

PROJECT INFO:
PROPOSED TWO STOREY TOWNHOUSES
UNITS 3 - 7
8196 McLEOD ROAD
NIAGARA FALLS, ONTARIO

NOTES:
ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE (UP TO AND INCLUDING ALL 2020 AMENDMENTS)

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- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL 1" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
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DRAWING LIST

A1	FRONT & LEFT ELEVATIONS EXTERIOR 3D PERSPECTIVES
A2	REAR & RIGHT ELEVATIONS EXTERIOR 3D PERSPECTIVES
A3	FOUNDATION PLAN - FULL BLOCK FOUNDATION PLAN - SINGLE UNITS
A4	MAIN FLOOR PLAN - FULL BLOCK MAIN FLOOR PLAN - SINGLE UNITS
A5	UPPER FLOOR PLAN - FULL BLOCK UPPER FLOOR PLAN - SINGLE UNITS
A6	CONSTRUCTION SCHEDULES, TYP. DETAILS
A7	CROSS SECTION, ROOF PLAN, TYPICAL WALL SECTION GENERAL NOTES AND SPECS TYPICAL NOTE SCHEDULE COLUMN SCHEDULE LIST OF ABBREVIATIONS GENERAL CONSTRUCTION NOTES
A8	

NO.	DATE:	REVISION:	BY

CERTIFICATION:

DESIGNED/CHKD BY:
MIKE CORRIVEAU

DR. BY: **ANDRE LACOURSIERE** C.C. JOB #: **2020-42**

DATE: **2020-06-01** SCALE: **AS SHOWN**

TITLE:
FRONT & LEFT ELEVATIONS, EXTERIOR 3D PERSPECTIVES

SHEET No. **1 OF 8** **A1**

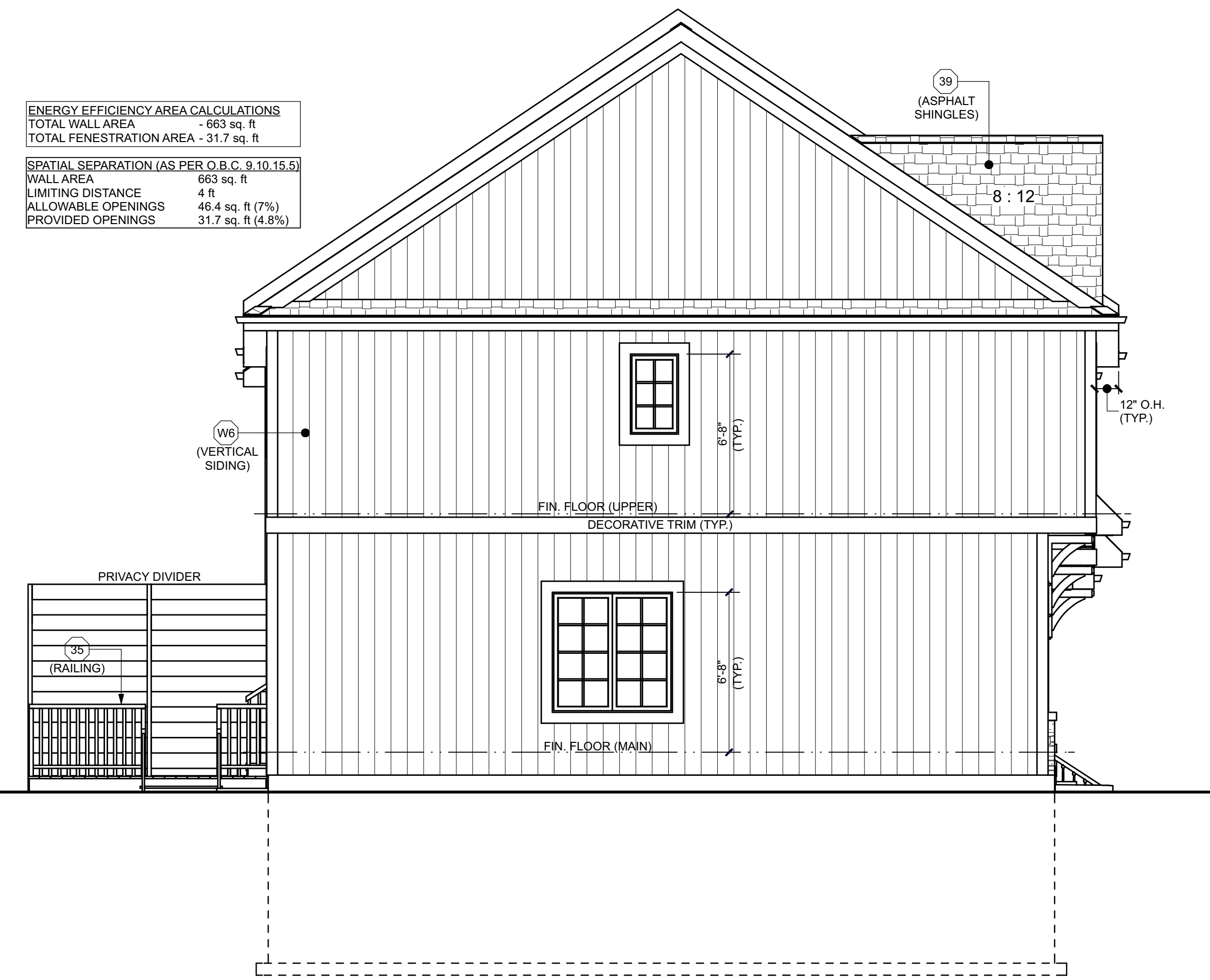


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



ENERGY EFFICIENCY AREA CALCULATIONS
TOTAL WALL AREA - 663 sq. ft.
TOTAL FENESTRATION AREA - 317 sq. ft.

SPATIAL SEPARATION (AS PER O.B.C. § 10.15.5)
WALL AREA - 663 sq. ft.
LIMITING DISTANCE - 4 ft.
ALLOWABLE OPENINGS - 46.4 sq. ft. (7%)
PROVIDED OPENINGS - 31.7 sq. ft. (4.8%)



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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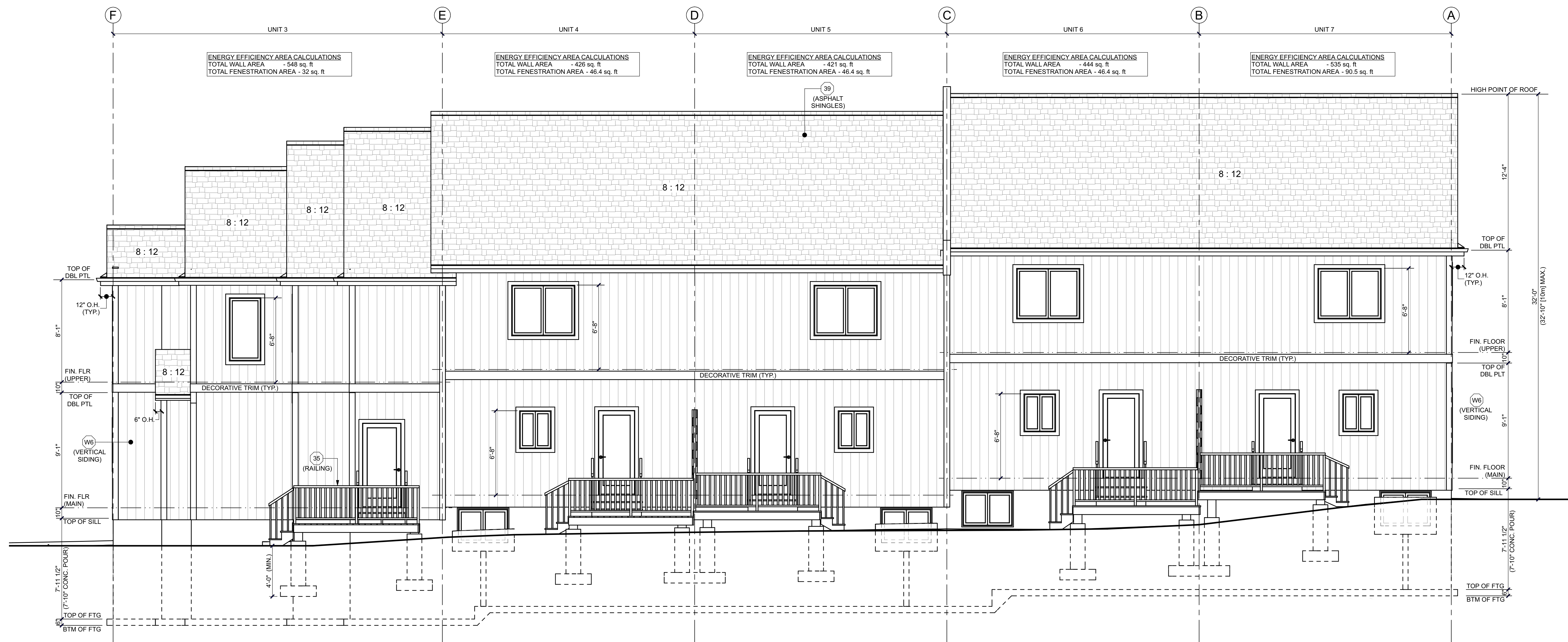
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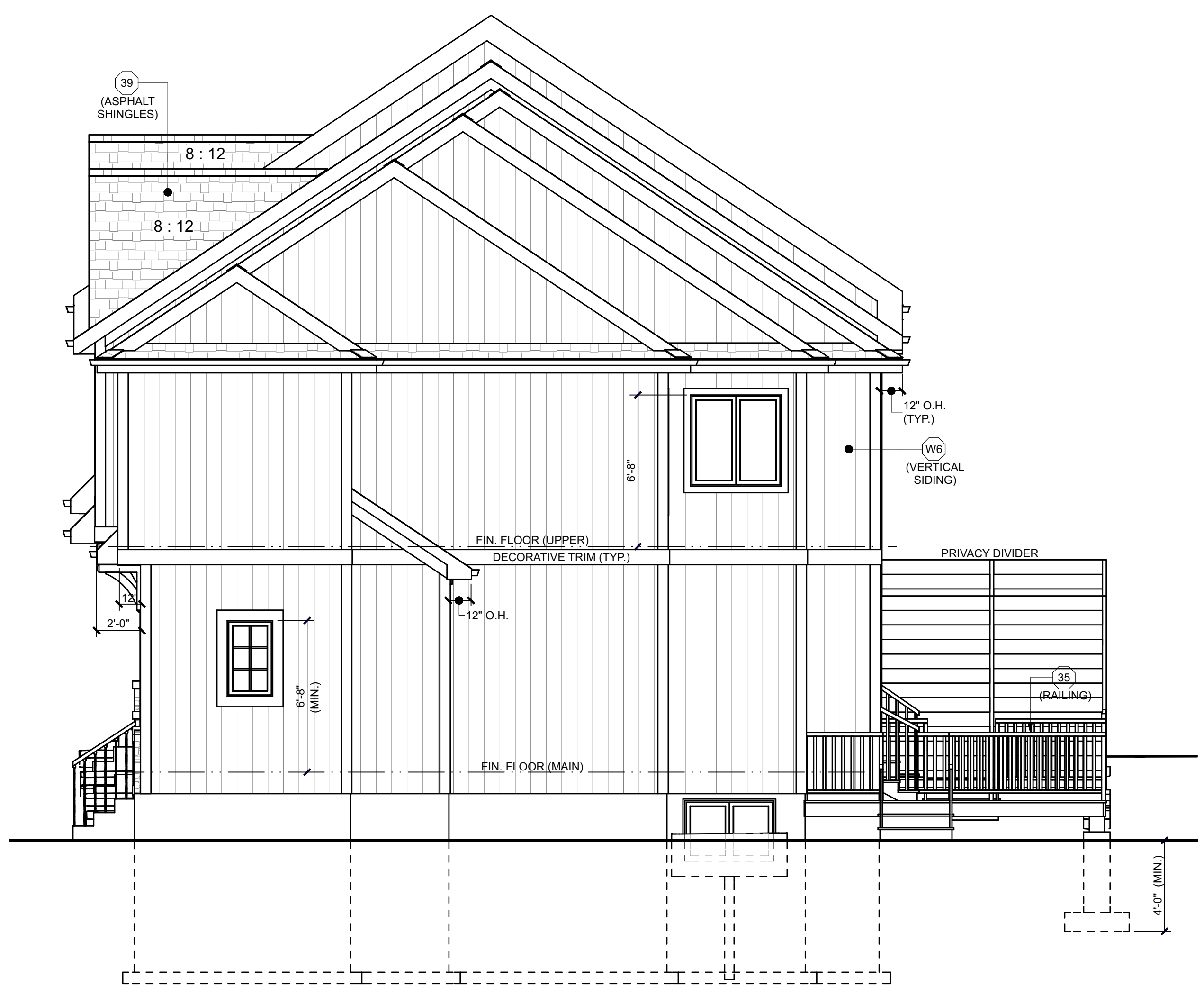
TITLE:
REAR & RIGHT ELEVATIONS, EXTERIOR 3D PERSPECTIVES



