

AMENDMENT NO. XX

TO THE

CITY OF NIAGARA FALLS

OFFICIAL PLAN

CITY OF NIAGARA FALLS

By-law No. 2022-

A by-law to provide for the adoption of Amendment No. XXX to the City of Niagara Falls Official Plan.

**THE COUNCIL OF THE CORPORATION OF THE CITY OF NIAGARA FALLS, IN
ACCORDANCE WITH THE PLANNING ACT, 1990, AND THE REGIONAL MUNICIPALITY
OF NIAGARA ACT, HEREBY ENACT AS FOLLOWS:**

1. The attached text constituting Amendment No. XXX to the City of Niagara Falls Official Plan is hereby adopted.

Passed this XXXX day of XXXX 2022.

.....
WILLIAM G. MATSON, ACTING CITY CLERK

.....
JAMES M. DIODATI, MAYOR

First Reading:
Second Reading:
Third Reading:

PART 1 – PREAMBLE:

(i) Purpose of the Amendment:

The purpose of Official Plan Amendment Number XX is to redesignate and establish a set of policies that provides direction for the development of the lands subject to this amendment.

(ii) Location of the Amendment:

The subject lands are located south of McLeod Road, east of Pin Oak Drive, and west of Montrose Road, and are municipally known as 7449 Montrose Road. The lands have an area of approximately 2.63 hectares.

The lands subject to this amendment are shown more specifically on Map 1.

(iii) Details of the Amendment:

Map Changes

- Schedule A – Land Use of the Official Plan is amended by:
 - Adding the subject lands to a new “Special Policy Area XX”.

Text Change

The amendment creates a new Special Policy Area XX, which applies site specific policy framework to the lands subject to this Amendment, including site specific residential permissions:

13.7 SPECIAL POLICY AREA XX

Special Policy Area “XX” applies to approximately 2.63 hectares of lands located south of McLeod Road, east of Pin Oak Drive, and west of Montrose Road

(iv) Basis of the Amendment:

The lands affected by this Amendment are presently designated *Major Commercial* in recognition of their location within the Niagara Square Mall Retail District. The lands affected by this Amendment have remained vacant of structure and are undeveloped. This Amendment facilitates intensification of the lands for a range of residential uses, at a scale appropriate for the existing context.

The Amendment provides for efficient use of the lands in consideration of the existing and planned function of the area. The planned function of the area includes policies/permissions for lands to develop for residential purposes up to 12 storeys in building height, in addition to site specific policies to allow for buildings up to 13 storeys in height. The lands to the south are lands built for existing commercial and retail purposes as part of the Niagara Square Mall. The lands to the north are generally occupied by commercial/retail uses, as well as a community centre. The Amendment provides for a lands use that is synergistic and compatible with the area.

The Amendment is intended to meet Provincial policies including that under the Provincial Policy Statement and A Place to Grow: Growth Plan for the Greater Golden Horseshoe, by facilitating a complete community that offers a range of uses and opportunities for housing.

The full basis for this Amendment has been set out in the Planning Justification Report and related supplementary reports submitted in support of this Amendment.

PART 2 – BODY OF THE AMENDMENT

All of this part of the document entitled “PART 2 – BODY OF THE AMENDMENT” consisting of the following text and the attached map designated as Schedule 1, constitutes Amendment Number XX of the Official Plan of the City of Niagara Falls.

Map Changes

- i) SCHEDULE A – LAND USE PLAN of the Official Plan is amended by:
 - Adding the subject lands to a new “Special Policy Area XX”.

