTERIOR WALLS TO FRAMING OR SUBFLOORING 3 1/4" 23 5/8" O/	/C		
HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS - EACH END 3 1/4" 2			
LINTELS TO STUDS 3 1/4" 2 AT EACH E	END		
CEILING JOIST TO PLATE - TOE NAIL EACH END 3 1/4" 2			
ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE - TOE NAIL 3 1/4" 3			
RAFTER PLATE TO EACH CEILING JOIST 4" 2			
RAFTER TO JOIST (WITH RIDGE SUPPORTED) 3" 3			
RAFTER TO JOIST (WITH RIDGE UNSUPPORTED) 3" SEE O.B.C. TABLE	9.23.13.8		
GUSSET PLATE TO EACH RAFTER AT PEAK 2 1/4" 4			
RAFTER AT RIDGE BOARD - TOE NAIL - END NAIL 3 1/4" 3			
COLLAR TIE TO RAFTER - EACH END 3" 3			
COLLAR TIE LATERAL SUPPORT TO EACH 2 1/4" 2			
JACK RAFTER TO HIP OR VALLEY RAFTER3 1/4"2			
ROOF STRUT TO RAFTER 3" 3			
ROOF STRUT TO LOADBEARING WALL - TOE NAIL 3 1/4" 2			
2" x 6" OR LESS PLANK DECKING TO SUPPORT 3 1/4" 2			
PLANK DECKING WIDER THAN 2" x 6" TO SUPPORT 3 1/4" 3			
2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL) 3" 1	1		
2" EDGE LAID PLANK TO EACHOTHER 3" 17 3/4" O/0	C		

PLYWOOD, OSB OR WAFERBOARD FROM 3/8" TO 13/16" THICK		2"	1 3/4"	N/A	2"	INTERMEDIATE SUPPORTS
PLYWOOD, OSB, OR WAFERBOARD OVER 13/16" THICK		2 1/4"	2"	N/A	N/A	
	MIN. ANGLE SIZE (L.L.V.)	MA FOR BRIC (2 3/4")	X. ALLOWA K FOR BF (3 1/2	RICK	FOR TONE	
	L-3 1/2" x 3 1/2" x 1/4"	8'-6" OR LESS	8'-1 OR LE		7'-9" R LESS	
	L- 4" x 3 1/2" x 1/4"	9'-2"	8'-9	"	8'-2"	
	L- 4 7/8" x 3 1/2" x 5/16"	11'-5"	10'-1	0"	10'-1"	
	L- 4 7/8" x 3 1/2" x 3/8"	11'-11"	11'-	5" -	10'-8"	
	L- 4 7/8" x 3 1/2" x 1/2"	12'-7"	11'-9	9" 1	0'-11"	
	L- 5 7/8" x 3 1/2" x 3/8"	13'-4"	12'-	7"	11'-8"	
	L- 5 7/8" x 3 1/2" x 1/2"	14'-2"	13'-	5"	12'-5"	
	L- 5 7/8" x 4" x 1/2"	14'-4"	13'-0	6" <i>'</i>	12'-7"	
	L- 7 1/8" x 4" x 3/8"	15'-0"	14'-	1"	13'-1"	
	L- 7 1/8" x 4" x 13 1/2"	16'-0"	15'-	1"	14'-0"	

FASTENERS FOR SHEATHING AND SUBFLOORING

PSUM SHEATHING UP TO 1/2" THICK N/A N/A 1 3/4" N/A

WAFERBOARD UP TO 3/8" THICK

OR THREAD ROOFING STAPLES

N/A 1 1/2" AND 11 3/4" O/C

SPIRAL NAILS OR NAILS
NAILS SCREWS

	EAMS SUPPO	L SCHE RTING MASON 20.5.2 (C))	
SECTION	2 3/4" BRICK	3 1/2" BRICK	4" STONE
W 6 x 15	13'-11"	13'-5"	12'-11"
W 6 x 20	15'-4"	14'-10"	14'-2"
W 8 x 18	17'-3"	16'-8"	15'-10"
W 8 x 21	18'-3"	17'-7"	16'-9"
W 8 x 24	18'-9"	18'-0"	17'-2"

ANCHOR BOLT SPACING (O.B.C. TABLE 9.20.17.5) MAX CLEAR STAGGERED 1/2" STAGGERED 5/8" FLOOR SPAN ANCHOR BOLTS 8'-0" 18" 20" 9'-10" 16" 18" 13'-1.5" 12" 16" 16'-4" 11" 13"

CORRIVEAU

CorriveauHomeDesign.com

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NIAGARA FALLS, ON | L2E 4Z2 | (905) 358-5535
Email: CorrCADD@Gmail.com

ROJECT:

PROPOSED SEMI-DETACHED BI-LEVEL

8700 ROOSEVELT AVENUE CHIPPAWA, ONTARIO

NOTES: ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE

- (UP TO AND INCLUDING ALL 2021 AMENDMENTS)

 ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPENCIES PRIOR TO COMMENCEMENT
- OF WORK. THIS DRAWING IS NOT TO BE SCALED, ALL DRAWINGS, PRINTS
 AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND
 MUST BE RETURNED UPON REQUEST.
 REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN

WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT.

- DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

 1 MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR

 2 ALL FLOOP DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 2 ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR 3 ALL 'B' VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS
- PRIOR TO MANUFACTURING.
 6 ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO
 MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER.
 8 ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/
- BUILDER & CONTRACTOR.

 9 ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY

ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

A1 A2	ELEVATIONS EXTERIOR 3 LOWER FLOWAIN FLOOR	D PERSPECTIVES OR PLAN			
А3	CROSS SECTOROOF PLAN	TION			
A4	TYPICAL DE PARTY WALL	_			
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CERTIF	FICATION:	RICING DRAWINGS			
		NOT TO BE USED			

CROSS SECTION,

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FOR CONSTRUCTION

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2020-117

ROOF PLAN,
WALL SECTION,
CONSTRUCTION SCHEDULES

SHEET No.

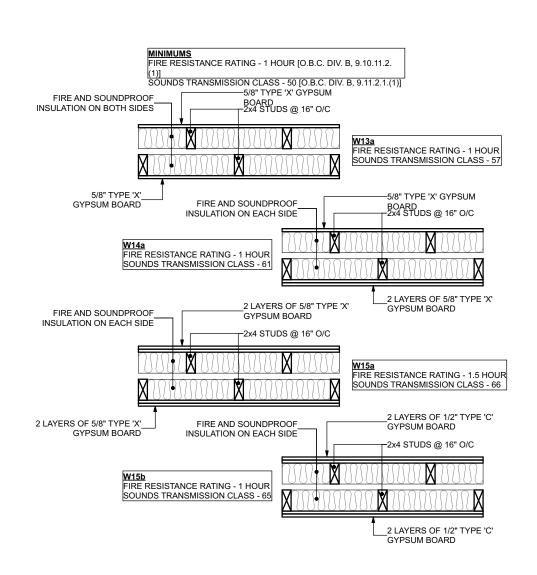
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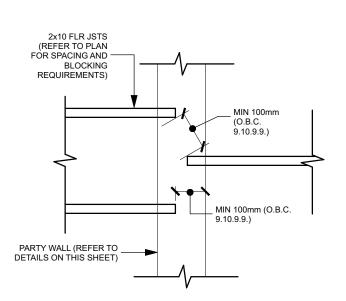
3 OF 5

A3



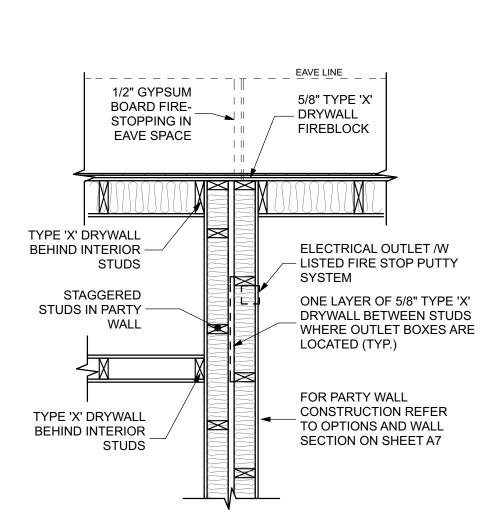
APPROVED PARTY WALL OPTIONS FOR FIRE AND SOUND RESISTANCE

REFER TO O.B.C. SB-3



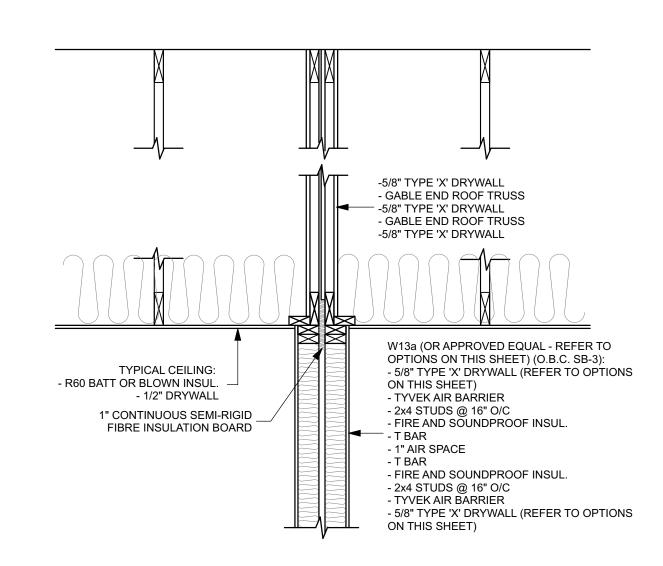
STAGGERED JOIST DETAIL (PLAN VIEW)

SCALE: 3/4" = 1'-0"



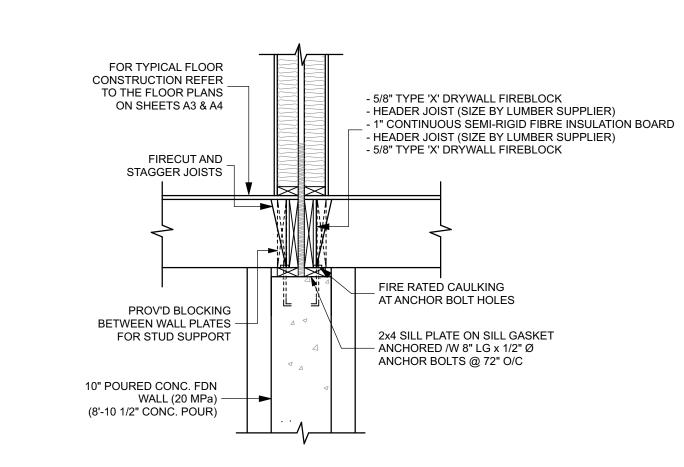
END WALL DETAIL (PLAN VIEW)

SCALE: 3/4" =1'-0"

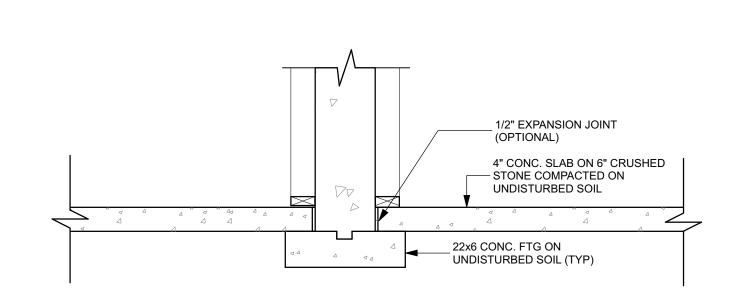


PARTY WALL @ ROOF

SCALE: 3/4" = 1'-0"