REAR ELEVATION
SCALE: 1/4" = 1'-0"

3D COMING SOON

3D COMING SOON



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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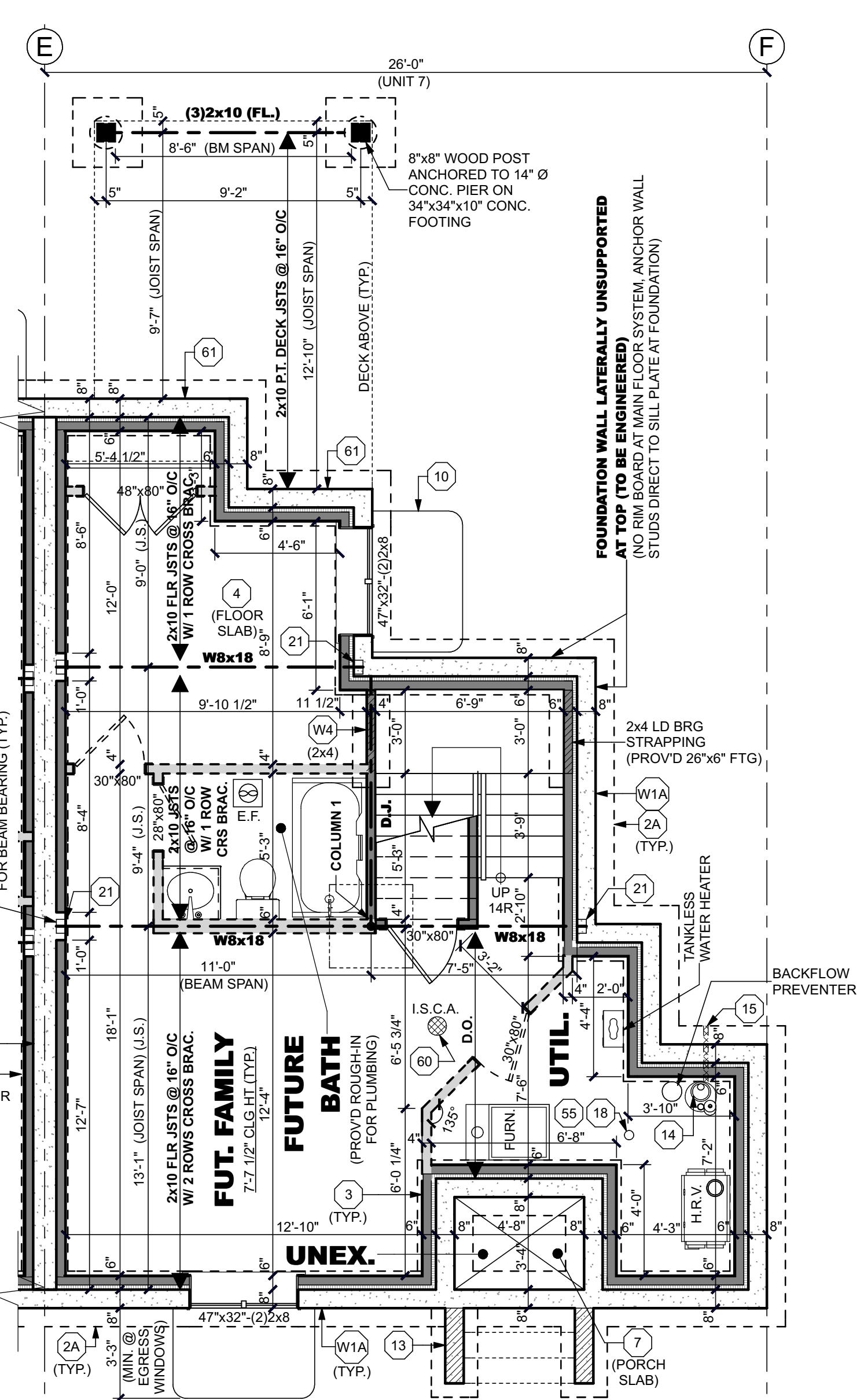
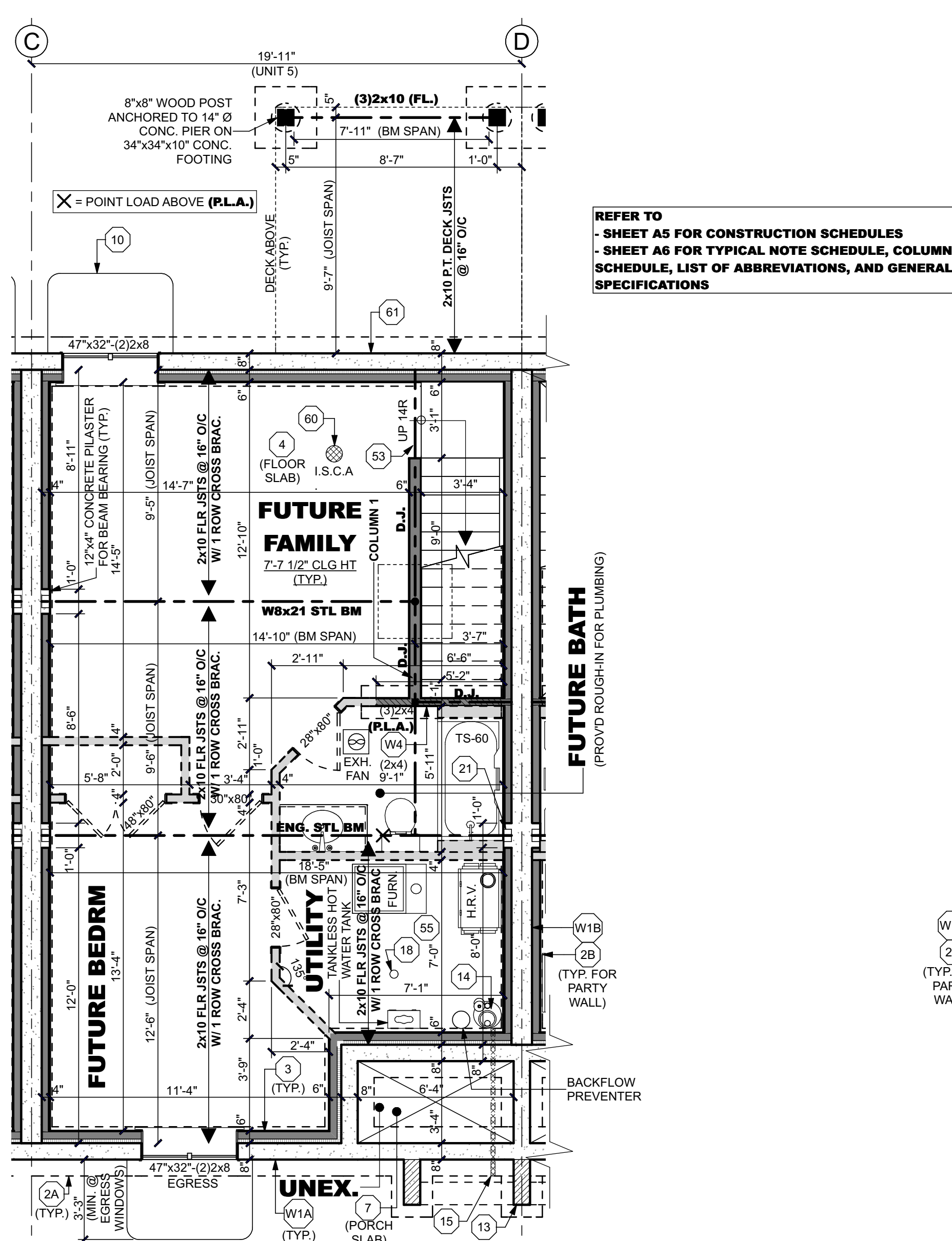
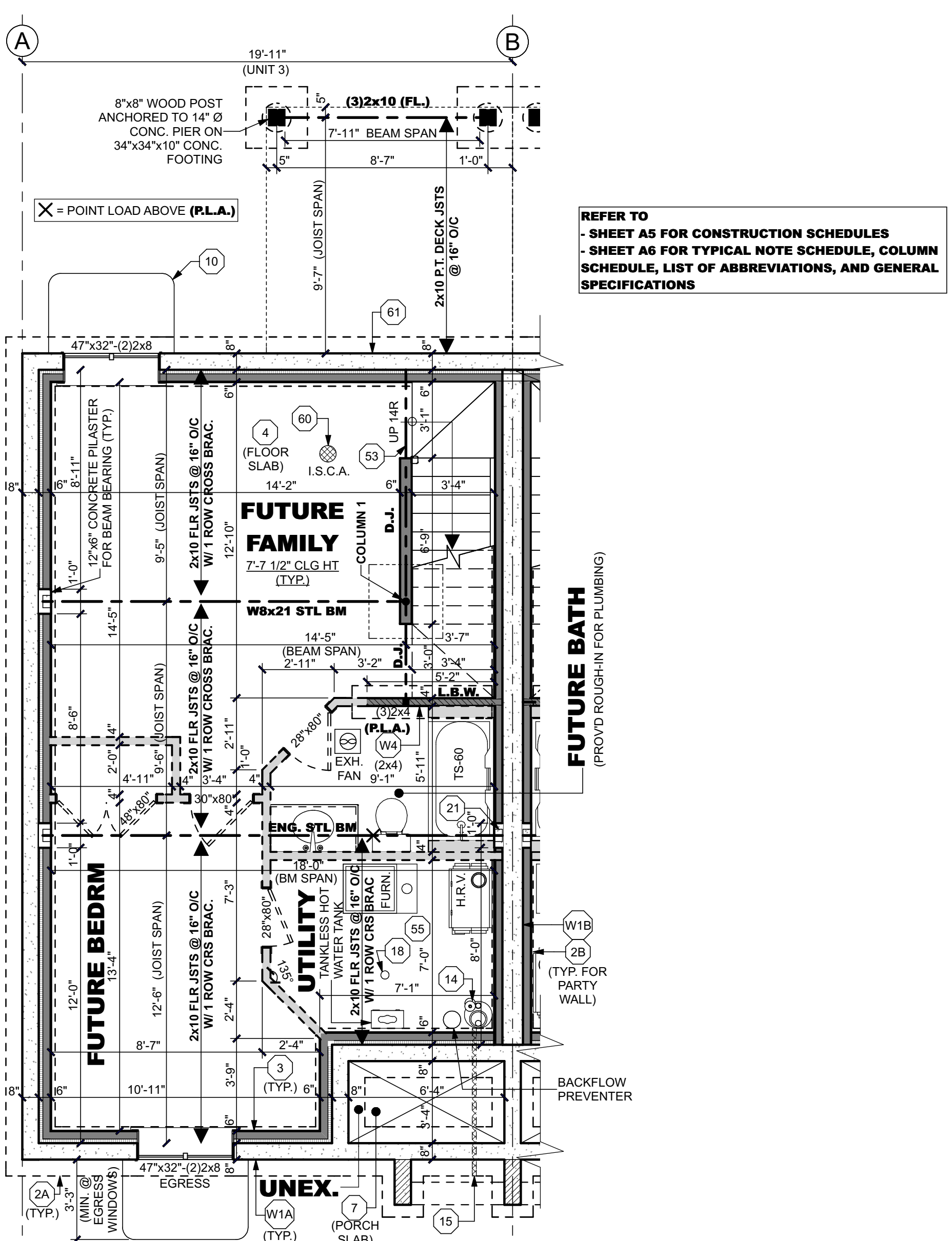
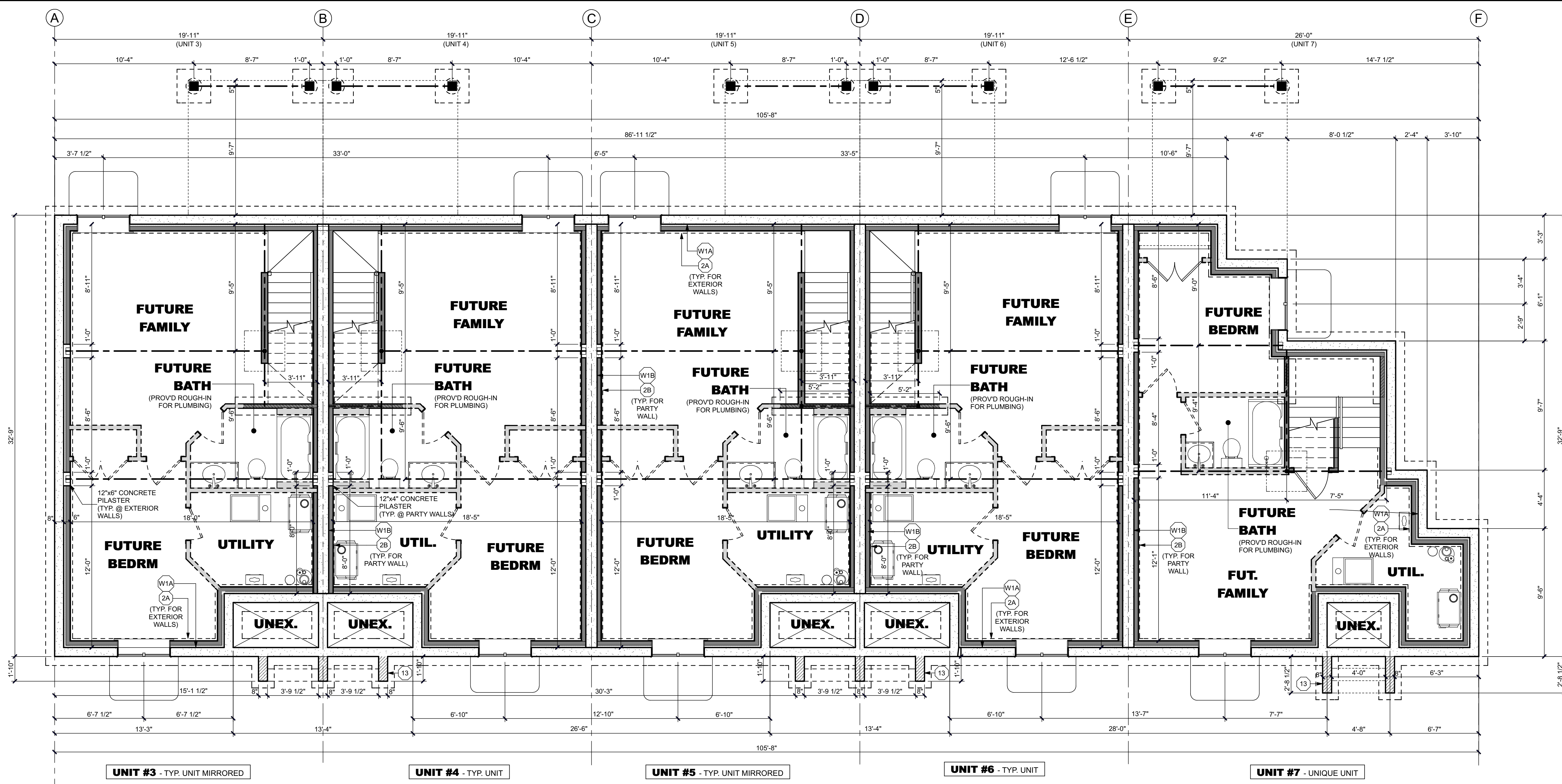
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DR. BY: **ANDRE LACOURSIERE** C.C. JOB #: **2020-42**

