

MINOR VARIANCE:
MINIMUM PARKING AISLE WIDTH
REQUIRED : 6.3 METER
PROPOSED : 6.2 METER

MINOR VARIANCE:
PARKING AND ACCESS REQUIREMENTS
REQUIRED : 1.29 PARKING SPACES PER DWELLING UNIT
PROPOSED : 1.15 PARKING SPACES PER DWELLING UNIT

MINOR VARIANCE:
MINIMUM FRONT YARD DEPTH
REQUIRED : 7.5M+13M
PROPOSED : 3.02M+13M

MINOR VARIANCE:
MINIMUM INTERIOR SIDE YARD WIDTH
(BUILDINGS B, C&D)
REQUIRED : 17 M/2=8.5 METERS
PROPOSED : 4.89M (EAST)

MINOR VARIANCE:
ENCROACHMENTS (BUILDINGS B, C&D)
REQUIRED : 0.45 meters
PROPOSED : DECK/BALCONY PROJECTED 1.38 METERS INTO INTERIOR SIDE YARD (EAST SIDE)

MINOR VARIANCE:
MINIMUM INTERIOR SIDE YARD WIDTH
(BUILDING A)
REQUIRED : 17 M/2=8.5 METERS
PROPOSED : 3.00M (EAST SIDE)

BUILDING	UNITS
A (19'-3"X50'-0")	20
B (21'-0"X40'-0")	9
C (21'-0"X40'-0")	18
D (21'-0"X40'-0")	18
E (21'-0"X40'-0")	18
F (21'-0"X40'-0")	18
TOTAL UNITS	101
REQUIRED PARKING	101X1.29=130
REGULAR PARKING	112
BARRIER FREE PARKING	4
TOTAL PROPOSED PARKING	116

The designs, comprising the master plan, site plan, floor plans, and renderings, are the proprietary and copyrighted materials of RPD Studio, CA. Any unauthorized reproduction, whether involving drafting plans or seeking permits, approvals, and amendments, including but not limited to vacant land condominium plans, zoning by-law amendments, minor variances, or building permit sets, is strictly prohibited without the explicit written consent of RPD Studio, CA. (E. & O. E.)

PRIMARY CONSULTANT & PROJECT MANAGER
RPDS
 INTEGRATED DESIGN FIRM
 SUITE 203, 7895 TRANMERE DR., MISSISSAUGA, ON L5S 1V9
 MAIL: PROJECT@RPDSTUDIO.CA, CALL: 647.556.2596
 WEBSITE: WWW.RPDSTUDIO.CA

ELECTRICAL CONSULTANT

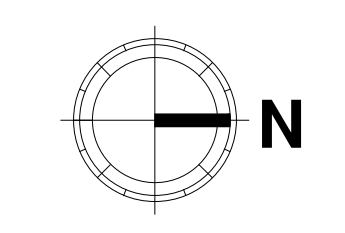
CONSULTING CIVIL ENGINEERS

*** NOT FOR SITE PLAN APPROVAL**

*** NOT FOR CONSTRUCTION**

*** ONLY FOR PRELIMINARY DISCUSSION**

Contractor & trader must check and verify all dimensions before execute the work and must report discrepancies and should not scale or measure the drawings.
 All drawings, specifications and related documents are the copyright of the designer and must be returned upon request.
 All the work must be in compliance with ONTARIO BUILDING CODE.
 Reproduction of drawings, specifications and related documents in part or whole is forbidden without the written consent.
 This drawing is not to be used for construction until signed and stamped by the designer.



No.	Date	Version	Dwn.
1.	2024-03-15	ISSUED FOR MINOR VARIANCE	

PROJECT:
STACKED TOWNHOMES DEVELOPMENT
 5920
 DUNN STREET
 CITY OF NIAGARA FALLS

DRAWING TITLE:
SITE PLAN

DRAWN BY: HL DATE:

CHECKED BY: RP SCALE: 1" = 20'-0"

PROJECT NO.: DRAWING NO.:

SP-1.0

THE CITY OF NIAGARA FALLS REGIONAL MUNICIPALITY OF NIAGARA STACKED TOWNHOMES DEVELOPMENT

5906, 5916, 5928-5930 DUNN STREET,
NIAGARA FALLS, ONTARIO



KEY MAP : N.T.S.

PRIMARY CONSULTANT & PROJECT MANAGER

RPDS
INTEGRATED DESIGN FIRM
SUITE 203, 7895 TRANMERE DR., MISSISSAUGA, ON L5S 1V9
MAIL: PROJECT@RPDSTUDIO.CA, CALL: 647-556-2596
WEBSITE: WWW.RPDSTUDIO.CA

ELECTRICAL CONSULTANT

CONSULTING CIVIL ENGINEERS

* NOT FOR SITE PLAN
APPROVAL

* NOT FOR CONSTRUCTION

* ONLY FOR PRELIMINARY
DISCUSSION

Contractor & trader must check and verify all dimensions before execute the work and must report discrepancies and should not scale or measure the drawings.
All drawings, specifications and related documents are the copyright of the designer and must be returned upon request.
All the work must be in compliance with ONTARIO BUILDING CODE.
Reproduction of drawings, specifications and related documents in part or whole is forbidden without the written consent.
This drawing is not to be used for construction until signed and stamped by the designer.