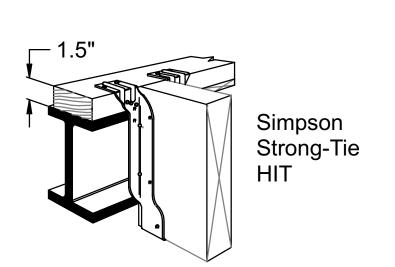
PARTY WALL @ FOUNDATION



PARTY WALL @ FOOTING

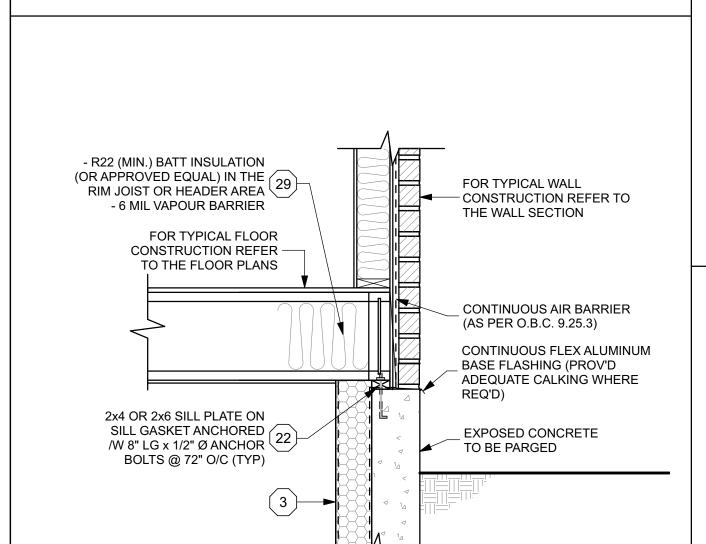
SCALE: 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"



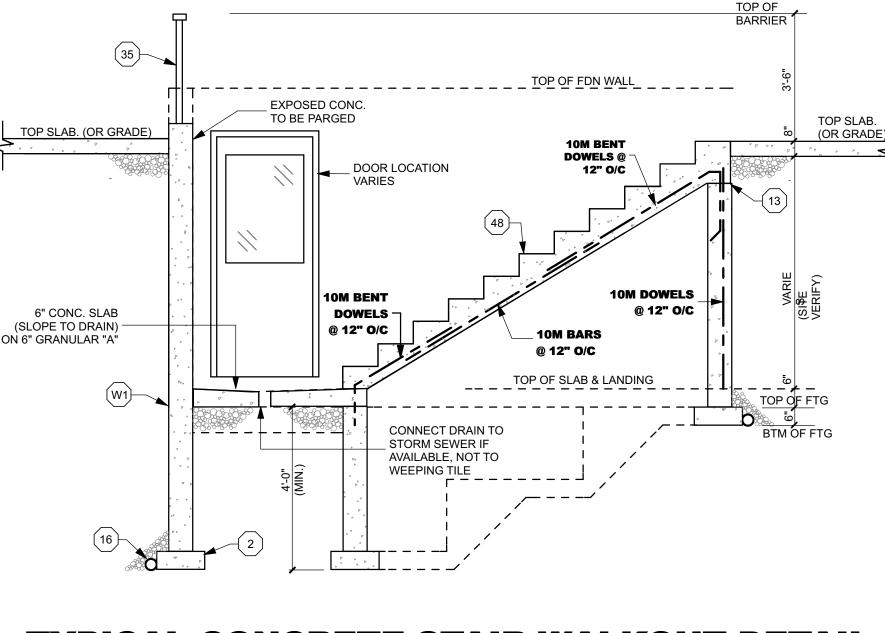
TYPICAL JOIST TO FLUSH BEAM CONNECTION DETAIL

N.T.S.



TYPICAL JOIST TO FOUNDATION CONNECTION DETAIL

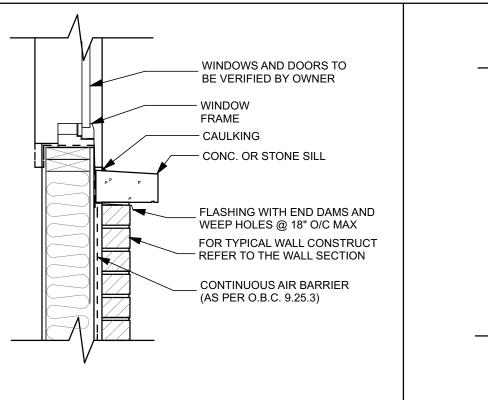
SCALE: 3/4" = 1'-0"



TYPICAL CONCRETE STAIR WALKOUT DETAIL

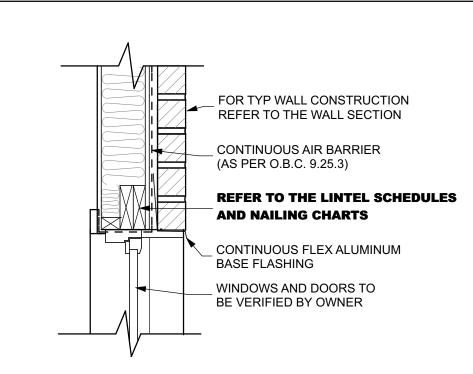
(NOT APPLICABLE UNLESS OTHERWISE NOTED)

SCALE: 3/8" = 1'-0"



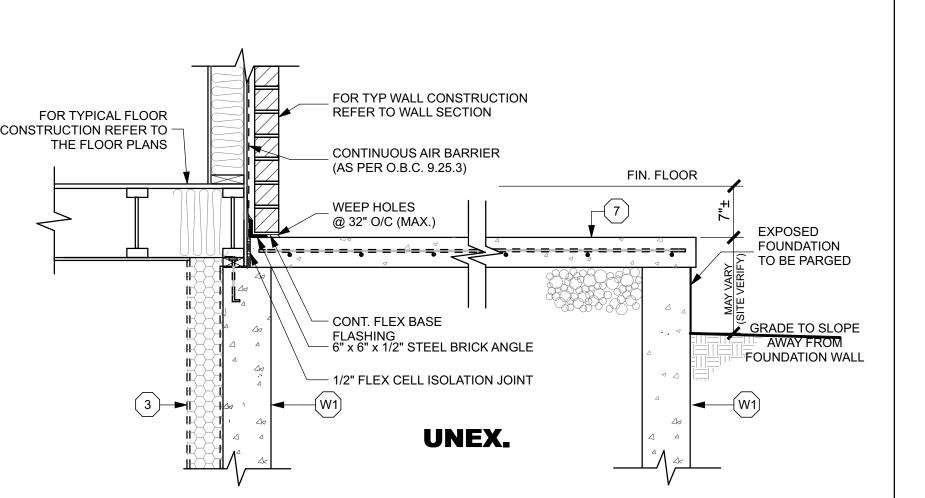
TYPICAL SILL DETAIL

SCALE: 1" = 1'-0"



TYPICAL LINTEL DETAIL

SCALE: 1" = 1'-0"

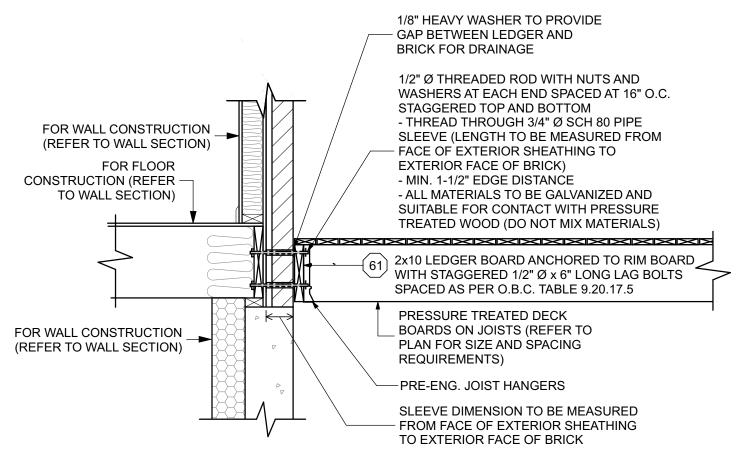


TYPICAL PORCH SLAB DETAIL

SCALE: 3/4" = 1'-0"

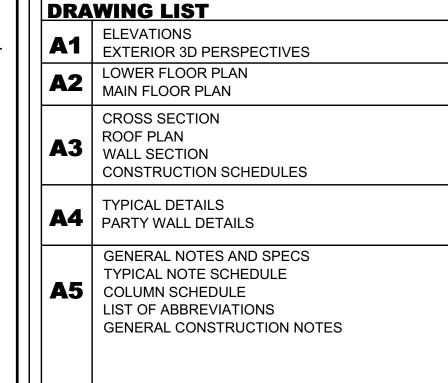
GRAB BAR DETAIL

N.T.S.



TYPICAL DECK CONNECTION @ EXTERIOR MASONRY WALL

N.T.S.



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PROPOSED SEMI-DETACHED

BI-LEVEL

8700 ROOSEVELT AVENUE

CHIPPAWA. ONTARIO

ALL CONSTRUCTION SHALL CONFORM TO PART 9 O

(UP TO AND INCLUDING ALL 2021 AMENDMENTS

PRIOR TO MANUFACTURING.

BUILDER & CONTRACTOR.

6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO

MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER.

8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/

9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY

ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

THE 2012 ONTARIO BUILDING CODE

CERTIFICATION:		PRICING DRAWINGS
1	FEB 8/21	ISSUED FOR PERMIT PURPOSES
NO.	DATE:	REVISION:

NOT TO BE USED FOR CONSTRUCTION ANDRE MIKE

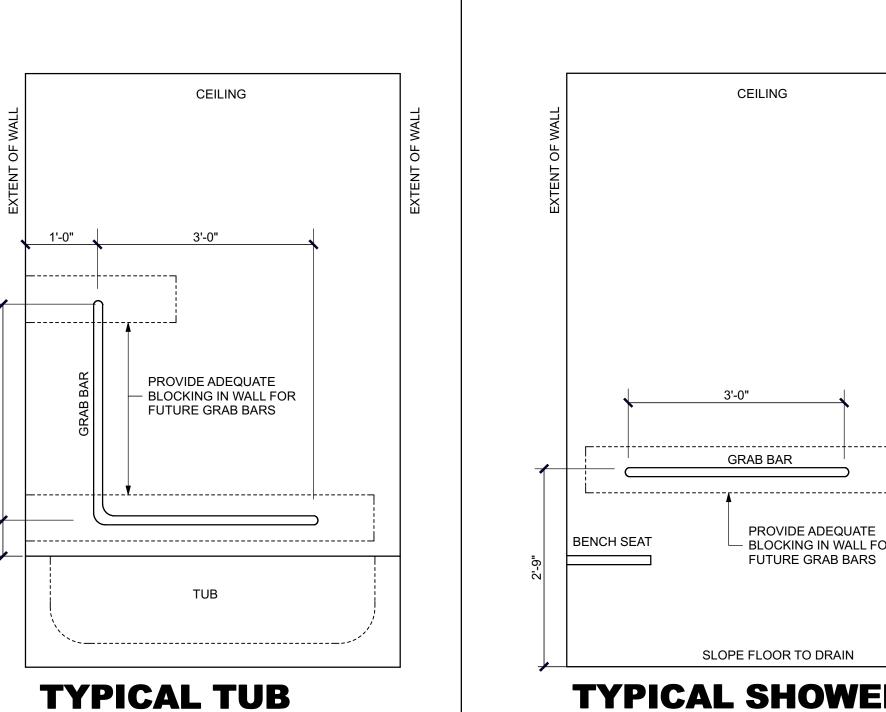
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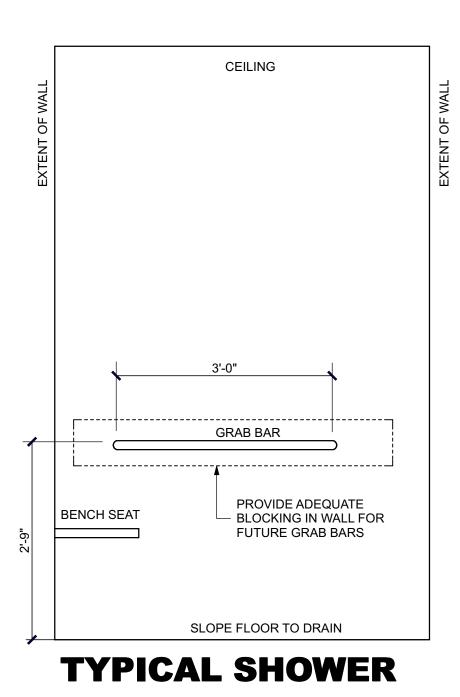
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TYPICAL DETAILS, **PARTY WALL DETAILS**

4 OF 5

A4





GRAB BAR DETAIL N.T.S.

TYPICAL TOILET GRAB BAR DETAIL N.T.S.