DATE: **2020-06-01** SCALE: **AS SHOWN**

TITLE:
**FOUNDATION PLAN
 FULL BLOCK PLAN
 TYP. UNIT LAYOUTS**

SHEET NO.
3 OF 8 **A3**



BUILDING FOOTPRINT - 3239 sq. ft.

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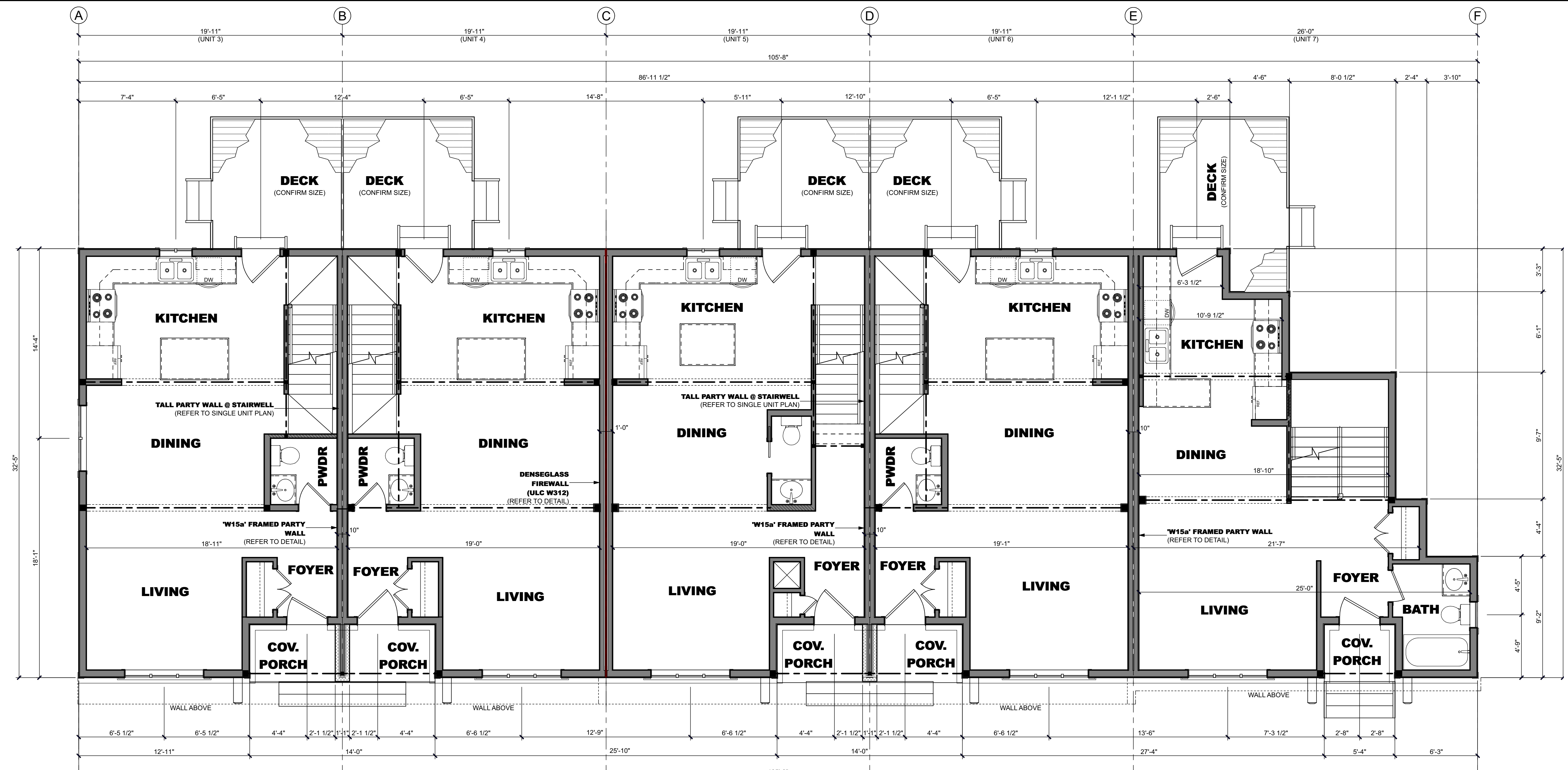
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DR. BY: ANDRE LACOURSIERE C.C. JOB #: 2020-42

DATE: 2020-06-01 SCALE: AS SHOWN

TITLE:
MAIN FLOOR PLAN FULL BLOCK PLAN TYP. UNIT LAYOUTS



MAIN FLOOR PLAN FULL BLOCK PLAN
 SCALE: 1/4" = 1'-0"

UNIT 3 - SQUARE FOOTAGES

MAIN FLOOR LIVING AREA	- 626 sq. ft
UPPER FLOOR LIVING AREA	- 686 sq. ft
TOTALS	GROSS LIVING AREA - 1,312 sq. ft

UNIT 4 - SQUARE FOOTAGES

MAIN FLOOR LIVING AREA	- 626 sq. ft
UPPER FLOOR LIVING AREA	- 686 sq. ft
TOTALS	GROSS LIVING AREA - 1,312 sq. ft

UNIT 5 - SQUARE FOOTAGES

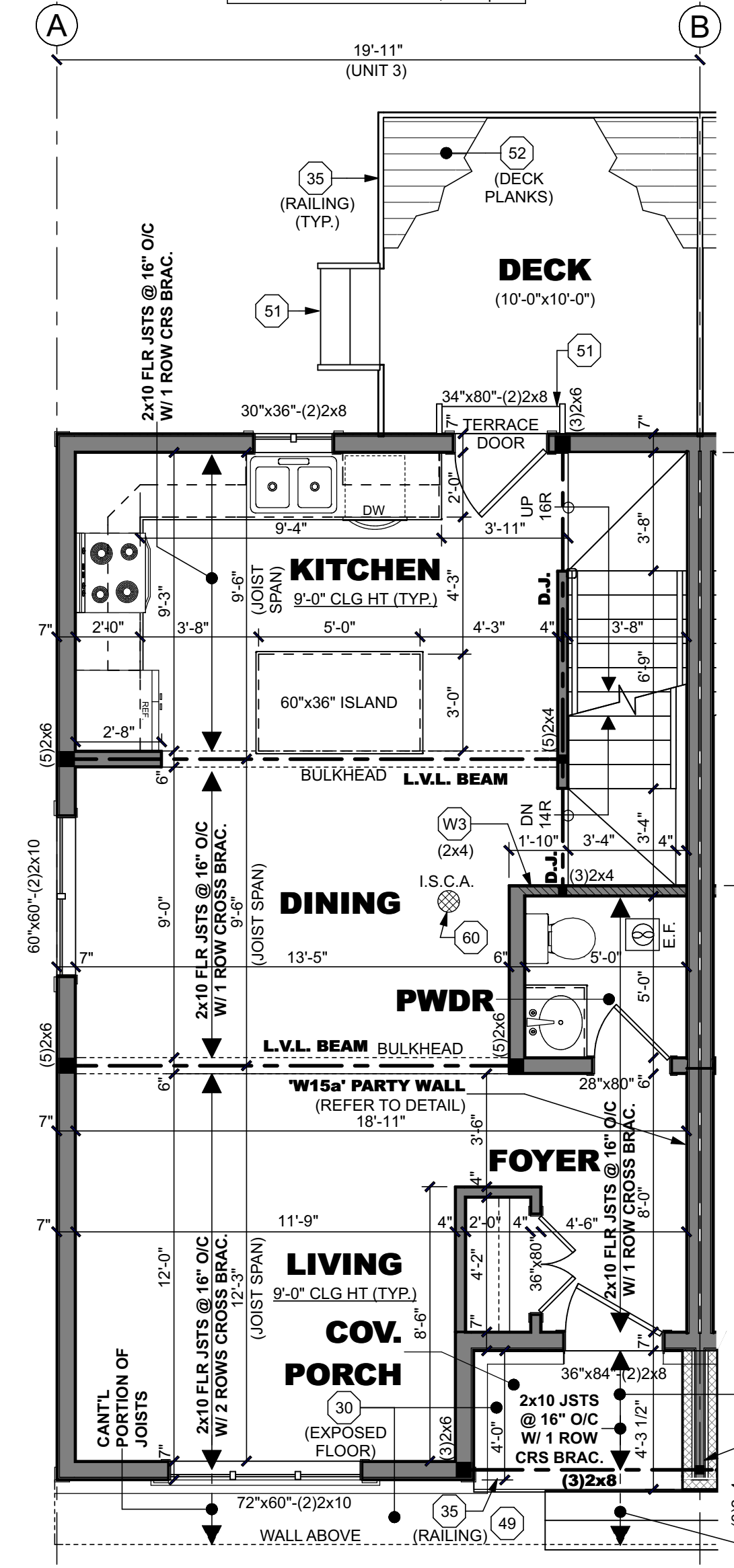
MAIN FLOOR LIVING AREA	- 626 sq. ft
UPPER FLOOR LIVING AREA	- 686 sq. ft
TOTALS	GROSS LIVING AREA - 1,312 sq. ft