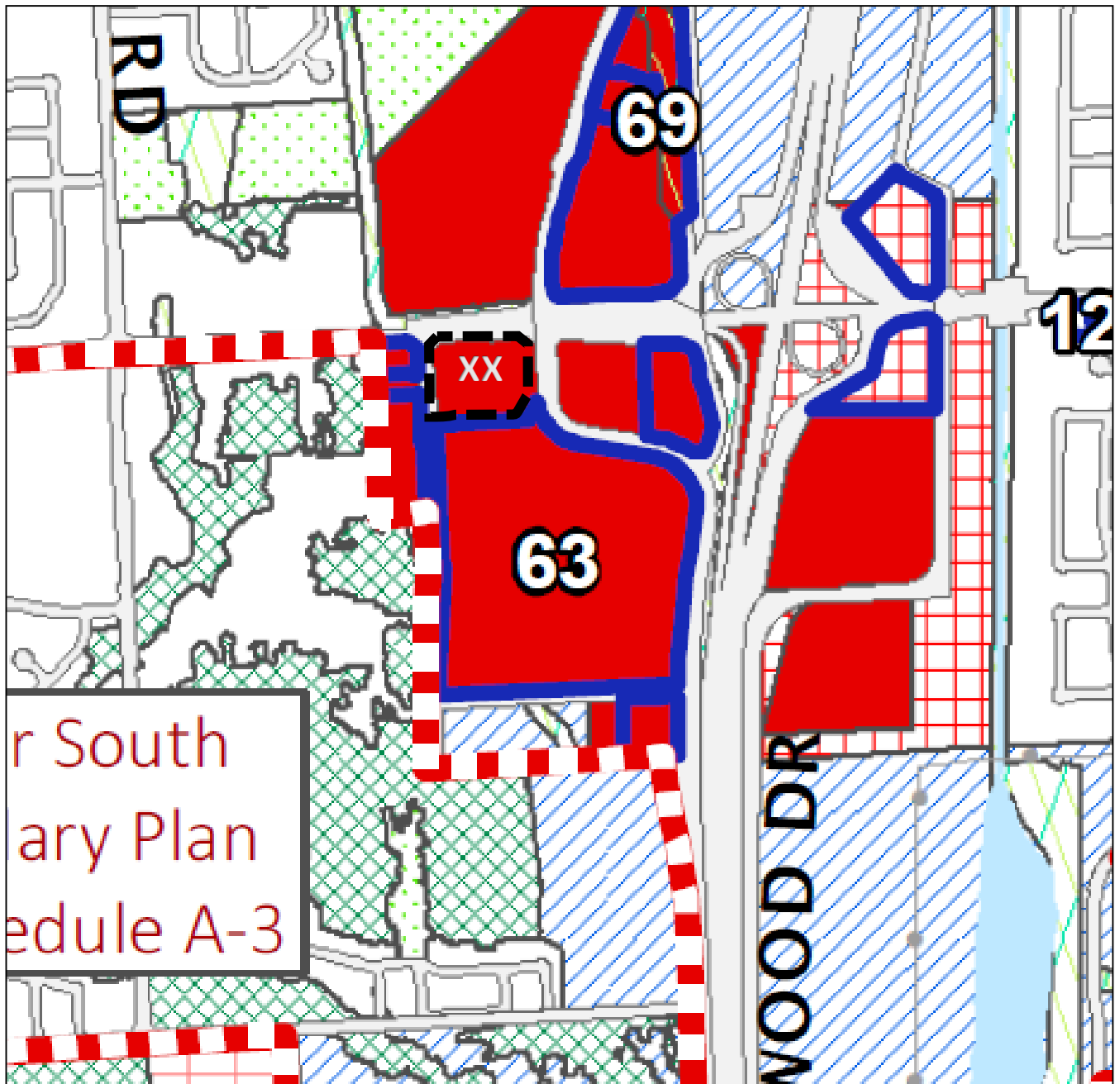
Text Change

PART 2, SECTION 13, SPECIAL POLICY AREA AREAS is hereby amended by adding the following subsection:

13.7 SPECIAL POLICY AREA “XX”

Special Policy Area “XX” applies to approximately 2.63 hectares of lands located south of McLeod Road, east of Pin Oak Drive, and west of Montrose Road. Notwithstanding Policy 3.5.3, residential apartment and residential townhouse uses are recognized as permitted uses, and shall be permitted at an overall density not to exceed 150 units per hectare, and at a height not to exceed 13 storeys for apartment buildings and 3 storeys for townhouses.

Schedule '1'



New Special Policy Area "XX"

PART C: THE APPENDIX

The following appendix does not constitute part of this Amendment and is included for information purposes only.

1. LOCATION MAP

The Location Map, which shows the location of those parts of the subject lands being affected by this Amendment, is attached hereto for information purposes only.

LOCATION MAP

Map 1: Locational Setting – 7449 Montrose Road



Location and boundaries are approximate