CEILING

ADEQUATE

WALL FOR

FUTURE GRAB

GRAB BAR

TOILET

BLOCKING IN

DIVISION 1 GENERAL REQUIREMENTS DIVISION 7 THERMAL AND

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE. ONTARIO REGULATION 413/90 INCLUDING ALL LATEST AMENDMENTS AS WELL AS ANY OTHER CODES OF PROVINCIAL OR LOCAL APPLICATION. AT ALL TIMES MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES OR REFERENCED DOCUMENTS.

AVOID SCALING DIRECTLY FROM THE DRAWINGS. IF THERE IS AMBIGUITY OR LACK OF INFORMATION, INFORM THE CONSULTANT. ANY CHANGE THROUGH THE DISREGARDING OF THIS NOTICE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION.

VERIFY THAT ALL WORK, AS IT PROCEEDS. IS EXECUTED IN ACCORDANCE WITH DIMENSIONS WHICH MAINTAIN POSITION, LEVELS, AND CLEARANCES TO ADJACENT WORK AS SET OUT BY REQUIREMENTS OF THE DRAWINGS. ENSURE THAT WORK INSTALLED IN ERROR IS RECTIFIED BEFORE CONSTRUCTION CONTINUES.

DIVISION 2 SITE WORK

REMOVE ALL TOPSOIL AND VEGETABLE MATTER TO A MINIMUM OF 1'-0" DEEP AND 2'-0" - CONCRETE FOUNDATION WALL (R20 ci) BEYOND THE BUILDING'S PERIMETER.

EXCAVATE FOR FOUNDATIONS AND BUILDING SERVICES TO DEPTHS REQUIRED TO ALLOW FOR PROPER PLACEMENT OF THE WORK, ALL FOOTINGS TO EXTEND TO MINIMUM 4'-0" BELOW FINISHED GRADES (OR AS NOTED ON PLANS) AND TO REST ON UNDISTURBED SOIL OR ROCK. EXCAVATIONS TO BE KEPT FREE FROM STANDING

CRUSHED STONE. FOUNDATION DRAINS TO DRAIN TO A SEWER, DRAINAGE DITCH OR ENVELOPE. DRY WELL BY GRAVITY DRAINAGE OR BY PUMPING.

AFTER THE CONSTRUCTION OF FOOTINGS. PITS. WALLS OR PIERS BACKFILL ALL EXCAVATIONS WITH EXISTING APPROVED GRANULAR MATERIALS TO WITHIN 5" OF UNDERSIDE OF CONCRETE SLAB AND WITHIN 6" OF UNDERSIDE OF NEW EXTERIOR

SLOPE ALL FINISHED GRADES AWAY FROM BUILDING, WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED AND ENSURE PROPER POSITIVE SURFACE DRAINAGE.

DIVISION 3 CONCRETE

CONCRETE FOR UNREINFORCED FOOTINGS AND FOUNDATION WALLS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AFTER 28 DAYS WITH MAXIMUM 4" SLUMP. (20 1.1 P2) STEPPED FOOTINGS TO HAVE A MINIMUM 2'-0" HORIZONTAL DISTANCE BETWEEN STEPS. VERTICAL STEPS TO BE 2'-0" MAXIMUM (SEE 9.15.3.8 O.B.C.) OTHER FOOTINGS SHALL BE 6" THICK MIN. AND MINIMUM 6" PROJECTION BEYOND FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED ON THE DRAWINGS. FOOTINGS TO ADEQUATELY SUPPORT ALL SUPERIMPOSED LOADS WITH A MINIMUM BEARING CAPACITY OF 2500 PSF. FOUNDATIONS WALLS TO EXTEND UP MINIMUM 6" ABOVE FINISHED GRADE. REDUCED FOUNDATION WALLS TO ALLOW BRICK FACING AND MAINTAIN LATERAL SUPPORT. TIE MASONRY TO MINIMUM 4" WIDE X MAXIMUM 8" HIGH CONCRETE UPSTAND WITH DOVE TAIL MASONRY ANCHORS AT 8" OC VERTICALLY AND 3'-0" OC HORIZONTALLY. FILL COLLAR JOINT SOLID WITH MORTAR. PROVIDE 4"x4" BRICK KEY AT TOP OF FOUNDATION WALL. PROVIDE BEAM POCKETS (DENOTED ON PLANS) WHEREVER STEEL BEAMS BEAR ON THE CONC. FOUNDATION

CONCRETE FOR GARAGE SLABS, EXTERIOR STEPS AND EXTERIOR PORCHES TO BE 32 MPa AT 28 DAYS WITH 5% - 7% AIR ENTRAINMENT. OTHER SLABS TO BE MINIMUM 20 MPa AT 28 DAYS. CONCRETE SLABS ON GRADE TO BE MINIMUM 3" THICK AND SET ON MINIMUM 6" CLEAR STONE FILL. GARAGE SLABS ON GRADE TO BE MINIMUM 5" THICK AND REINFORCED WITH 10M REBAR AT 24" OC LOCATED NEAR MID-DEPTH OF THE

HABITABLE ROOMS ON CONCRETE SLAB TO BE DAMP-PROOFED WITH 6 MIL POLYETHYLENE, BASEMENT OPENINGS (WINDOWS) GREATER THAN 3'-11" IN LENGTH OR CONTAINING OPENINGS IN MORE THAN 25% OF ITS LENGTH TO BE REINFORCED AS PER ENG. SPECS (2 - #3 RODS EXTENDS 12" ON EACH SIDE (4'-0" WINDOW))

DIVISION 4 MASONRY

MEMBERS WITH 1"x7"x22 GAUGE, CORRUGATED, CORROSION RESISTANT STRAPS AT INSIDE THE INNER FACE OF THE EXTERIOR WALL. 16" OC HORIZONTAL AND 24" OC VERTICAL.

PROVIDE WEEP HOLES SPACED AT 2'-0" OC AT THE BOTTOM COURSE OF BRICK / STONE AND OVER ALL OPENINGS. PROVIDE 6 MIL BLACK REINFORCED POLYETHYLENE DAMPCOURSE FLASHING EXTENDED UP 6" VERTICAL AT THESE LOCATIONS AND INSERT BEHIND SHEATHING PAPER.

MASONRY CORBELLING TO CONSIST OF SOLID UNITS WITH MAXIMUM 1" PROJECTION PER COURSE AND TOTAL PROJECTION NOT TO EXCEED 1/3 OF WALL THICKNESS.

DIVISION 5 METALS

WALL THICKNESS OF 3/16" FITTED WITH A 4" X 4" X 3/16" STEEL PLATE AT EACH END. WHERE AREA OF SUPPORTED FLOOR EXCEEDS 220 SQ. FT. OR IS FOR TWO FLOORS OR MORE. THE STEEL PIPE COLUMN TO BE A MINIMUM OUTSIDE DIAMETER OF 3 1/2" AND A MINIMUM WALL THICKNESS OF 0.188" WITH A 4"x8'x3/8" PLATES. TOP STEEL PLATE MAY BE OMITTED WHERE COLUMN SUPPORTS A STEEL BEAM BY WELDING, BOLTING OR OTHER APPROVED METHOD. BASE PLATES TO BE SECURED TO DEEP INTO FOOTING OR TO BE POURED IN PLACE WITH THE FLOOR SLAB.

ALL STEEL BEAMS REQUIRE MINIMUM 3 1/2" BEARING AND STEEL ANGLE LINTELS REQUIRE MINIMUM 6" BEARING. PROVIDE 7 1/2" SOLID MASONRY UNDER BEAMS OR

ALL STEEL COLUMNS, STEEL BEAMS AND STEEL ANGLE LINTELS TO BE SHOP PRIMED WITH ONE COAT OF RUST-INHIBITIVE PAINT

STEEL ANGLE LINTEL SCHEDULE - REFER TO LINTEL SCHEDULE

REFER TO LINTEL SCHEDULES **DIVISION 6 WOOD AND PLASTICS**

ALL FLOOR JOISTS AND FRAMING LUMBER TO BE NO. 2 GRADE SPRUCE OR BETTER. ALL WOOD LINTELS OVER OPENINGS TO BE (2)2x10 UNDER DOUBLE TOP PLATE DOUBLE TOP PLATE. STUD WALLS WITHOUT SHEATHING ON BOTH SIDES TO HAVE MID- OR 200 MAXIMUM WHEN P.O.C. DETECTORS ARE INSTALLED. GIRTS. PROVIDE DOUBLE STUDS AROUND OPENINGS AND TRIPLE STUDS IN CORNERS OF LOAD BEARING STUD PARTITIONS.

SILL PLATES TO BE 2x6 ON SILL PLATE GASKET (ETHAFOAM) AND FASTENED ONTO TOP OF POURED CONCRETE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" OC AND EMBEDDED MINIMUM 4" INTO CONCRETE.

LOAD BEARING STUD WALLS PARALLEL TO FLOOR JOISTS TO BE SUPPORTED BY WALLS OR BEAMS OF SUFFICIENT STRENGTH TO SAFELY TRANSFER THE DESIGNED LOADS TO VERTICAL SUPPORTS. WALLS AT RIGHT ANGLES TO FLOOR JOISTS TO BE LOCATED AT MAXIMUM 2'-0" FROM THE JOIST SUPPORT IF SUPPORTING ONE OR MORE FLOORS UNLESS THE JOIST SIZE IS DESIGNED TO ACCOMMODATE SUCH LOADS.

INTERIOR WOOD BEARING WALLS IN BASEMENT TO BE 2x4 AT 16" OC ON 6 MIL POLYETHYLENE AND ANCHORED SECURELY THROUGH ASHLAR COURSE TO CONCRETE FOOTING WITH 3/8" DIAMETER BOLTS AT 7'-0" OC. EXTERIOR STUDS TO BE 2x6 AT 16" OC AND INTERIOR WOOD STUD FIRST FLOOR TO BE 2x4 AT 16" OC EXTERIOR AND INTERIOR WOOD STUD WALLS TO BE 2x4 AT 16" OC. INTERIOR WOOD STUD WALLS AT BASEMENT PERIMETER TO BE 2x4 AT 16" OC.

ALL NON-LOADBEARING WOOD STUD WALLS TO BE 2x4 AT 16" OC. PROVIDE RIBBON BOARDS MINIMUM 1x4 EACH SIDE OF STEEL BEAM FOR LATERAL SUPPORT.

JOISTS TO HAVE A MINIMUM 1 1/2" END BEARING WHEREAS WOOD BEAMS TO HAVE MINIMUM 3 5/8" END BEARING. JOISTS FRAMED INTO THE SIDE OF WOOD BEAMS TO BE SUPPORTED ON METAL JOISTS HANGERS. JOIST HANGERS ARE ALSO REQUIRED WHERE HEADERS, TRIMMERS AND DOUBLE JOISTS FRAME INTO THE SIDE OF OTHER MEMBERS. HEADER JOISTS TO BE DOUBLED WHERE THEY EXCEED 4'-0" IN LENGTH. HEADER JOISTS EXCEEDING 10'-8" IN LENGTH TO BE DETERMINED BY CALCULATION TRIMMER JOISTS TO BE DOUBLED WHEN LENGTH OF HEADER JOISTS EXCEED 2'-8". WHEN HEADER JOIST LENGTH EXCEEDS 6'-8" THE SIZE OF TRIMMER JOISTS TO BE DETERMINED BY CALCULATION. PROVIDE FRAMING OR SOLID BLOCKING AS REQUIRED FOR PROPER LOAD TRANSFER OF POINT LOADS FROM ABOVE.

PROVIDE DOUBLE JOISTS UNDER ALL NON-LOADBEARING PARTITIONS OVER 6'-0" IN LENGTH PARALLEL TO FLOOR JOIST. WHEN SUCH PARTITIONS CONTAIN NO FULL HEIGHT OPENINGS THE JOISTS DO NOT NEED TO BE DOUBLED. DOUBLE JOISTS CAN BE SEPARATED BY MAXIMUM 8" APART BY USING 2x4 SOLID WOOD BLOCKING AT 4'-0" OC. CANTILEVERED FLOOR JOIST SUPPORTING ROOF LOADS HAVE TO EXTEND INWARD AWAY FROM THE CANTILEVERED SUPPORT FOR A DISTANCE EQUAL TO AT LEAST 6 TIMES THE LENGTH OF THE CANTILEVER. JOISTS AND BEAMS TO BE STAGGERED MINIMUM 4" AT PARTY WALL.