UNIT 6 - SQUARE FOOTAGES

MAIN FLOOR LIVING AREA	- 626 sq. ft
UPPER FLOOR LIVING AREA	- 686 sq. ft
TOTALS	GROSS LIVING AREA - 1,312 sq. ft

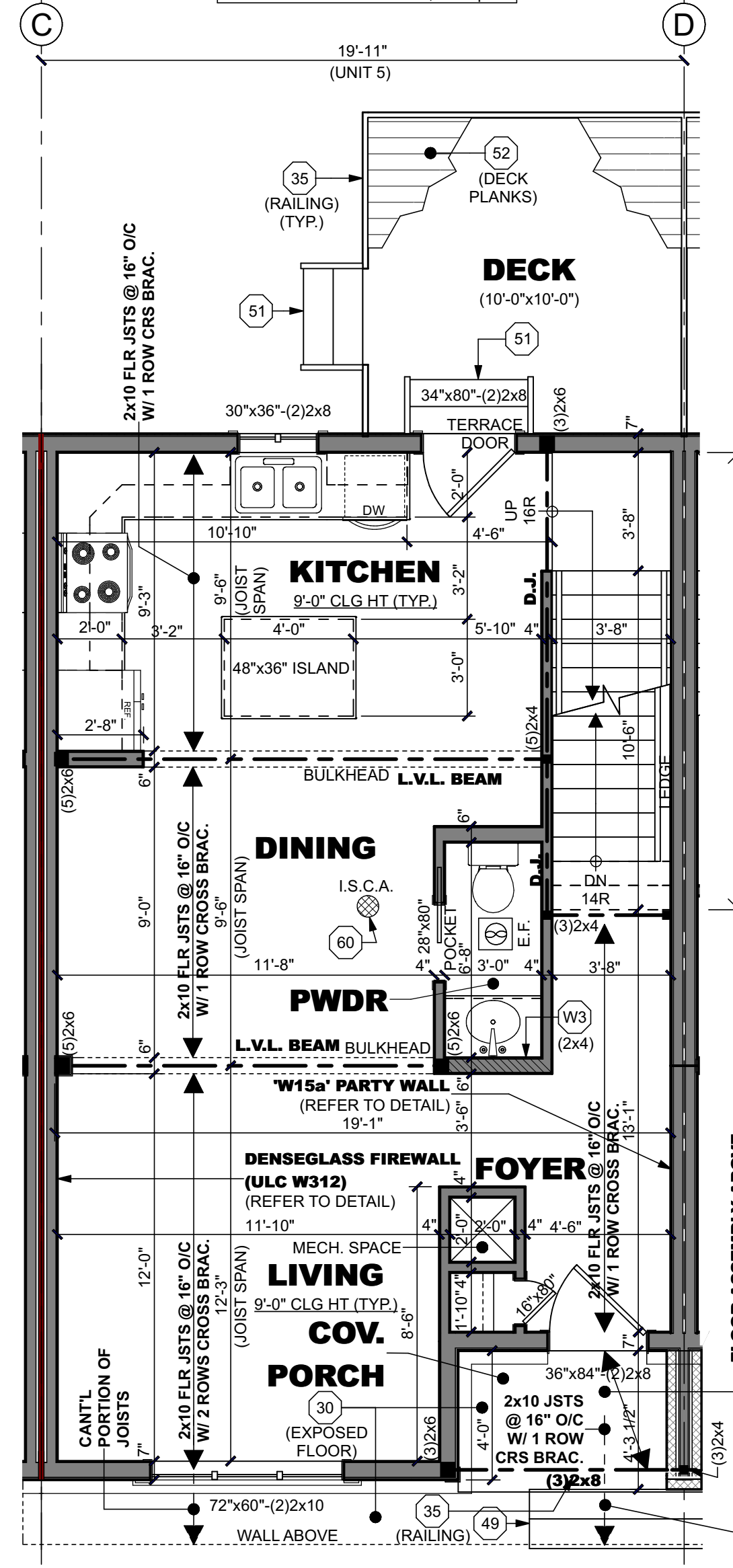
UNIT 7 - SQUARE FOOTAGES

MAIN FLOOR LIVING AREA	- 610 sq. ft
UPPER FLOOR LIVING AREA	- 630 sq. ft
TOTALS	GROSS LIVING AREA - 1,248 sq. ft



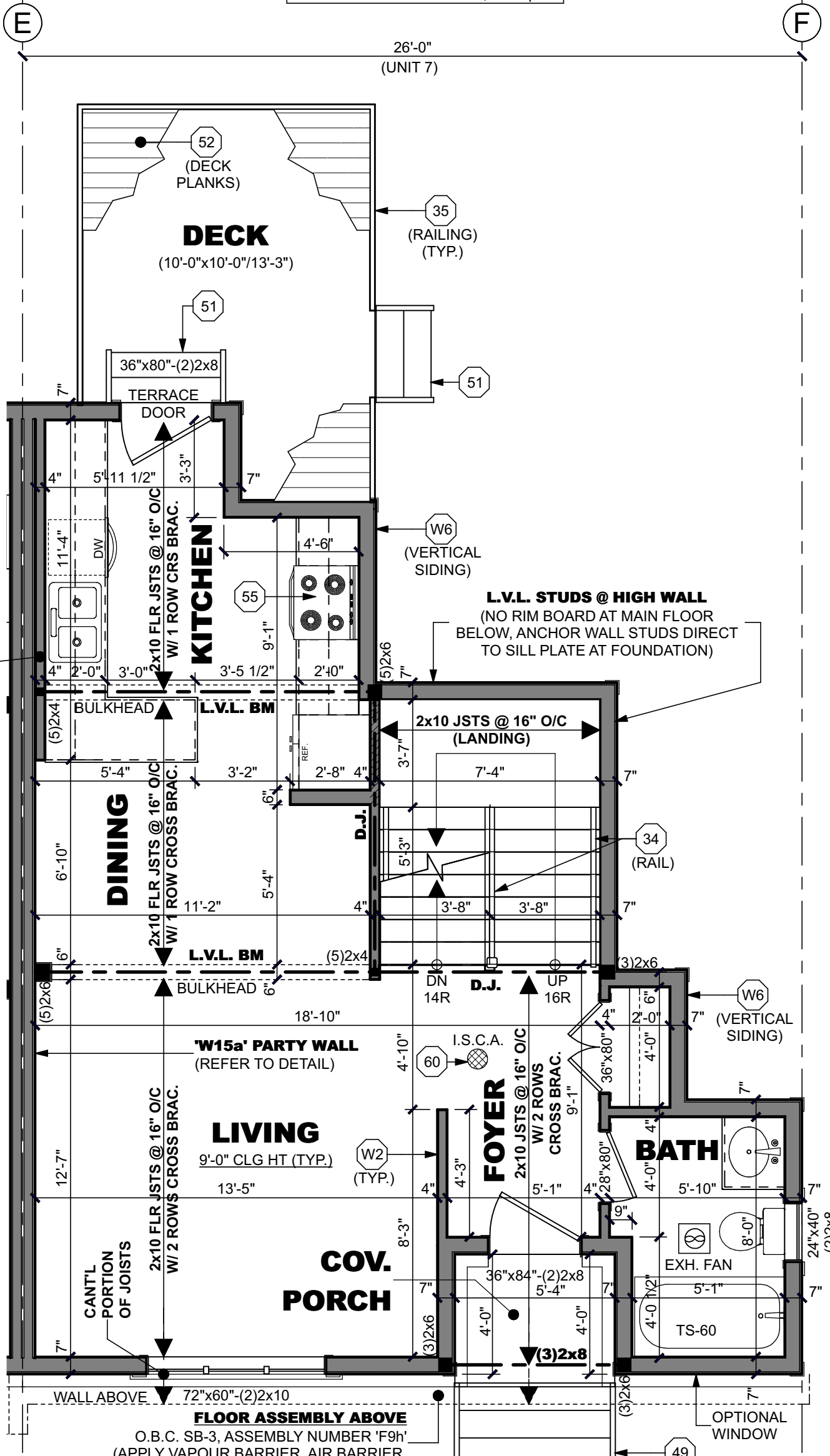
MAIN FLOOR PLAN TYPICAL LAYOUT - END UNIT
 SCALE: 1/4" = 1'-0"

REFER TO SHEET A5 FOR CONSTRUCTION SCHEDULES SHEET A6 FOR TYPICAL NOTE SCHEDULE, COLUMN SCHEDULE, LIST OF ABBREVIATIONS, AND GENERAL SPECIFICATIONS



MAIN FLOOR PLAN TYPICAL LAYOUT - MIDDLE UNIT
 SCALE: 1/4" = 1'-0"

REFER TO SHEET A5 FOR CONSTRUCTION SCHEDULES SHEET A6 FOR TYPICAL NOTE SCHEDULE, COLUMN SCHEDULE, LIST OF ABBREVIATIONS, AND GENERAL SPECIFICATIONS



MAIN FLOOR PLAN TYPICAL LAYOUT - UNIQUE UNIT
 SCALE: 1/4" = 1'-0"

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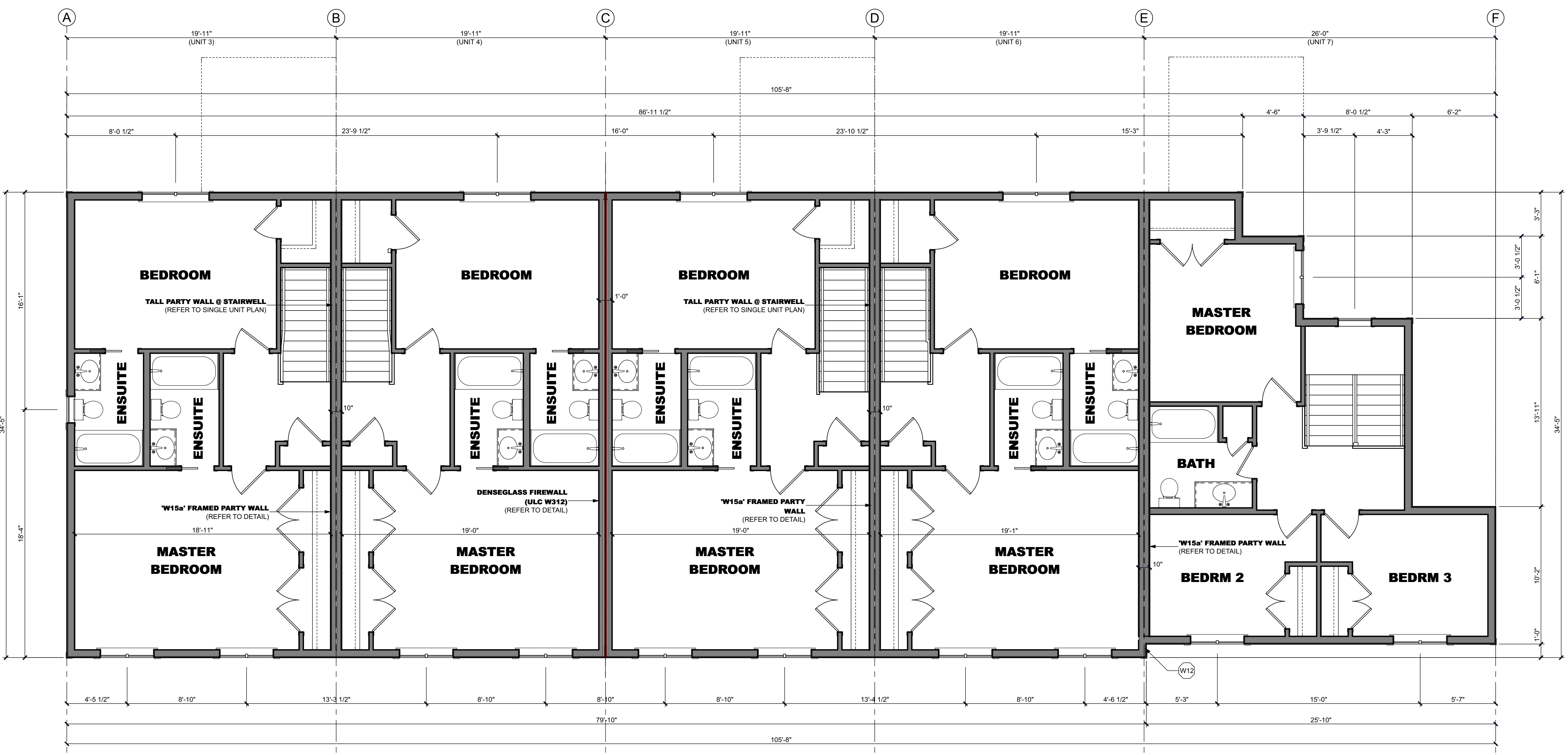
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DR. BY: **ANDRE LACOURSIERE** C.C. JOB #: **2020-42**

DATE: **2020-06-01** SCALE: **AS SHOWN**

TITLE:
**UPPER FLOOR PLAN
 FULL BLOCK PLAN
 TYP. UNIT LAYOUTS**

SHEET NO.
5 OF 8 **A5**



**UPPER FLOOR PLAN
 FULL BLOCK PLAN
 SCALE: 1/4" = 1'-0"**

UNIT 3 - SQUARE FOOTAGES

MAIN FLOOR	LIVING AREA	- 626 sq. ft.
UPPER FLOOR	LIVING AREA	- 686 sq. ft.
TOTALS	GROSS LIVING AREA	- 1,312 sq. ft.