ZONING & SITE STATISTICS

LIST OF DRAWINGS

CURRENT ZONE: R5C - 1126 (By-law No. 2020-81)

PROPOSED ZONE: R5C - 1126 (Site Specific)

7.12.1 PERMITTED USES: (a) An apartment dwelling
(b) A stacked townhouse dwelling

DESCRIPTION	HA. (ACRES)	SQ.FT.	SQ.MT.	%
SITE AREA (AS PER PVIOUS ARCH. SET)	~1.02 ~2.53	~110244	~10242	100

DESCRIPTION	REQUIRED	PROPOSED SITE SPECIFICATION	COMPLY
(a) Minimum lot area	the whole of the Lands and 100 square meters for each dwelling unit. (By-law No. 2020-81)	~101.42 square meters	YES
(b) Minimum lot frontage	30 metres (98.4 ft.)	55.07 meters (180.75 ft.)	YES
(c) Minimum front yard depth	7.5 meters (24.61 ft.) plus any applicable distance specified in section 4.27.1 (13 meters)	3.02 meters + 13 meter from the centerline of the road allowance of Dunn Street	NO
(d) Minimum rear yard depth	one-half the height of the building (17 m/2 = 8.5 meters) or 10 meters whichever is greater plus any applicable distance specified in section 4.27.1	26.20 meters	YES
(e) Minimum interior side yard width	one-half the height of the building Building Height 17 m/2=8.5metres	Building A: 3.0 meters (east)	NO
		Buildings B, C&D: 4.89 meters (east)	NO
		Buildings E & F 24.3 meters (west)	YES
(f) Minimum exterior side yard width	7.5 meters (24.61 ft.) plus any applicable distance specified in section 4.27.1	N/A	N/A
(g) Maximum lot coverage	30%	~26.00% [Excl. bsmt. patio & incl. stair]	YES
(h) Maximum height of building or structure	22.3 meters (73.16 ft.) (A-2022-052)	17.00 meters (55.77 ft.)	YES
(i) Number of apartment dwellings on one lot	one only	N/A - Stacked Townhouse Dwelling	N/A
(j) Parking and access requirements	1.29 parking spaces per dwelling unit Minimum number of parking spaces 1.29 spaces for each dwelling unit (101 dwelling units x 1.29 parking space = 130.29 parking spaces)	1.15 parking spaces per dwelling unit (116 Parking / 101 dwelling units=1.15 Stalls)	NO
		116 (1.15 space) (Incl. 4 barrier free parking)	NO
(k) Accessory buildings and accessory structures	in accordance with sections 4.13 and 4.14	None	Acknowledged
(l) Minimum landscaped open space	40% of the lot area, including a 7.5 meter wide landscape strip along and adjacent to the front lot line, save and except for any driveway entrances	~40.46% Including 1.5 meter landscape strip at the front lot line [Incl. bsmt. patio & excl. stair]	YES
(m) Minimum amenity space for an apartment dwelling unit	in accordance with section 4.42.1 Within the R4, R5A, R5B, R5C, R5D, R5E and R5F zones a minimum amenity area of 20 square metres per dwelling unit shall be provided.	41 square meters per dwelling unit	YES
Minimum Parking aisle width	6.3 meters	6.2 meter	NO
Encroachments	4.14 (c) unsupported canopies, eaves or gutters, for other than an accessory building, may project into any required yard a distance of not more than 0.45 meters	Buildings B, C&D: Deck/Balcony Projected 1.38 Meters into Interior Side Yard(east)	NO

The designs, comprising the master plan, site plan, floor plans, and renderings, are the proprietary and copyrighted materials of RPD Studio, CA. Any unauthorized reproduction, whether involving drafting plans or seeking permits, approvals, and amendments, including but not limited to vacant land condominium plans, zoning by-law amendments, minor variances, or building permit sets, is strictly prohibited without the explicit written consent of RPD Studio, CA. (E. & O. E.)

No.	Date	Version	Dwn.
1.	2024-03-15	ISSUED FOR MINOR VARIANCE	

PROJECT:
**STACKED TOWNHOMES
DEVELOPMENT**
5920
DUNN STREET
CITY OF NIAGARA FALLS

DRAWING TITLE:
COVER SHEET

DRAWN BY: DATE:

CHECKED BY: SCALE:

PROJECT NO.:

DRAWING NO.:

A-1.0