OC. WHERE CLEAR SPAN OF FLOOR JOIST IS WITHIN 18" OF MAXIMUM SPAN PERMITTED PROVIDE BRIDGING AT 4'-0" OC.

TYPICAL FLOOR CONSTRUCTION TO CONSIST OF FINISHED FLOORING ON 5/8" TONGUE AND GROOVE SHEATHING ON WOOD FLOOR JOISTS AS INDICATED ON DRAWINGS. PROVIDE MORTAR SCRATCH COAT ON SHEATHING AT LOCATIONS WHERE CERAMIC TILE IS USED ON FLOORS.

TYPICAL ROOF CONSTRUCTION TO CONSIST OF 215 LB., ASPHALT SHINGLES ON 1/2' PLYWOOD SHEATHING WITH H-CLIP EDGE SUPPORTS ON PRE-ENGINEERED WOOD TRUSSES AT 2'-0" OC. BOTTOM CHORD OF TRUSSES TO BE DESIGNED TO SUPPORT CEILING LOADS. TRUSS MANUFACTURER TO CHECK AND VERIFY THAT ALL LOADING AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE WITH THE LOCAL OF ANY DISCREPANCIES THAT MAY AFFECT ROOF LINES AS INDICATED. PROVIDE 2x4 TRUSS BRACING AT 7'-0" OC AT BOTTOM CHORD OR AS PER MANUFACTURER'S

INTERIOR STAIRS TO HAVE A MAXIMUM RISE OF 8", A MINIMUM RUN OF 8 1/4", AND A MINIMUM TREAD WIDTH OF 9 1/4". BASEMENT STAIR TO BE 3'-6" WIDE ROUGH STUD OPENING. STAIR FROM FIRST FLOOR TO SECOND FLOOR TO BE 3'-11" FROM ROUGH STUD FACE TO EXPOSED FACE OF STRINGER. INTERIOR STAIR HEADROOM TO BE MINIMUM 6'-8" AND EXTERIOR STAIR HEADROOM TO BE MINIMUM 6'-9". ONLY ONE SET OF WINDERS ARE ALLOWED BETWEEN FLOORS WITH AN INDIVIDUAL WINDER TREAD OF 30 DEGREES AND MAXIMUM TURN OF 90 DEGREES. LANDING TO BE AS LONG AS THE STAIR WIDTH.

HANDRAILS WITHIN THE DWELLING UNIT TO BE 2'-8" HIGH ABOVE THE NOSING. GUARDRAILS WITHIN THE DWELLING UNIT TO BE 3'-0" HIGH ABOVE THE NOSING. EXTERIOR BALCONY GUARDRAILS TO BE 3'-6" HIGH ABOVE FINISHED BALCONY LEVEL. - A CONDUIT FROM THE PARKING SPACE PROVIDE MAXIMUM 4" SPACE BETWEEN VERTICAL PICKETS AND NO HORIZONTAL MEMBERS BETWEEN 4" OR 3'-0" ABOVE NOSING OR BALCONY LEVEL.

PROVIDE ONE 3/4" THICK X 12" WIDE WOOD SHELF COMPLETE WITH COAT ROD AND BRACKETS AS REQUIRED AT EACH CLOTHES CLOSET LOCATION. PROVIDE FIVE 3/4"

THICK X 18" WIDE WOOD SHELVES AT ALL LINEN CLOSET LOCATIONS.

MOISTURE PROTECTION

CONCRETE FOUNDATION WALLS TO HAVE ALL EXTERIOR TIE HOLES AND RECESSES SEALED WITH MORTAR OR WATERPROOFING MATERIALS. CONCRETE FOUNDATION WALLS TO BE DAMP-PROOFED TO BE COVERED WITH A LIBERAL COAT OF BITUMINOUS MATERIAL. COVE DAMP-PROOFING OVER ALL FOOTING AND OBSTRUCTIONS TO PROVIDE WATERPROOF

PROVIDE SUITABLE FIRE STOPS FOR ALL CONCEALED AREAS AT FLOOR, CEILING, ROOF LEVELS AND AT STAIRS. CLEARANCES BETWEEN CHIMNEYS OR GAS VENTS AND THE ADJOINING CONSTRUCTION WHICH ALLOW AIR LEAKAGE AND HEAT LOSS FROM WITHIN THE BUILDING INTO THE ADJACENT ROOF SPACE IS TO BE SEALED WITH NON-COMBUSTIBLE

MATERIAL TO PREVENT SUCH LEAKAGE. PROVIDE THE FOLLOWING MINIMUM THERMAL RESISTANCE VALUES THROUGHOUT THE

- CEILING BELOW AN ATTIC OR ROOF SPACE (R60) EXTERIOR WOOD FRAMED WALLS ABOVE FOUNDATION (R22)

BUILDING CONSTRUCTION:

PERIMETER INSULATION FOR FOUNDATION WALLS ENCLOSING HEATED AREAS SHALL BE CONTINUOUS R20 BLANKET INSULATION (OR APPROVED EQUAL) COMPLETE WITH INTEGRAL 6 MIL POLYETHYLENE VAPOUR RETARDER.

WALL AND CEILING INSULATION TO BE PROTECTED BY 6 MIL TYPE 1 VAPOUR RETARDANT INSTALLED IN SUCH A MANNER THAT ALL JOINTS OCCUR OVER WOOD FRAMING MEMBERS AND ARE LAPPED MINIMUM 4". ALL PERFORATIONS THROUGH THE VAPOUR RETARDANT THE BOTTOM OF EVERY EXTERIOR FOUNDATION WALL TO BE DRAINED BY DRAINAGE CAUSED BY THE INSTALLATION OF ELECTRICAL OR MECHANICAL ITEMS TO BE TIGHTLY TILE OR PIPE LAID AROUND THE OUTSIDE EDGE OF THE FOOTING THE TOP AND SIDES SEALED USING CAULKING, TAPE OR OTHER APPROVED METHODS OF SEALING IN ORDER TO OF THE DRAINAGE TILE TO BE COVERED WITH A CONTINUOUS 12" THICK LAYER OF MAINTAIN THE INTEGRITY AND CONTINUITY OF THE VAPOUR RETARDANT IN THE BUILDING

EXPOSED FLASHING TO BE 0.013" GALVANIZED STEEL, 0.014" COPPER, 0.018" ZINC OR 0.019" ALUMINUM, CONCEALED FLASHING TO BE F-20 BY LEXSUCO CANADA LTD. OR TYPE 'S' ROLL ROOFING, FLASHING TO BE INSTALLED AT THE FOLLOWING LOCATIONS:

- AT EVERY HORIZONTAL JUNCTION BETWEEN DIFFERENT EXTERIOR FINISHES EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH OPENINGS IN EXTERIOR WALLS WHEN VERTICAL DISTANCE BETWEEN TOP OF OPENING

AND BOTTOM OF EAVES EXCEEDS 1/4 OF HORIZONTAL EAVE OVERHANG BENEATH SANDSTONE AND JOINTED MASONRY WINDOW SILLS OPEN VALLEYS TO BE FLASHED WITH NOT LESS THAN ONE LAYER OF SHEET METAL MINIMUM 2'-0" WIDE WITH A LAYER OF #15 ROOFING PAPER OR FELT UNDERLAY: OR TWO

LAYERS OF ROLL ROOFING, BOTTOM LAYER 55 LB.. MINIMUM NOT LESS THAN 18" WIDE AND

INTERSECTIONS OF ASPHALT SHINGLE ROOF AND MASONRY WALLS OR CHIMNEYS TO BE PROTECTED BY COUNTER FLASHING IMBEDDED A MINIMUM OF 1" INTO THE MASONRY AND EXTENDED NOT LESS THAN 6" DOWN THE MASONRY AND LAP LOWER FLASHING MINIMUM 4". FLASHING ALONG THE SLOPE OF THE ROOF TO BE STEPPED SO THAT THERE IS A MINIMUM OF 3" HEAD LAP IN BOTH LOWER AND COUNTER FLASHING. FLASHING AT THE INTERSECTION OF SHINGLE ROOFS AND CLADDING OTHER THAN MASONRY TO EXTEND UP THE WALL MINIMUM 3" BEHIND SHEATHING PAPER AND MINIMUM 3" HORIZONTALLY. THE INTERSECTION OF SINGLE PLY MEMBRANE ROOFS AND ADJACENT WALL SURFACES TO HAVE A CANT STRIP WITH THE MEMBRANE EXTENDED MINIMUM 6" UP THE WALL AND COUNTER FLASHED OR SET BEHIND THE SHEATHING PAPER. CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER CHIMNEY

SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 2'-6".

ROOF EAVE TO BE FINISHED WITH PRE FINISHED ALUMINUM EAVES TROUGH. FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF EAVES TROUGH OR PART THEREOF AROUND THE PERIMETER OF THE BUILDING. CONNECT DOWN SPOUTS TO THE STORM SEWER SYSTEM OR ONTO GRADE WITH PRE CAST CONCRETE SPLASH PADS TO PREVENT EROSION.

ROOF SPACE VENTILATION TO BE 1/300 OF INSULATED AREA FOR ROOF SLOPES GREATER THAN 2 IN 12 AND 1/150 OF INSULATED AREA FOR ROOF SLOPES LESS THAN 2 IN 12 OR ANY ROOF WHERE AN INTERIOR FINISH IS APPLIED TO THE UNDERSIDE OF THE ROOF RAFTERS. NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WHERE CONTINUOUS RIDGE AND EAVE VENTILATION IS REQUIRED. ALL VENTILATION OPENINGS TO BE PROTECTED FROM THE WEATHER AND INSECTS. VENTS TO BE CONSTRUCTED OF RUST PROOF MATERIAL.

PROVIDE TYPE 'S' ROLL ROOFING OR DOUBLE LAYER OF NO. 15 ASPHALT SATURATED FELTS BRICK & STONE VENEER CONSTRUCTION TO BE TIED BACK TO SOLID WOOD FRAMING AS EAVE PROTECTION AT ALL ROOF EDGES AND EXTEND TO A LINE NOT LESS THAN 12"

> ADEQUATLEY SEALED WITH CAULKING OR APPROVED EQUAL (INCL. BUT NOT LIMITED TO: WHERE THE WALL PLATES MEET THE FLOORS OR TRUSSES. AT SILL PLATES, WHERE THE SLAB MEETS THE FDN WALL, AT WINDOWS & DOORS, ATTIC ACCESSES, VENTS, PLUMBING STACKS, ELECTRICAL SERVICES, TELEPOSTS, ETC.) (REFER TO O.B.C. 9.25).

DIVISION 8 DOORS AND WINDOWS

WINDOW SIZES AND TYPES TO BE AS DENOTED ON PLANS. ALL WINDOWS TO BE DOUBLE GLAZED OR TO INCLUDE REMOVABLE STORM WINDOWS IN ORDER TO MINIMIZE HEAT LOSS AND AIR INFILTRATION. MINIMUM SIZE OF TRANSPARENT OPENINGS FOR HABITABLE ROOMS STEEL PIPE COLUMNS TO BE A MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND A MINIMUM TO BE 10 % OF APPLICABLE FLOOR AREA AND FOR BEDROOMS TO BE 5 % OF APPLICABLE FLOOR AREA, AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL UNOBSTRUCTED OPENING NOT LESS THAN 3.7 SQ. FT. WITH NO WINDOW DIMENSION LESS

DOOR SIZES AND TYPES TO BE AS DENOTED ON PLANS. MAIN ENTRANCE DOOR TO HAVE A THUMB TURN LOCK SET WHICH ALLOWS OPENING THE DOOR FROM THE INSIDE WITHOUT A CONCRETE FOOTINGS WITH MINIMUM TWO 1/2" DIAMETER BOLTS PLACED MINIMUM 4" KEY. ALL GLASS IN SIDE LIGHTS GREATER THAN 20", IN SLIDING PATIO DOORS AND IN STORM DOORS TO BE LAMINATED OR TEMPERED SAFETY GLASS. THE DOOR BETWEEN THE GARAGE AND HABITABLE AREAS TO BE A SOLID CORE EXTERIOR TYPE WITH A SELF CLOSING DEVICE AND TIGHT FITTING WEATHER STRIPPING TO PROVIDE AN EFFECTIVE

BARRIER AGAINST GAS AND EXHAUST FUMES. PROVIDE AN MIN 6" HIGH STEP AT THIS DOOR. PROVIDE ACCESS HATCHES TO CRAWL SPACES OR ATTICS WITH ROOF SPACES MORE THAN 2'-0" HIGH. ACCESS HATCH OPENING TO BE A MINIMUM 20"x28", AND FITTED WITH DOORS OR

ALL WINDOWS SHOWN ON DRAWINGS TO BE AS MANUFACTURED BY PELLA WINDOWS OR AN

COVERS THAT ARE INSULATED AND WEATHER STRIPPED

TYPE: METAL CLAD CASEMENT OR AS NOTED

DIVISION 9 FINISHES

SOUND TRANSMISSION CLASSIFICATION RATINGS BETWEEN DWELLING UNITS TO BE UNLESS OTHERWISE NOTED. ALL LOAD BEARING WOOD STUD PARTITIONS TO HAVE A MINIMUM 45 DECIBELS. FLAME SPREAD RATING OR INTERIOR FINISHES TO BE 150 MAXIMUM

> FINISHED FLOORING IN BATHROOMS, LAUNDRY ROOMS, ENTRANCES, GENERAL STORAGE AREAS AND KITCHENS TO BE RESILIENT TYPE PROVIDING WATER RESISTANCE. REFER TO CONTRACTOR'S SCHEDULE.