UNIT 6 - SQUARE FOOTAGES

MAIN FLOOR	LIVING AREA	- 626 sq. ft.
UPPER FLOOR	LIVING AREA	- 686 sq. ft.
TOTALS	GROSS LIVING AREA	- 1,312 sq. ft.

UNIT 5 - SQUARE FOOTAGES

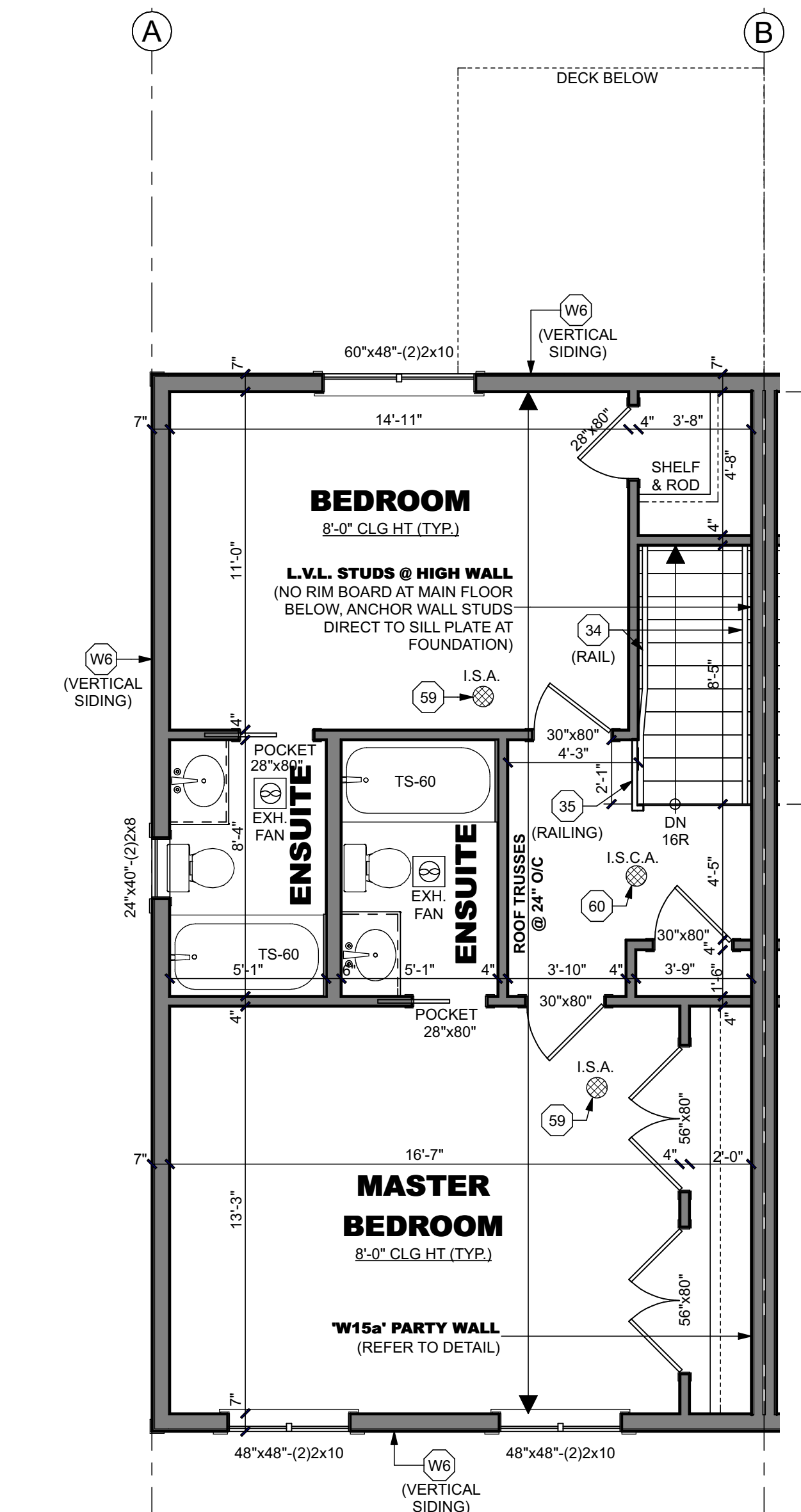
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TOTALS	GROSS LIVING AREA	- 1,312 sq. ft.

UNIT 4 - SQUARE FOOTAGES

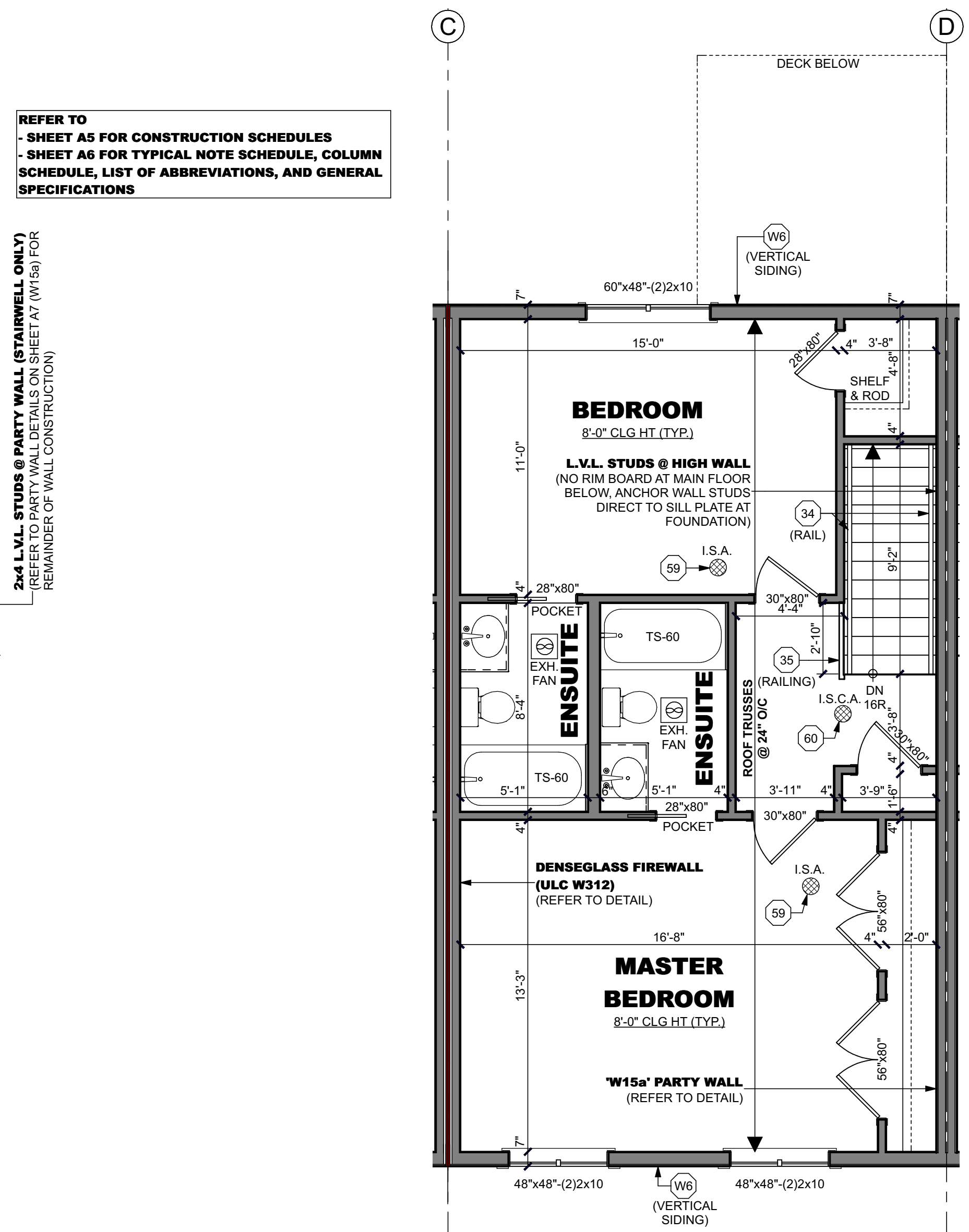
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TOTALS	GROSS LIVING AREA	- 1,312 sq. ft.

UNIT 7 - SQUARE FOOTAGES

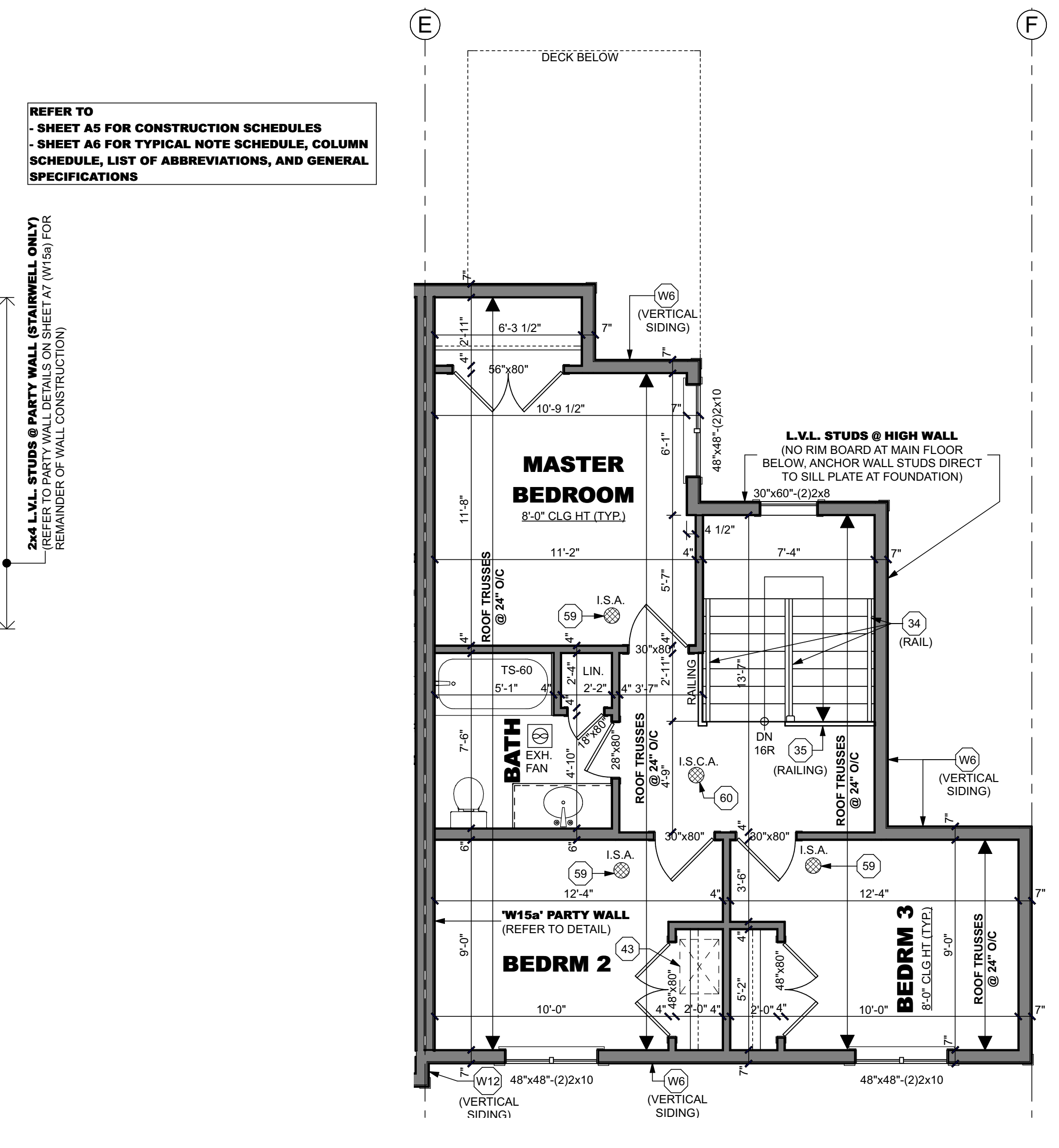
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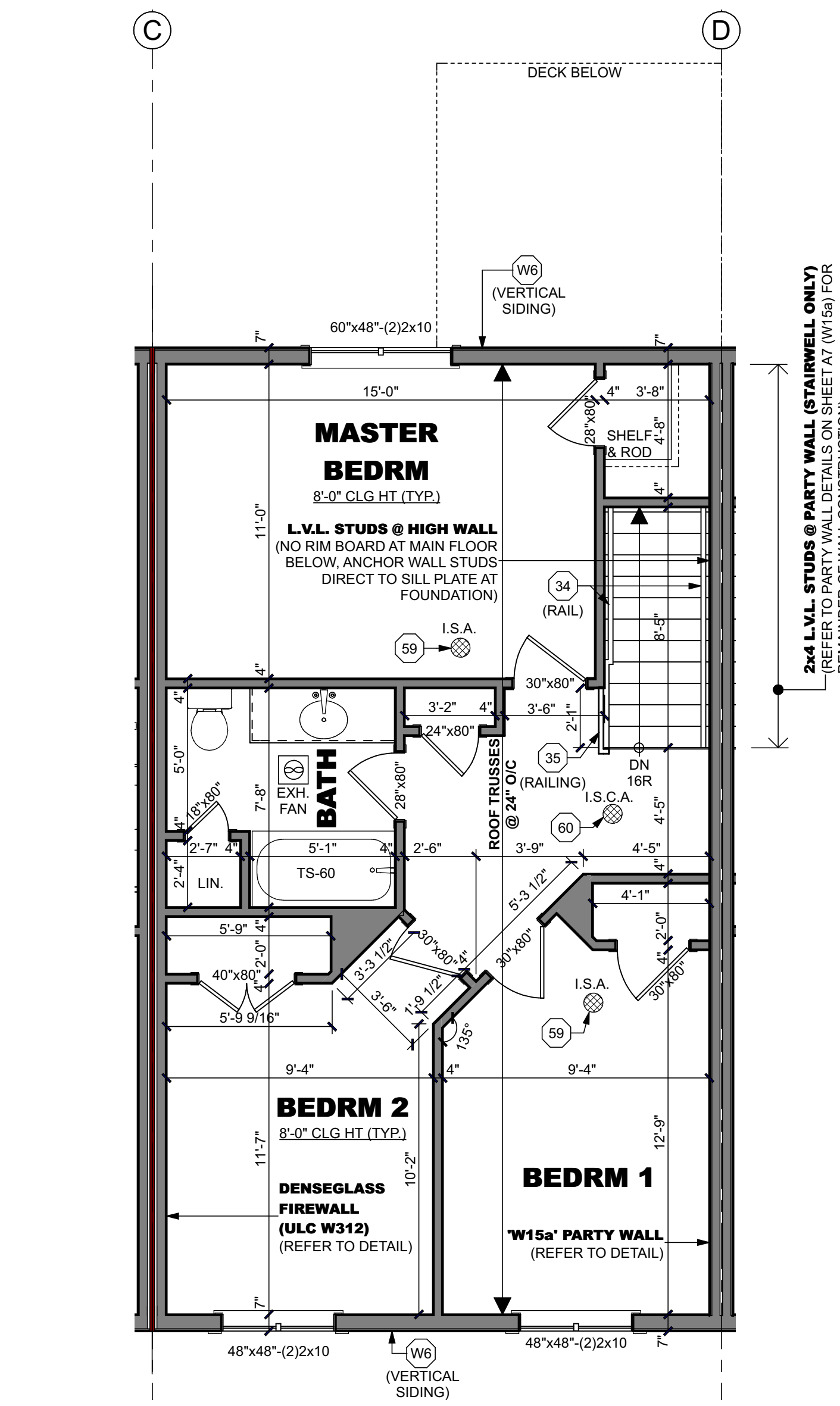
**UPPER FLOOR PLAN
 TYPICAL LAYOUT - END UNIT**
 SCALE: 1/4" = 1'-0"



**UPPER FLOOR PLAN
 TYPICAL LAYOUT - MIDDLE UNIT**
 SCALE: 1/4" = 1'-0"



**UPPER FLOOR PLAN
 TYPICAL LAYOUT - UNIQUE UNIT**
 SCALE: 1/4" = 1'-0"



**UPPER FLOOR PLAN
 3 BEDRM LAYOUT - MIDDLE UNIT**
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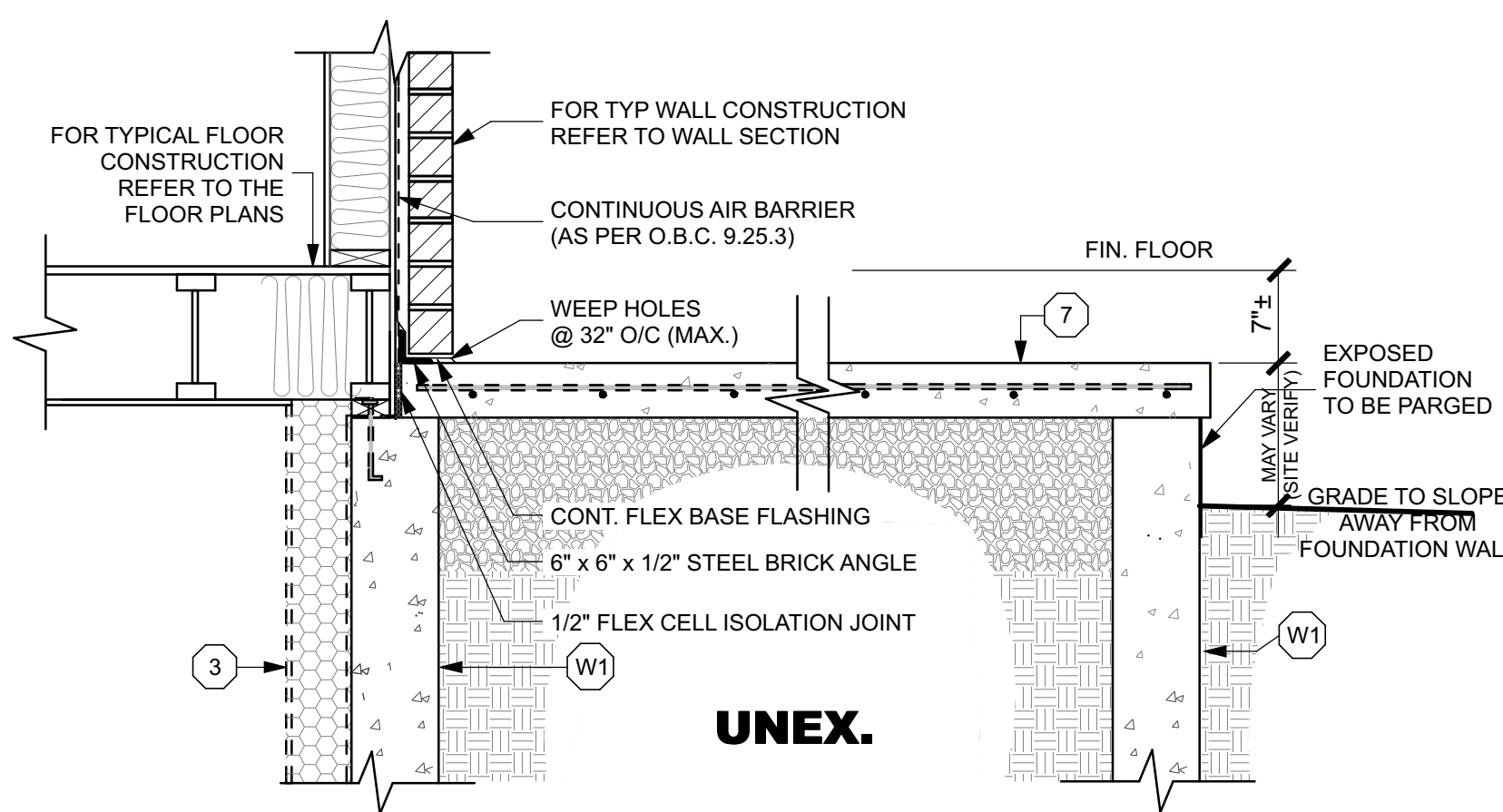
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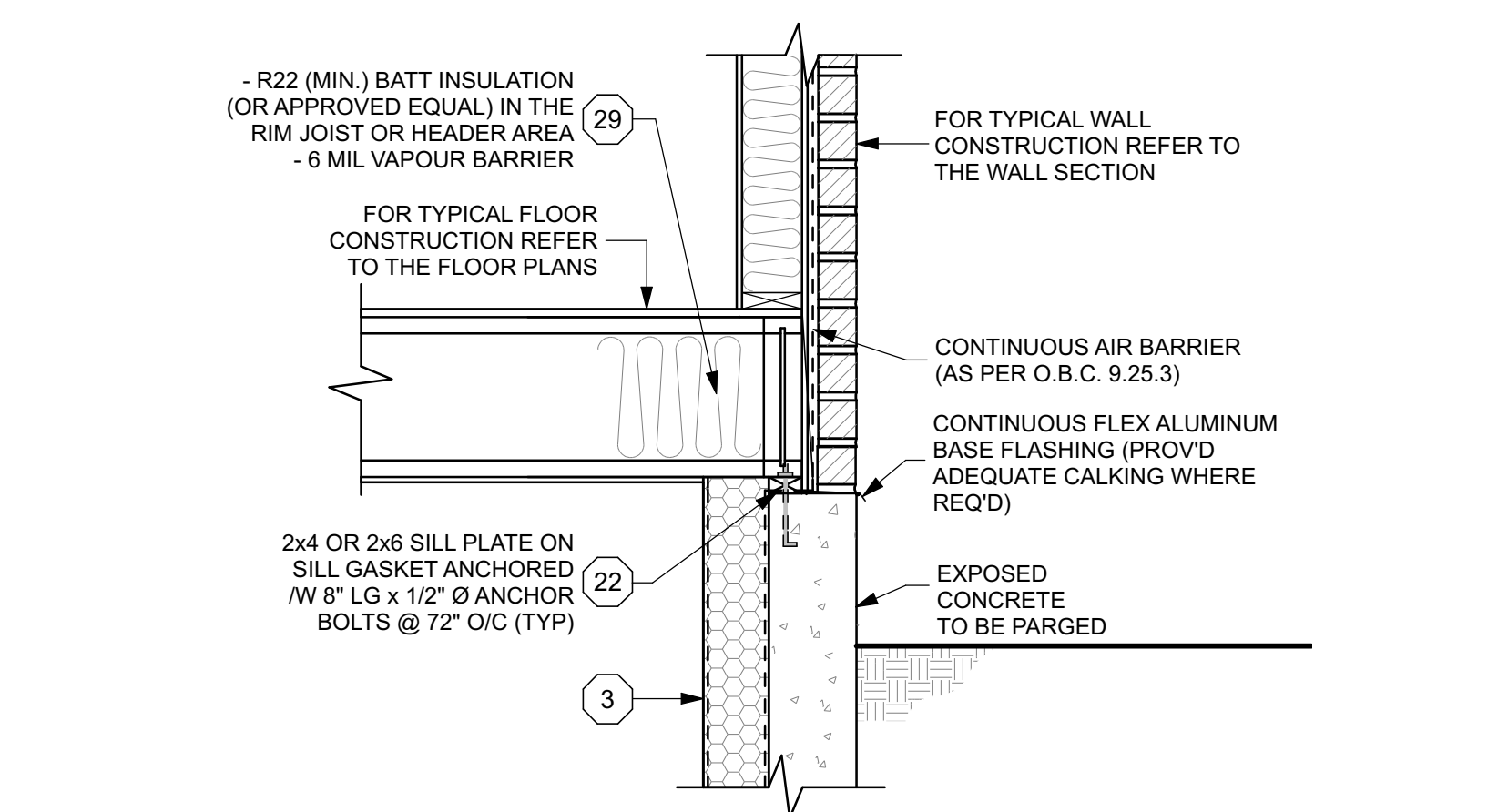
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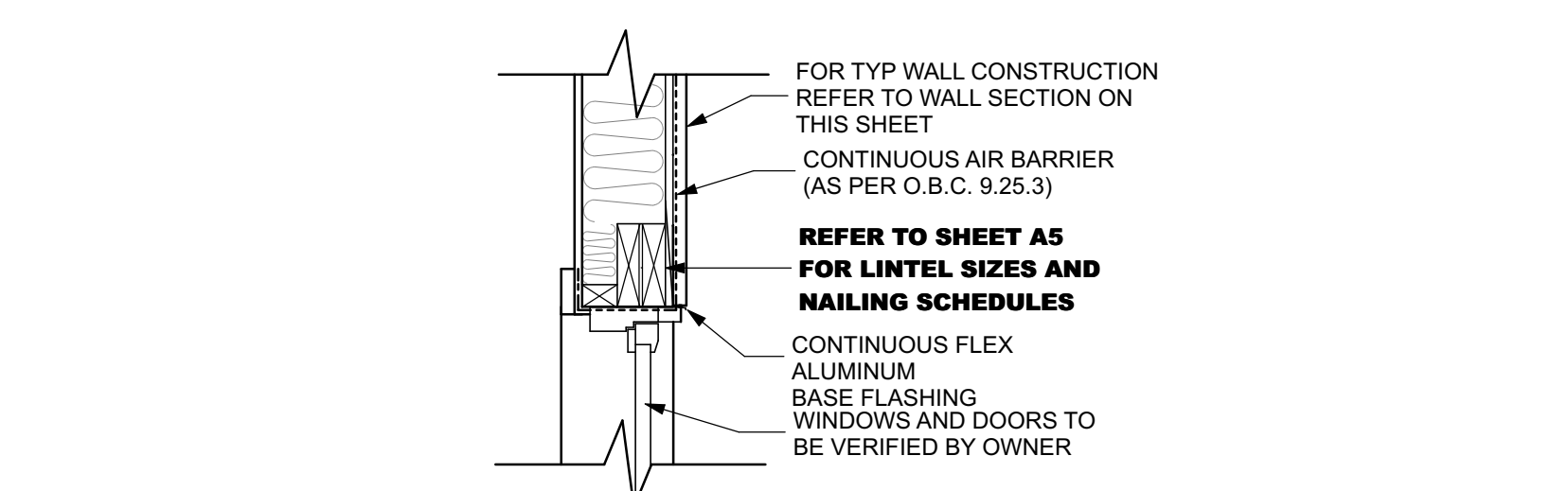
TITLE: **TYPICAL DETAILS**