ALL EXTERIOR MOLDINGS, TRIMS, PEDIMENTS, PILASTERS, ETC. TO BE AS SUPPLIED BY PENINSULA ARCHITECTURAL DETAILS INC. OR APPROVED EQUAL.

CHIMNEYS TO EXTEND THROUGH UNIT IN FURRED SPACES AND UP THROUGH ROOF CONSTRUCTION A MINIMUM OF 3'-0" ABOVE POINT OF CONTACT WITH ROOF BUT NOT LESS

THAN 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0".

DIVISION 11 EQUIPMENT

DIVISION 10 SPECIALTIES

STOVES. RANGES AND SPACES HEATERS USING SOLID FUELS TO CONFORM TO UNDERWRITERS' LABORATORIES OF CANADA TEST S627-M1983 "STANDARDS FOR SPACE

HEATERS FOR USE WITH SOLID FUELS".

DIVISION 13 SPECIAL CONSTRUCTION

DIVISION 15 MECHANICAL

LOCATION OF WATER METER AND GAS METER TO BE IN ACCORDANCE WITH THOSE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

DUCTWORK IN ATTIC OR ROOF SPACES TO HAVE ALL JOINTS TAPED AND SEALED TO ENSURE THAT DUCTS ARE AIRTIGHT THROUGHOUT THEIR LENGTH

PROVIDE MINIMUM OF 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA FOR EVERY 500 SQ. FT. OF FLOOR AREA IN CRAWL SPACES AND BASEMENTS. PROVIDE MINIMUM 3 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN FINISHED OR HABITABLE AREAS. PROVIDE MINIMUM 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN BATHROOMS. WHEN MECHANICAL VENTILATION IS REQUIRED PROVIDE MINIMUM ONE AIR CHANGE PER HOUR. DISCHARGE EXHAUST DIRECTLY TO OUTDOORS AND PROVIDE BACK FLOW DAMPERS

METAL CHIMNEYS AND VENTS TO BE ULC LABELED, CLASS B FOR GAS-FIRED FURNACES. A METAL CHIMNEY NOT SUPPORTED ON A FOUNDATION TO BE SUPPORTED BY NON-COMBUSTIBLE MATERIAL AND THE SUPPORT TO BE INDEPENDENT OF THE APPLIANCE IT

DIVISION 16 ELECTRICAL

ALL BRIDGING TO BE 2x2 WOOD CROSS BRACING OR SOLID WOOD BLOCKING AT 6'-10" LOCATION OF HYDRO METER AND ELECTRICAL PANEL TO BE IN ACCORDANCE WITH THE

AUTHORITIES HAVING APPROPRIATE JURISDICTION. PROVIDE 3 WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAYS EXCEPT AT UNFINISHED BASEMENTS. PROVIDE A SEPARATE THREE WIRE CIRCUIT WITH NO OTHER OUTLET CONNECTIONS TO EACH DRYER RECEPTACLE, STOVE RECEPTACLE AND AT LEAST THREE SPLIT RECEPTACLES IN EACH KITCHEN. TWO OF THE KITCHEN RECEPTACLES MUST BE INSTALLED ABOVE THE COUNTER LEVEL.

ELECTRICAL SWITCHES, RECEPTACLES, ETC. ON OPPOSITE SIDES OF DEMISING WALL TO BE STAGGERED. ALL WALL MOUNTED EQUIPMENT (I.E. ELECTRICAL SERVICE PANELS) TO BE INSTALLED IN SUCH A MANNER A TO MAINTAIN THE INTEGRITY OF THE DEMISING WALL FIRE

CONDITIONS AND REQUIREMENTS. TRUSS MANUFACTURER TO NOTIFY CONSULTANTS

PRODUCTS OF COMBUSTION DETECTORS TO BE A SINGLE STATION ALARM TYPE SUCH AS AN IONIZATION P.O.C. DETECTOR OR A SPOT TYPE PHOTO ELECTRICAL SMOKE DETECTOR WHICH IS U.L.C. LABELED AND LISTED. DETECTORS TO BE EQUIPPED WITH A VISUAL INDICATOR WHICH DEMONSTRATES THAT THE UNIT IS OPERATIONAL. DETECTORS TO BE PERMANENTLY MOUNTED TO A JUNCTION BOX OR STANDARD ELECTRICAL OUTLET ON THE CEILING AND WIRED TO THE MAIN ELECTRICAL PANEL ON A SEPARATE CIRCUIT. THE DETECTOR IS LOCATED AT THE CEILING LEVEL BETWEEN THE BEDROOMS OR SLEEPING AREAS AND THE REMAINDER OF THE DWELLING UNIT, SUCH AS INDICATED ON THE DRAWINGS. THE DETECTOR TO HOUSE AN ALARM THAT IS AUDIBLE WITHIN THE BEDROOM OR SLEEPING AREAS WHEN INTERVENING DOORS ARE CLOSED.

> NOT LESS THAN 20% OF THE PARKING SPACES SHALL BE PROVIDED WITH THE REQUIREMENTS OUTLINED IN THE BUILDING CODE (O.B.C. DIV. B, 9.34.4) FOR THE FUTURE INSTALLATION OF AN ELECTRICAL CHARGING STATION (LOCATIONS INCLUDED BUT NOT LIMITED TO GARAGE, CARPORT, ADJACENT TO THE DRIVEWAY) - A MINIMUM 200 AMP PANELBOARD

- AN ELECTRICAL BOX IN THE PARKING SPACE

TYPICAL NOTE SCHEDULE

A) 20"x6" CONCRETE FOOTING (20 MPa) | ALL SHOULD BEAR ON UNDISTURBED SOIL

B) 22"x6" CONCRETE FOOTING (20 MPa) C) 24"x6" CONCRETE FOOTING (20 MPa)

INSULATION AROUND INTERIOR PERIMETER OF WALLS BELOW GRADE: - R10 INSULATION (2" RIGID OR APPROVED EQUAL) CONTINUOUS WITH NO THERMAL BREAK

- INSULATION CONTINUOUS FROM JOISTS TO NOT MORE THAN 8" ABOVE THE SLAB - 2x4 STUDS @ 16" O/C WITH R12 (MIN.) BATT (OR APPROVED EQUAL) - 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 1/2" DRYWALL FINISH ON INTERIOR SIDE. OR. 9.25.4) (IF REQ'D) R20 (MIN.) BLANKET INSULATION (OR APPROVED EQUAL) BELOW GRADE - BOTH 'A' AND 'B' ARE INTERCHANGEABLE - CONTINUOUS WITH NO THERMAL BREAK UNLESS NOTED ON THE FLOOR PLANS & ALL

JOINTS SHOULD BE SEALED

- IF FINISHING INTERIOR REFER TO NOTE "W11: BASEMENT EXTERIOR WALL STRAPPING" 4 CONC. (20 MPa) SLAB

- 6 MIL POLY V.B. UNDER SLAB W/ JOINTS LAPPED 12" (MIN.) ON, - 6" CRUSHED STONE COMPACTED ON UNDISTURBED SOIL

<u>5" REINFORCED CONCRETE SLAB (32 MPa)</u> - 10M REBAR @ 8" O/C BOTH WAYS (REFER TO O.B.C. DIV. B, 9.39) - PROVIDE 3" BEARING (MIN.) & ANCHORED TO WALLS WITH 24"x24" 10M BENT DOWELS NOT SPACED MORE THAN 24" O/C

<u>5" CONCRETE SLAB ON GRADE (32 MPa) (GARAGE)</u> - 6"x6"x #6/6 WELDED WIRE MESH

- 8" CLEAR CRUSHED STONE - REMOVE TOPSOIL PER O.B.C. DIV. B, 9.12.1.1. - SLOPE TO GARAGE DOOR 5" CONCRETE SLAB ON GRADE (32 MPa)

 4" (MINIMUM) CLEAR CRUSHED STONE - REMOVE TOPSOIL PER O.B.C. DIV. B, 9.12.1.1. BLOCKING BETWEEN STUDS FOR FUTURE INSTALLATION OF GRAB BARS FOR WATER CLOSETS, BATHTUBS AND SHOWERS (O.B.C. DIV. B, 9.5.2.3 (1)) - IF NO WALL IS PRESENT DUE TO DESIGN CONSTRAINTS THEN LEAVE SPACE FOR INSTALLATION OF A FUTURE WALL FOR THE GRAB BAR

WINDOW WELL - GALVANIZED STEEL OR APPROVED EQUAL

- 6x6x #6/6 WELDED WIRE MESH

- REFER TO TYPICAL DETAILS

- ADEQUATE DRAINAGE WHERE REQUIRED - PROV'D COVER OR GRATE AT OR ABOVE GRADE LEVEL IF REQ'D (INSTALLED AS PER MANUF. SPECS) - IF WINDOW IS USED FOR EGRESS: ENSURE THE COVER IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS [O.B.C. DIV. B, 9.9.10.1.(1)] DEPRESS CONCRETE FOR OPENING ABOVE (REFER TO PLAN FOR SIZE)

13) DEPRESS CONCRETE FOUNDATION WALL FOR CONCRETE STAIR BEARING - REFER TO TYPICAL CONCRETE STAIR WALKOUT DETAIL WHEN APPLICABLE SUMP PUMP (SITE VERIFY LOCATION):

- REFER TO GRADING PLAN FOR DISCHARGE LOCATION PRIOR TO CONCRETE POUR - PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION

REFER TO GRADING PLAN FOR LOCATION PRIOR TO CONCRETE POUR 16) 4" Ø WEEPING TILE WITH 6" (MINIMUM) GRANULAR STONE COVER 7) PRE-FINISHED AIR VENT(S) WITH RAIN & INSECT SCREEN 4" Ø FLOOR DRAIN WITH COVER (SITE VERIFY LOCATION):

- PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION 4" DEEP BEAM POCKET (GROUTED) - SITE VERIFY WIDTH AND HEIGHT TO SUIT BEAM

 $2)\overline{2x4}$ or 2x6 SILL PLATE ON SILL GASKET ANCHORED WITH 8" LONG X 1/2" Ø ANCHOR BOLTS @ 72" O/C - 5/8" TONGUE AND GROOVE PLYWOOD SUBFLOOR GLUED AND SCREWED TO FLOOR JOISTS

- PROVIDE SLEEVE THROUGH CONCRETE WITH ADEQUATE SEAL WHERE REQUIRED

- REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS

25) FLUSH MOUNT JOISTS OR TRUSSES (REFER TO PLAN) TO BEAM USING PRE-ENG. HANGERS 26 LOAD BEARING WALL ABOVE, JOISTS TO CARRY LINE LOAD (LUMBER SUPPLIER TO VERIFY)

CANTILEVERED FLOOR IN CLOSET ABOVE - GASPROOF & INSULATE AT UNDERSIDE OF FLOOR - FOR ADDITIONAL BEARING FRAME 2x4 WALL UNDER CANTILEVERED FLOOR & PROVIDE 6" THICKENED SLAB

PROVIDE R22 (MIN.) BATT INSULATION (OR APPROVED EQUAL) IN THE RIM JOIST OR HEADER AREA [REFER TO O.B.C. SB-12, 3.1.1.1.(14)] AND 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4) ON WARM SIDE OF INSULATION EXPOSED FLOOR SYSTEM: - 5/8"TONGUE & GROOVE PLYWOOD SHEATHING

- 6 MIL POLY VAPOUR BARRIER (TO TIE INTO ADJOINING WALL ASSEMBLIES) - FLOOR JOISTS (REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS) - R32 (MIN.) INSULATION (BATT OR APPROVED EQUAL) (SPRAY FOAM RECOMMENDED) - AIR BARRÍER (CONTINUOUS AND TIED INTO ADJOINING WALL/FLOOR ASSEMBLIES)

- 1x3 STRAPPING @ 16" O/C - PRE-FINISHED ALUMINUM SOFFIT OPTIONAL REQUIREMENTS FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING: - PROV'D A CONDUIT DIRECTLY FROM THE ELECTRICAL PANEL INTO THE PARKING AREA THAT, IS NOT LESS THAN 1" TRADE SIZE AND IS EQUIPPED WITH THE MEANS TO ALLOW CABLES TO BE PULLED THROUGH AND,

- AN ELECTRICAL OUTLET BOX IN THE PARKING AREA THAT IS 4-11/16" TRADE SIZE BOTH SHALL PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST AND BE INSTALLED IN ACCORDANCE WITH ELECTRICAL CODES 33 BRICK OR STONE SKIRT: - BRICK OR STONE SKIRT WALL (REFER TO PLAN FOR HEIGHT) WITH 4" CONCRETE OR STONE SILL

- PROVIDE CAULKING, FLASHING & TIES WHERE REQUIRED - REFER TO "W5: WALL CONSTRUCTION (BRICK/STONE)" NOTE FOR TYPICAL CONSTRUCTION (34) HANDRAIL AND/OR GUARD AT STAIRS OR RAMP - WHERE SIDE IS PROTECTED BY WALL REFER TO O.B.C. DIV. B, 9.8.7 FOR HANDRAIL REQUIREMENTS

OTHERWISE REFER TO O.B.C. DIV. B, 9.8.8 FOR GUARD REQUIREMENTS - HEIGHT: 36" IF AGAINST A WALL OR 42" IF GUARD REQUIRED - PROV'D 2" CLEARANCE FROM WALL WITH NO MORE THAN 4" PROJECTED INTO REQUIRED STAIR WIDTH

GUARD (RAILING OR HALF WALL - REFER TO PLAN) (O.B.C. DIV. B, 9.8.8) - MINIMUM 42" HEIGH - NO OPENING IN RAILING/GUARD CAN PERMIT THE PASSAGE OF A SPHERICAL OBJECT 4" Ø OR LARGER

- NO MEMBER OF THE RAILING BETWEEN 5.5" AND 36" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE DESIGNED TO FACILITATE CLIMBING 36 INSULATED SELF-CLOSING DOOR WITH WEATHER-STRIPPING GAS PROOF WALLS AND CEILING IN GARAGE WITH 1/2" TYPE 'X' GYPSUM BOARD

- PROVIDED R22 INSULATION - TAPE AND SEAL ALL JOINTS GAS TIGHT

(38) BASE & SHOE (WHERE REQUIRED) TROOF CONSTRUCTION

- ASPHALT SHINGLES

- 3/8" PLYWOOD SHEATHING WITH "H" CLIPS - PRE-ENG. ROOF TRUSSES @ 24" O/C

**P. ENG. TO VERIFY INCLUDED DETAIL

ROOF VENTS (O.B.C. DIV. B, 9.19.1.2): - 1/300 SQUARE FEET OF INSULATED CEILING AREA OR, 1/150 WHERE ROOF SLOPE IS LESS THAN 1:6

TYPICAL CEILING: - R60 (MIN.) BATT OR BLOWN INSULATION (OR APPROVED EQUAL) - 6 MIL VAPOUR BARRIER AS PER O.B.C. DIV. B, 9.25.4

- 5/8" DRYWALL PROVIDE DROPPED CEILING IN THIS AREA - R31 INSULATION (MINIMUM) [BATT OR APPROVED EQUAL WITH SPRAYED FOAM INSULATION OPTIONAL BUT RECOMMENDED]

- PROVIDE HEAT DUCT & COLD AIR RETURN INTO VOID ATTIC ACCESS (O.B.C. DIV. B, 9.19.2) (SITE VERIFY LOCATION) - MINIMUM 20"x28"

- PROVIDE R20 INSULATION & WEATHER STRIPPING (44) ASPHALT EAVE PROTECTION AS PER O.B.C. DIV. B, 9.26.5 45) 1 1/2" AIR SPACE VENTS (BAFFLE) AT EVERY TRUSS FOR REQUIRED VENTILATION CLEARANCE

46) PRE-FINISHED ALUMINUM EAVESTROUGH ON 2x6 CAPPED ALUMINUM FASCIA BOARD (47) PRE-FINISHED PERFORATED ALUMINUM SOFFIT WITH INSECT SCREEN 48 STAIR WALKOUT(CAST-IN-PLACE CONCRETE STEPS): - RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE OR 11" RUN W/ NO NOSING

49 CAST-IN-PLACE STEPS: - RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE OR 11" RUN W/ NO NOSING - ANCHORED TO CONCRETE WALL & ON 10" GRANULAR BASE ON UNDISTURBED SOIL (SITE VERIFY DIMS) STEP(S) (O.B.C. DIV. B, 9.8):

THE STEP(S) SHOWN ON PLAN ARE AN ESTIMATE AND MAY NOT REFLECT ACTUAL SITE CONDITIONS. AFTER FINISHED SLAB/GRADE IS COMPLETE, SITE VERIFY NUMBER OF STEPS REQUIRED BASED ON THE FOLLOWING DESIGN REQUIREMENTS - WOOD, CONCRETE OR APPROVED EQUAL, - RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE - PROVIDE A LANDING (DESIGNED AS PER O.B.C DIV. B, 9.8.6) **EXCEPT WHERE**; - IN A DWELLING UNIT. THE DOOR AT THE TOP OF A STAIR SWINGS AWAY FROM THE STAIR. OR

- IN AN ATTACHED GARAGE OR SECONDARY ENTRANCE, THE STAIR HAS NO MORE THAN 3 RISERS & THE DOOR AT THE TOP SWINGS AWAY PROVIDE HANDRAILS (SEE NOTE 34) EXCEPT WHERE; - INTERIOR STAIRS, HAVE NO MORE THAN 2 RISERS, OR EXTERIOR STAIRS, HAVE NO MORE THAN 3 RISERS - PROVIDE GUARDS (SEE NOTE 35) WHERE THE DIFFERENCE BETWEEN SURFACES IS MORE THAN 1'-11"

- BOTTOM TO BEAR ON PATIO STONE OR CONCRETE SLAB (52) $\overline{5/4}$ " PRESSURE TREATED DECK PLANKS WITH 3/16" BETWEEN AND SLOPED AWAY FROM HOUSE 1/4" PER FOOT (MIN) 53 REQUIRED HEIGHT OVER STAIRS (O.B.C. DIV. B, 9.8.2.2(1)):

- 6'-5" MINIMUM (SLANT JOISTS IF NEEDED) 54) GAS FIREPLACE: - PROVIDE DIRECT VENT AS PER O.B.C. DIV. B, 9.22.10.2 5) PROVIDE SEPARATE DIRECT VENTS FOR FURNACE. HOT WATER TANK. H.R.V., DRYER AND EXHAUST HOOD 56] MAINTAIN R20 (MIN.) INSULATION ABOVE THE INSIDE SURFACE OF WALL (SPRAY FOAM IF REQUIRED) (REFER TO SB-12 SECTION 3.1.1.8)

FLAT ROOF: PROVIDE BITUMINOUS MEMBRANE & FLASHING AS PER O.B.C. (SLOPE 1/4" = 1'-0" (MINIMUM) AWAY FROM HOUSE OR TO PROVIDED DRAIN) - 5/8" T&G PLYWOOD SHEATHING - ROOF JOISTS / TRUSSES (REFER TO PLAN FOR SPACING AND BRACING REQUIREMENTS)

62 4" EXTERIOR MASONRY CHASE IN FOUNDATION WALL (O.B.C. DIV. B, 9.15.4.7):

NOTED LOCATION OR CENTER OF ANY COFFERED CEILING PANELS

58) INSULATED METAL DOOR WITH WEATHER STRIPPING 59]|110V INTERCONNECTED SMOKE ALARM COMPLETE WITH REQUIRED VISUAL COMPONENT (I.S.A.) (AS PER O.B.C. DIV. B, 9.10.19) 60) 110V INTERCONNECTED SMOKE & CARBON MONOXIDE ALARM C/W REQUIRED VISUAL COMPONENT (I.S.C.A.) (AS PER O.B.C. DIV. B. 9.10.19 & 9.33.4)

- FACING SHALL BE TIED TO FOUNDATION WITH METAL TIES SPACED 8" VERTICALLY AND 36" HORIZONTALLY AND.

61 LEDGER BOARD (REFER TO PLAN FOR LUMBER SIZE): - ANCHORED TO RIM BOARD OR STUDS WITH STAGGERED 1/2" Ø LAG BOLTS SPACED AS PER THE INCLUDED TABLE - PROVIDE CONTINUOUS FLASHING WITH DRIP EDGE AS PER THE O.B.C. **P. ENG. TO VERIFY WHEN ANCHORED TO A WALL WITH AN EXTERIOR MASONRY FINISH, REFER TO INCLUDED DETAIL

- GROUT SPACE BETWEEN FACING AND FOUNDATION SOLID TO TOP OF FOUNDATION WALL - SITE VERIFY HEIGHT (REFER TO GRADING PLAN) 63 SPACE TRUSSES ADEQUATELY TO NOT INTERFERE WITH THE CEILING PENETRATION OF ANY FIXTURES (LIGHTING, SOLAR TUBES, ETC.) AT THE **WALL SCHEDULE**

DELTA-MS WATER DRAINAGE & DAMPPROOF SYSTEMS ON THE EXTERIOR OF

A) 8" POURED CONCRETE (20 MPa) FOUNDATION WALL B) 10" POURED CONCRETE (20 MPa) FOUNDATION WALL

C) 12" POURED CONCRETE (20 MPa) FOUNDATION WALL CONTINUOUS AIR BARRIER REQUIRED FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. DIV. B, 9.25.3)

- 2x4 OR 2x6 STUDS @ 16" O/C WITH 1/2" DRYWALL ON BOTH SIDES - PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS /FUTURE

INTERIOR LOAD BEARING WALL: 2x4 OR 2x6 STUDS @ 16" O/C WITH 1/2" DRYWALL ON BOTH SIDES - PROVIDE ADEQUATE BLOCKING @ MIDPOINT - PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS

INTERIOR LOAD BEARING WALL WITH FOOTING: - 2x4 @ 16" O/C STUDS ON 1 COURSE 4" ASHLAR & 16"x6" CONCRETE FOOTING OR, - 2x6 @ 16" O/C STUDS ON 1 COURSE 6" ASHLAR & 18"x6" CONCRETE FOOTING

(ALL SHOULD CONTAIN ADEQUATE BLOCKING @ MIDPOINT) WALL CONSTRUCTION (BRICK/STONE): - 4" FACE BRICK / STONE FINISH - STAINLESS STEEL TIES @ 16" O/C HORIZONTAL 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM WITH RAIN & INSECT SCREEN

> 1" AIR SPACE TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL) AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3)

- 7/16" ASPENITE SHEATHING - 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C - R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS) - 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4)

- 1/2" DRYWALL WALL CONSTRUCTION (SIDING) VINYL OR BOARD AND BATTON SIDING FINISH TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL)

AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) - 7/16" ASPENITE SHEATHING - 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

- 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4) - 1/2" DRYWALL WALL CONSTRUCTION (STUCCO):

- STUCCO FINISH 2 COATS CEMENT PARGING ON FIBREMESH - 1" STYROFOAM INSULATION

- TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL) AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) - 7/16" ASPENITE SHEATHING - 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C - R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