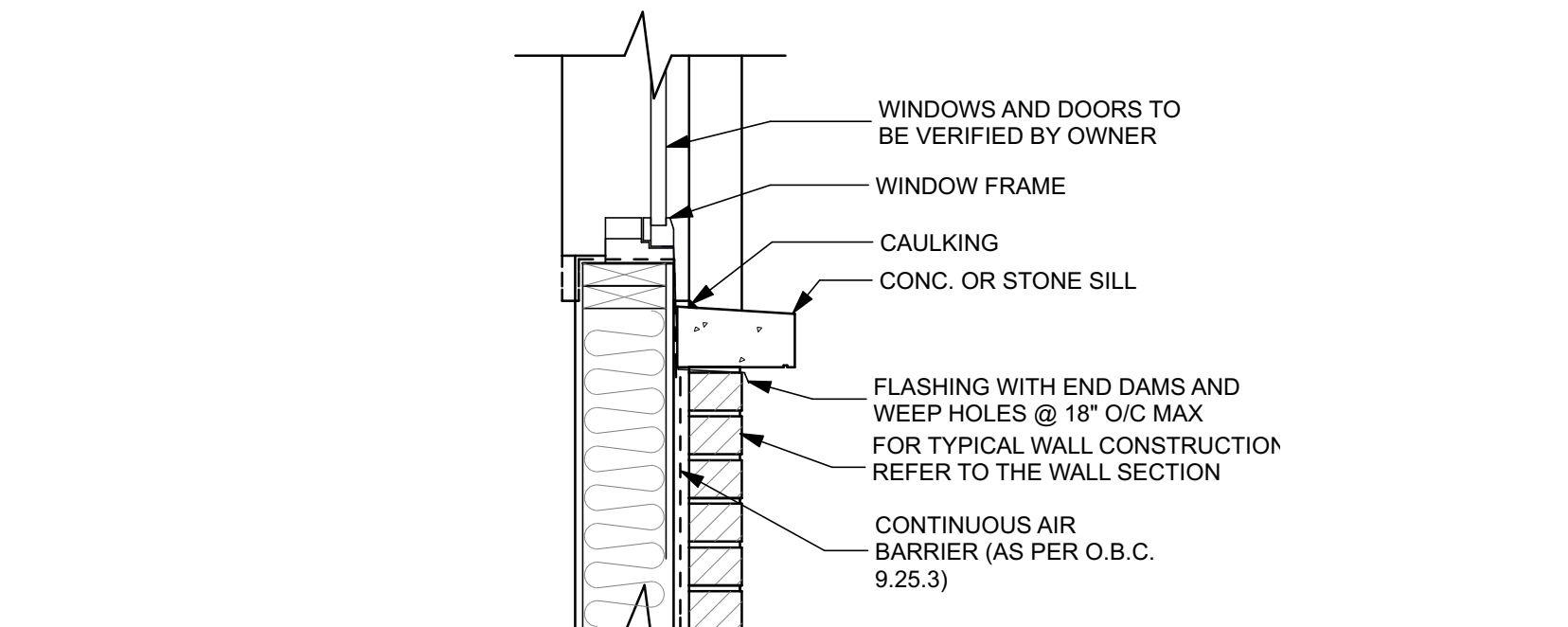
TYPICAL PORCH SLAB DETAIL
 SCALE: 3/4" = 1'-0"



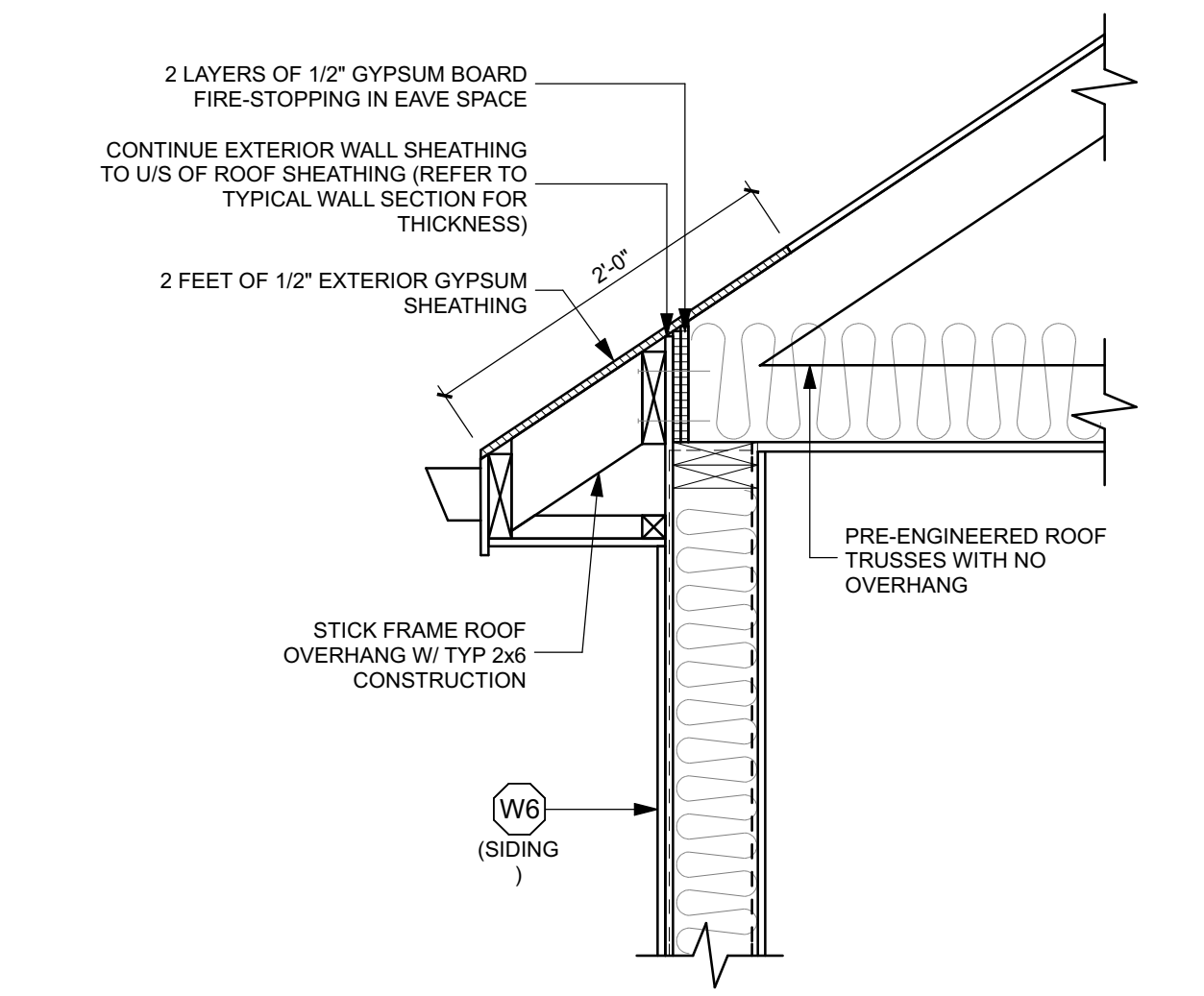
TYPICAL JOIST TO FOUNDATION CONNECTION DETAIL
 SCALE: 3/4" = 1'-0"