WALL CONSTRUCTION (DOUBLE STUCCO 2x4 OR 2x6 STUDS (REFER TO PLAN) @ 16" O/C EACH SIDE OF STUD: 2 COATS CEMEMT PARGING ON FIBREMESH

- 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4)

- STAINLESS STEEL TIES @ 16" O/C HORIZONTAL

- 7/16" ASPENITE SHEATHING WALL CONSTRUCTION (DOUBLE BRICK/STONE): 2x4 OR 2x6 STUDS (REFER TO PLAN) @ 16" O/C EACH SIDE OF STUD: - 4" FACE BRICK / STONE FINISH

- 7/16" ASPENITE SHEATHING

EW1a (O.B.C. SB-3) - 1 HOUR FRR

- 1" STRYOFOAM INSULATION

- 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM WITH RAIN & INSECT SCREEN - 1" AIR SPACE · 7/16" ASPENITE SHEATHING WALL CONSTRUCTION (BRICK/STONE VENEER):

BRICK / STONE VENEER FINISH WITH VENEER MORTAR (OR APPROVED EQUAL) AS PER MANUFACTURERS SPECIFICATIONS TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL) AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB (AS PER O.B.C. 9.25.3) - FLASHING AS PER O.B.C. AND MANUFACTURERS SPECIFICATIONS

- 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS) - 6 MIL VAPOUR BARRIER (AS PER O.B.C. DIV. B, 9.25.4)

BASEMENT EXTERIOR WALL STRAPPING: 2x4 STUDS @ 16" O/C WITH 1/2" DRYWALL ON INTERIOR SIDE - WHEN ABOVE GRADE AT KNEE WALLS PROVIDE R12 INSULATION (BATT OR APPROVED EQUAL) - PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS /FUTURE (OPTIONAL INTERIOR FINISH IF NOTE "3A: R20 CONTINUOUS INSULATION PROVIDED") (REFER TO PLAN) <u> EXTERIÒR FIRE RATED WALL ASSEMBLY - MINIMUM 1 HOUR FIRE RESISTANCE RATING (FRR)</u>

- EXTERIOR FINISH: MASONRY OR SIDING: NON-COMBUSTIBLE OR STUCCO: NO FOAM INSULATION, WIRE MESH ATTACHED TO NON COMBUSTIBLE SHEATHING FIREPROOF INSULATION (MINERAL FIBRE PROCESSED FROM ROCK OR SLAG) BETWEEN STUDS AS PER O.B.C. - 1 LAYER 5/8" TYPE 'X' INTÉRIOR DRYWALL FINISH INTERIOR FIRE RATED WALL ASSEMBLY - MINIMUM 1 HOUR FIRE RESISTANCE RATING (FRR) AND 50 SOUND TRANSMISSION CLASS (STC) RATING ALL VERSIONS SHOULD HAVE FIREPROOF INSULATION (MINERAL FIBRE PROCESSED FROM ROCK OR SLAG) BETWEEN STUDS AS PER O.B.C.

REFER TO NOTES ON THIS SHEET FOR TYPICAL WALL CONSTRUCTION BASED ON THE FINISH AND SUBSTITUTE THE FOLLOWING REQUIREMENTS:

W6d (O.B.C. SB-3) - 1 HOUR FRR (LOADBEARING) OR 1.5 HOUR FRR (NON-LOADBEARING) / 55 STC - 2x4 STUDS @ 16" O/C - RESILIENT METAL CHANNELS @ 24" O/C ON 1 SIDE (SITE VERIFY) - 2 LAYERS OF 1/2" TYPE 'X' GYPSUM BOARD ON EACH SIDE OF STUD WALL

W6h (O.B.C. SB-3) - 1 HOUR FRR (NON-LOADBEARING) / 52 STC<u>(NOT TO BE USED WHERE LOAD BEARING REQUIRED</u> - 2x4 STUDS @ 16" O/C - RESILIENT METAL CHANNELS @ 24" O/C ON 1 SIDE (SITE VERIFY)

- 2 LAYERS OF 1/2" REGULAR GYPSUM BOARD ON EACH SIDE OF STUD WALI

<u> EXTERIOR FIRE RATED WALL ASSEMBLY - MINIMUM 45 MINUTE FIRE RESISTANCE RATING (FRR)</u> REFER TO NOTES ON THIS SHEET FOR TYPICAL WALL CONSTRUCTION BASED ON THE FINISH AND SUBSTITUTE THE FOLLOWING REQUIREMENTS: - ALL VERSIONS SHOULD HAVE FIREPROOF INSULATION (MINERAL FIBRE PROCESSED FROM ROCK OR SLAG) BETWEEN STUDS AS PER O.B.C. WHEN A COMBINATION OF EXTERIOR FINISHES IS SHOWN USE THE MOST RESTRICTIVE VERSION WHERE SIDING FINISH IS SHOWN - EW1b (O.B.C. SB-3) - 45 MINUTE FRR

- 1 LAYER 1/2" TYPE 'X' INTERIOR DRYWALL FINISH (OPTIONAL EW1c, 2 LAYERS OF REGULAR 1/2" GYPSUM BOARD) WHERE STUCCO FINISH IS SHOWN - EW1b (O.B.C. SB-3) - 45 MINUTE FRR - NO FOAM INSULATION ALLOWED ON EXTERIOR, FASTEN WIRE MESH DIRECTLY TO SHEATHING - 1 LAYER 1/2" TYPE 'X' INTERIOR DRYWALL FINISH (OPTIONAL EW1c, 2 LAYERS OF REGULAR 1/2" GYPSUM BOARD) WHERE MASONRY CLADDING IS SHOWN - EW1d (O.B.C. SB-3) - 45 MINUTE FRR - 1 LAYER 1/2" REGULAR INTERIOR DRYWALL FINISH

COLUMN SCHEDULE 1. 3.5" Ø x 0.188 H.S.S. COLUMN - 4x4x1/2 TOP PLATE

ALUM. = ALUMINUM

BSMNT = BASEMENT

CLG HT = CEILING HEIGHT

BLKG = BLOCKING

- 4x8x1/2 BASE PLATE WITH 2-5/8"x10" ANCHOR BOLTS

- 36"x36"x16" CONCRETE FOOTING (UNLESS OTHERWISE NOTED) DECORATIVE COLUMN (REFER TO PLAN FOR SIZE)

D.J. OR DBL JST = DOUBLE JOIST

EXH FAN OR E.F. = EXHAUST FAN

CLG TRANS. = CEILING TRANSITION I.S.C.A. = INTERCONNECTED SMOKE P.L.A. = POINT LOAD ABOVE

"DO" = DITTO

INTERIOR DECORATIVE STRUCTURAL COLUMN (REFER TO PLAN FOR SIZE) 6x6 STRUCTURAL WOOD POST (OR APPROVED EQUAL) WITH OR WITHOUT DECORATIVE SURROUND (REFER TO PLAN FOR SIZE) ANCHORED TO SLAB / DECK / PIER 6x6 STRUCTURAL WOOD POST (OR APPROVED EQUAL) WITH DECORATIVE SURROUND ON THE PEDESTAL (REFER TO PLAN FOR SIZES) ANCHORED TO SLAB TRIPLE STUD (REFER TO PLAN FOR SIZE) WOOD POST ON 36"x36"x16" POURED CONCRETE PAD FOOTING (UNLESS OTHERWISE NOTED)

- FOR COLUMN, TOP AND BOTTOM PLATES & CONCRETE PAD FOOTING SIZES REFER TO ENGINEERED DRAWINGS MATCHING PROJECT IN THIS TITLE BLOCK LIST OF TYPICAL ABBREVIATIONS:

BTM = BOTTOM STL BM = STEEL BEAM FDN = FOUNDATION N.T.S. = NOT TO SCALE CANT'L = CANTILEVERED FIN. FLR = FINISHED FLOOR O.B.C. = ONTARIO BUILDING CODE SOG = SLAB ON GRADE CATH. CLG = CATHEDRAL CEILING FL. = FLUSH O/C = ON CENTER SQ. FT = SQUARE FOOTAGE OR SQUARE COL. = COLUMN FTG = FOOTING P.E.B. = PRE-ENGINEERED BEAM FOOT CONT. = CONTINUOUS HSS = HOLLOW STRUCTURAL STEEL P.E.H. = PRE-ENGINEERED HEADER TYP. = TYPICAL CONC. = CONCRETE H.W.T. = HOT WATER TANK T.J. OR TRPL JST = TRIPLE JOIST PRF FIN = PRF-FINISHED COV. = COVERED H.R.V. = HEAT RECOVERY VENTILATOR PROVID = PROVIDE OR PROVIDED UNEX. = UNEXCAVATED

MTL = METAL

I.S.A. = INTERCONNECTED SMOKE ALARM REQ'D = REQUIRED

RFTR = RAFTER

UNFIN. = UNFINISHED

V.B. = VAPOUR BARRIER

S.C.L. = STRUCTURAL COMPOSITE LUMBER

L.V.L. = LAMINATED VENEER LUMBER

DBL PLT = DOUBLE PLATE & CARBON MONOXIDE ALARM REINF. = REINFORCED W.W.M. = WELDED WIRE MESH **GENERAL CONSTRUCTION NOTES:** - STEEL BEAMS SUPPORTING NON-UNIFORM LOADS (POINT LOADS, BRICK LOADS, ETC.) AND THE SUPPORTING STEEL POSTS & CONCRETE PADS SHALL BE SIZED BY A PROFESSIONAL

- KITCHEN LAYOUT TO BE VERIFIED BY KITCHEN DESIGNER / MANUFACTURER ALL COOKING APPLIANCES AND LAUNDRY SPACES SHALL BE SUPPLIED WITH AN ELECTRICAL OUTLET, NATURAL GAS LINE OR PROPANE LINE THE FURNACE SHALL HAVE A BRUSHLESS DIRECT CURRENT MOTOR (AS PER O.B.C. DIV. B, 12.3.1.5 (2))

INSUL. = INSULATION OR INSULATED PT = PRESSURE TREATED

PROVIDE ICE AND WATER SHIELD AT ALL FLAT ROOF, DORMER, VALLEY, ROOF CRICKET AND HIP ROOF CONNECTIONS PROVIDE 5" CONTINUOUS EAVESTROUGH TO DRAIN POSITIVELY TO RAIN WATER DOWNSPOUTS LOCATED AS PER O.B.C. REQUIREMENTS & LOCAL MUNICIPAL DRAINAGE BYLAWS WALLS, FLOORS AND CEILINGS THAT SEPARATE CONDITIONED SPACES FROM UNCONDITIONED SPACES SHALL BE CONSTRUCTED SO TO INCLUDE AN AIR BARRIER SYSTEM THAT SHALL - THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT AND ALL PENETRATIONS MUST BE SEALED AIRTIGHT (O.B.C. DIV. B, 9.25.3 & SB-12)

- ALL PENETRATIONS AND JOINTS BETWEEN HEATED AND UNHEATED SPACES SHALL ADEQUATELY SEALED WITH CAULKING OR APPROVED EQUAL (INCLUDING BUT NOT LIMITED TO:

WHERE THE WALL PLATES MEET THE FLOORS OR TRUSSES, AT SILL PLATES, WHERE THE SLAB MEETS THE FOUNDATION WALL, AT WINDOWS & DOORS, ATTIC ACCESSES, VENTS, PLUMBING STACKS, ELECTRICAL SERVICES, TELEPOSTS, ETC.) (REFER TO O.B.C. DIV. B, 9.25) - ALL PENETRATIONS THROUGH SLAB (IE. WHERE THE SLAB MEETS THE FOUNDATION WALL, TELEPOSTS, PLUMBING DRAINS, ETC.) SHALL BE ADEQUATELY SEALED FOUNDATION WALLS TO BE ENGINEERED IF THE TOTAL LENGTH OF ALL OPENINGS EXCEED 25% OF THE TOTAL WALL LENGTH OR IF ANY OPENING EXCEEDS 47" - EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE SUPPORTED ON CONCRETE WALLS OR PIERS (MINIMUM 6" IN CROSS SECTION) OR CANTILEVERED FROM THE MAIN FOUNDATION WALL (AS PER O.B.C. DIV. B. 9.8.9.2)

- ALL STAIRS SHALL CONFORM TO O.B.C. DIV. B, SECTION 9.8: - RISE / RUN DIMENSIONS - SECTION DIV. B, 9.8.2, LANDINGS - SECTION DIV. B, 9.8.6, HANDRAILS - SECTION DIV. B, 9.8.7 - ROOF & GIRDER TRUSS LOCATION TO BE VERIFIED BY ROOF MANUFACTURER - L.V.L. AND S.C.L. BEAMS AND POSTS TO BE VERIFIED BY THE LUMBER SUPPLIER

ELECTRICAL LAYOUT TO BE VERIFIED ON SITE BY OWNER/BUILDER & CONTRACTOR

- WOOD I-JOISTS SHALL HAVE ADEQUATE BLOCKING AT ALL SUPPORTS (LUMBER SUPPLIER TO VERIFY) - ALL EXTERIOR WOOD TO BE PRESSURE TREATED - PROVIDE ADEQUATE CAPPING AND WEATHER-PROOFING AROUND ALL EXTERIOR NON PRESSURE TREATED WOOD BEAMS - A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT (REFER TO O.B.C. SB-12, 3.1.1.12) - ALL JOISTS SHALL BE RESTRAINED AT THE BOTTOM FROM TWISTING BY TOE NAILING INTO THE SUPPORTED WOOD PLATE, END NAILING TO THE HEADER JOIST OR BY CONTINUOUS STRAPPING OR BLOCKING NEAR THE SUPPORT

- STEEL BEAMS SUPPORTING FLOOR JOISTS SHALL HAVE A NAILING PLATE ALONG THE TOP. IF JOISTS BEAR DIRECTLY ON THE BEAM STRAPPING SHALL BE PROVIDED ALONG THE

CORRIVEAU

4065 STANLEY AVENUE, UNIT 2 NIAGARA FALLS, ON | L2E 4Z2 | (905) 358-5535

BUILDER & CONTRACTOR.

PROPOSED SEMI-DETACHED

BI-LEVEL

Email: CorrCADD@Gmail.com

8700 ROOSEVELT AVENUE CHIPPAWA, ONTARIO

ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE (UP TO AND INCLUDING ALL 2021 AMENDMENTS) ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS

NOTES, SITE AND REPORT ANY DISCREPENCIES PRIOR TO COMMENCEMENT OF WORK, THIS DRAWING IS NOT TO BE SCALED, ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN

WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT.

DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR 3 - ALL 'B' - VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS. 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING. 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO

MANUFACTURING BY WAY OF SHOP DRAWING BYTHE SUPPLIER.

8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/

9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY

ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

DRAWING LIST ELEVATIONS A1 | EXTERIOR 3D PERSPECTIVES LOWER FLOOR PLAN MAIN FLOOR PLAN CROSS SECTION **ROOF PLAN** WALL SECTION CONSTRUCTION SCHEDULES TYPICAL DETAILS PARTY WALL DETAILS GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS **GENERAL CONSTRUCTION NOTES** REVISION: NO. DATE: **ISSUED FOR PERMIT PURPOSES** FEB 8/21

> PRICING DRAWINGS NOT TO BE USED FOR CONSTRUCTION

> > CH. BY:

MIKE

CORRIVEAU 2020-117 2024-04-09

AS SHOWN **GENERAL NOTES AND SPECS,** TYPICAL NOTE SCHEDULE,

COLUMN SCHEDULE,

LIST OF ABBREVIATIONS,

GENERAL CONSTRUCTION NOTES

SHEET No.

ANDRE

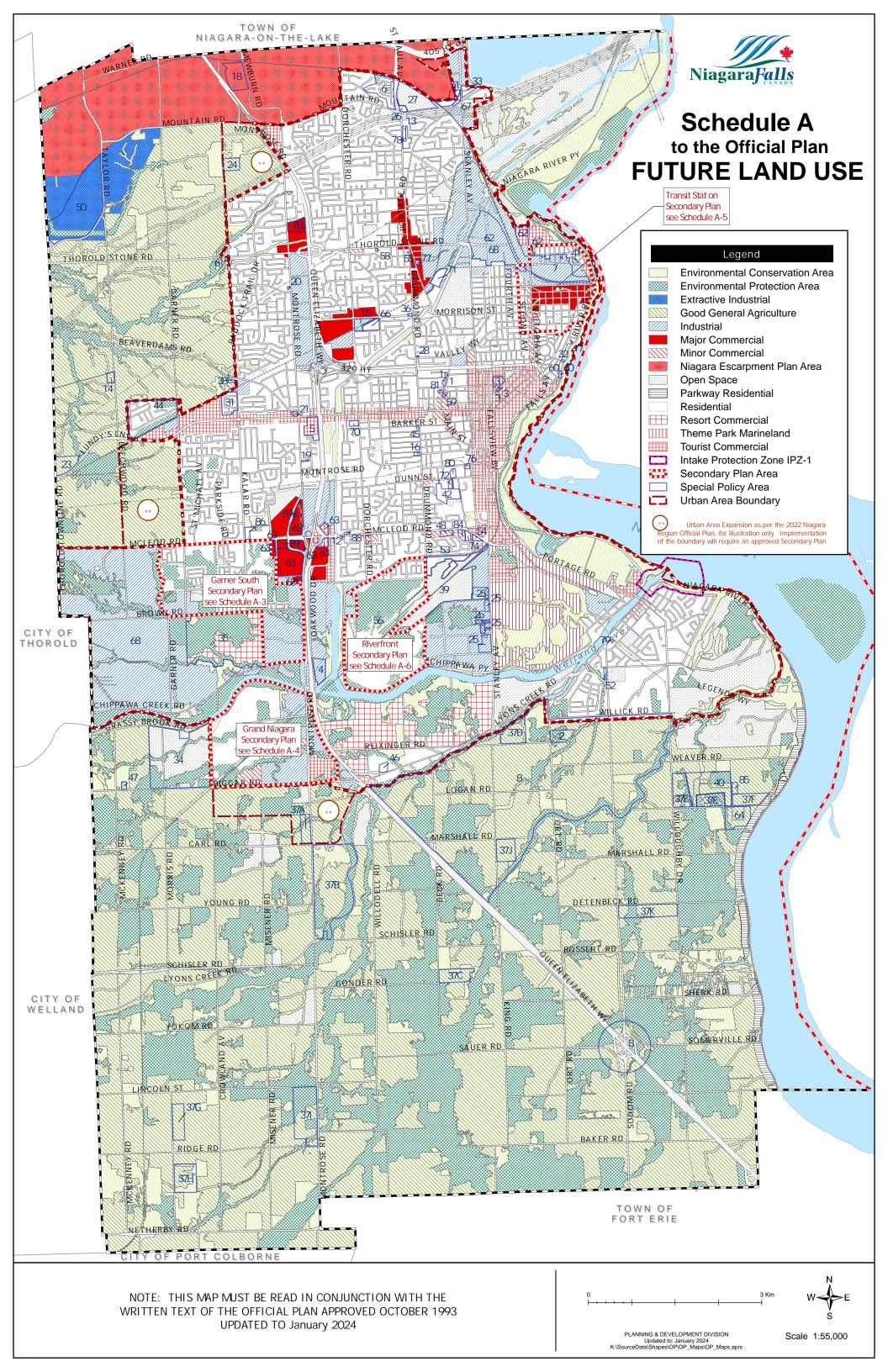
DATE:

SCALE

Appendix B

OFFICIAL PLAN MAPS

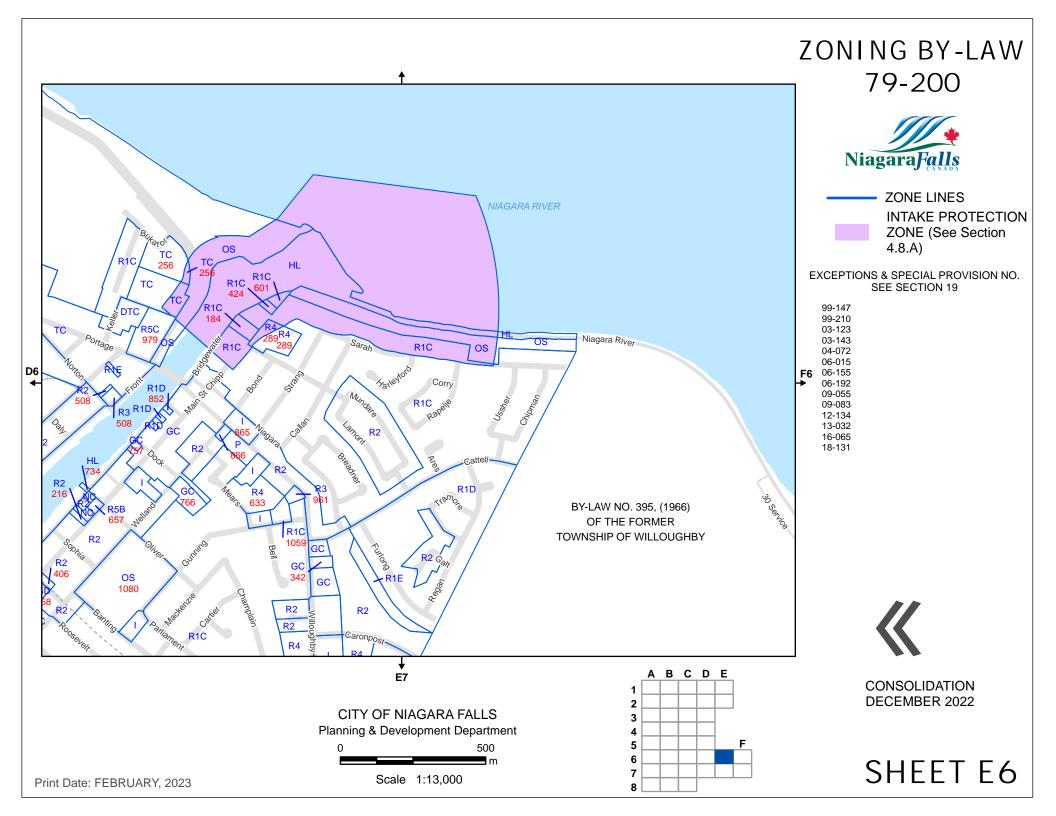




Appendix C

ZONING BY-LAW MAPS





Appendix D

DRAFT ZONING BY-LAW AMENDMENT



CITY OF NIAGARA FALLS

By-law No. 2024- xxxx (DRAFT)

A by-law to amend By-law No. 79-200, to permit the use of the lands for the development of a semi-detached dwelling. (AM-2024-xxx).

THE COUNCIL OF THE CORPORATION OF THE CITY OF NIAGARA FALLS ENACTS AS FOLLOWS:

- 1. The Lands that are the subject of and affected by the provisions of this by-law are described in Schedule 1 of this by-law and shall be referred to in this by-law as the "Lands". Schedule 1 is a part of this by-law.
- 2. The Lands shall be identified as a parcel, known as Parcel R2- xxxx.
- 3. The purpose of this by-law is to amend the provisions of By-law No. 79-200, to permit the use of the Lands in a manner that would otherwise be prohibited by this by-law. In the case of any conflict between a specific provision of this by-law and any existing provision of By-law No. 79-200, the provisions of this by-law are to prevail.
- 4. Notwithstanding any provision of By-law No. 79-200 to the contrary, the following uses and regulations shall be the permitted uses and regulations governing the permitted uses on and of the Lands.
- 5. The permitted uses shall be:
 - (a) For Parcel R2-xxxx, the uses permitted in the R2 zone.
- 6. The regulations governing the permitted uses on Parcel R2–xxxx, shall be:
 - (a) The regulations specified for a R2 use.
- 7. All other applicable regulations set out in By-law No. 79-200 shall continue to apply to govern the permitted uses on the Lands, with all necessary changes in detail.
- 8. No person shall use the Lands for a use that is not a permitted use.
- 9. No person shall use the Lands in a manner that is contrary to the regulations.
- 10. The provisions of this by-law shall be shown on Sheet E6 of Schedule "A" of By-law No. 79-200 by redesignating the Lands from R1C to R2 and numbered xxxx.
- 11. Section 19 of By-law No. 79-200 is amended by adding thereto:

19.1. xxxx Refer to By-law No. xxxx

this xxxx day of xxxx 2024.	
WILLIAM G. MATSON, CITY CLERK	JAMES M. DIODATI, MAYOR
WILLIAM G. MATGON, OTT I CLLINK	JAMES M. BIODATI, MATOR