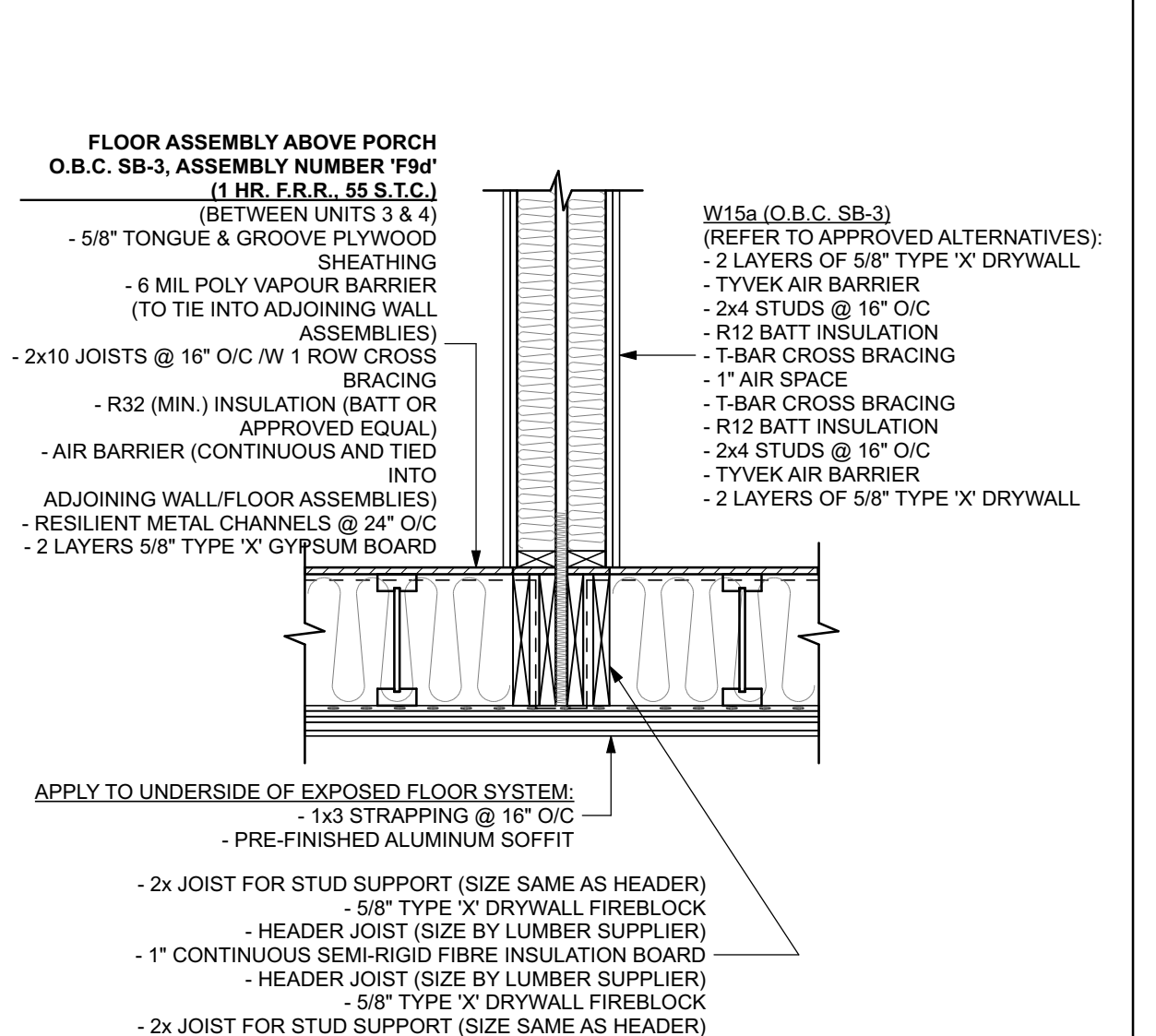
TYPICAL LINTEL DETAIL
 SCALE: 1" = 1'-0"



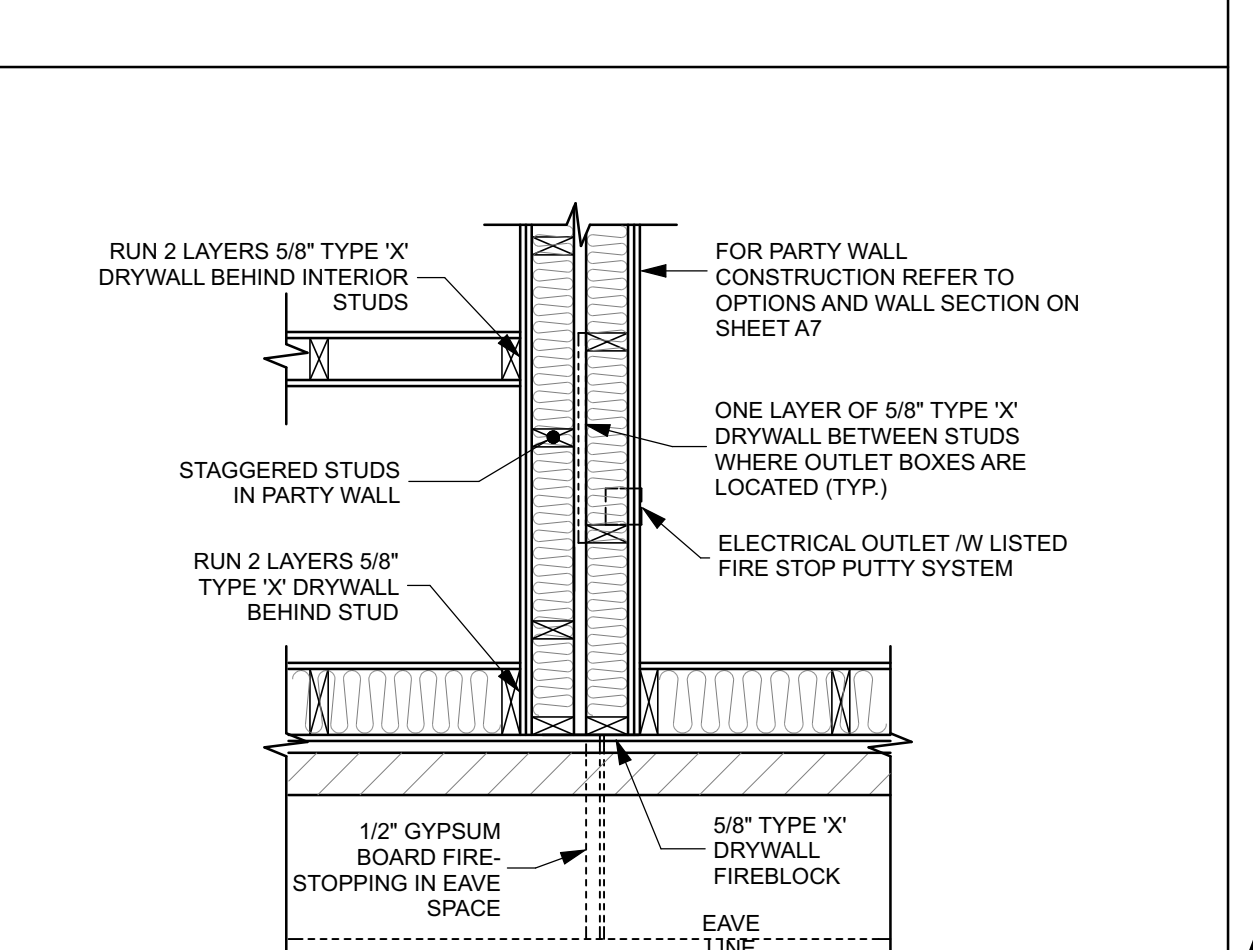
TYPICAL SILL DETAIL
 SCALE: 1" = 1'-0"



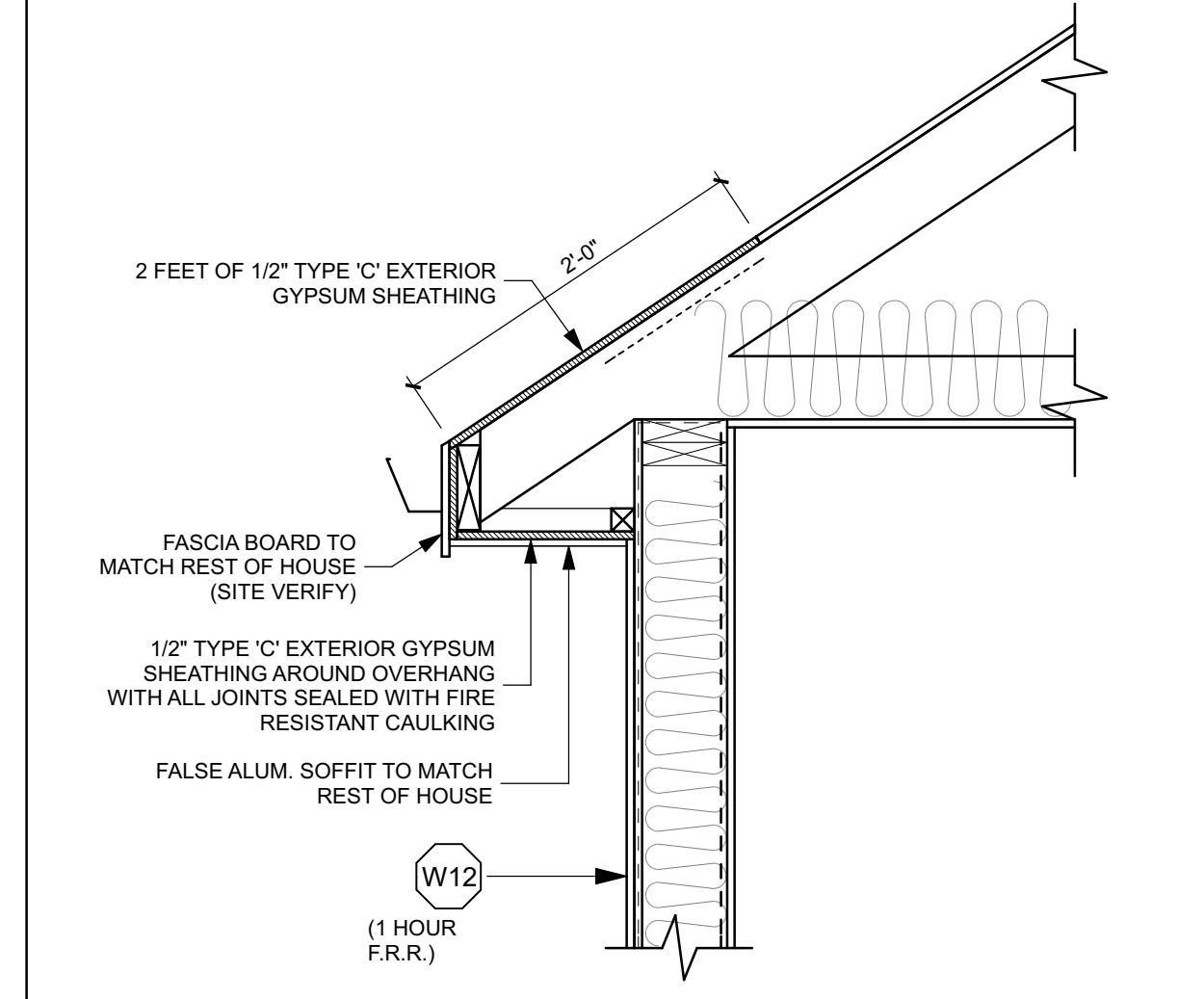
PROTECTED EAVE DETAIL
 (EAVE EXPOSED TO UNPROTECTED OPENING)
 SCALE: 1" = 1'-0"



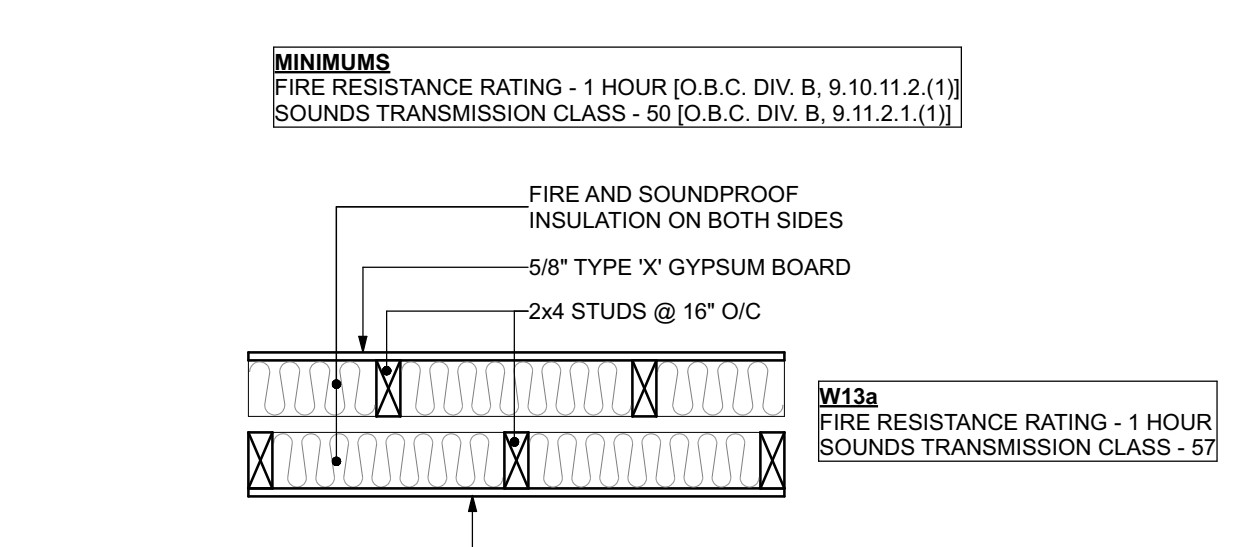
PARTY WALL ABOVE PORCH
 SCALE: 3/4" = 1'-0"



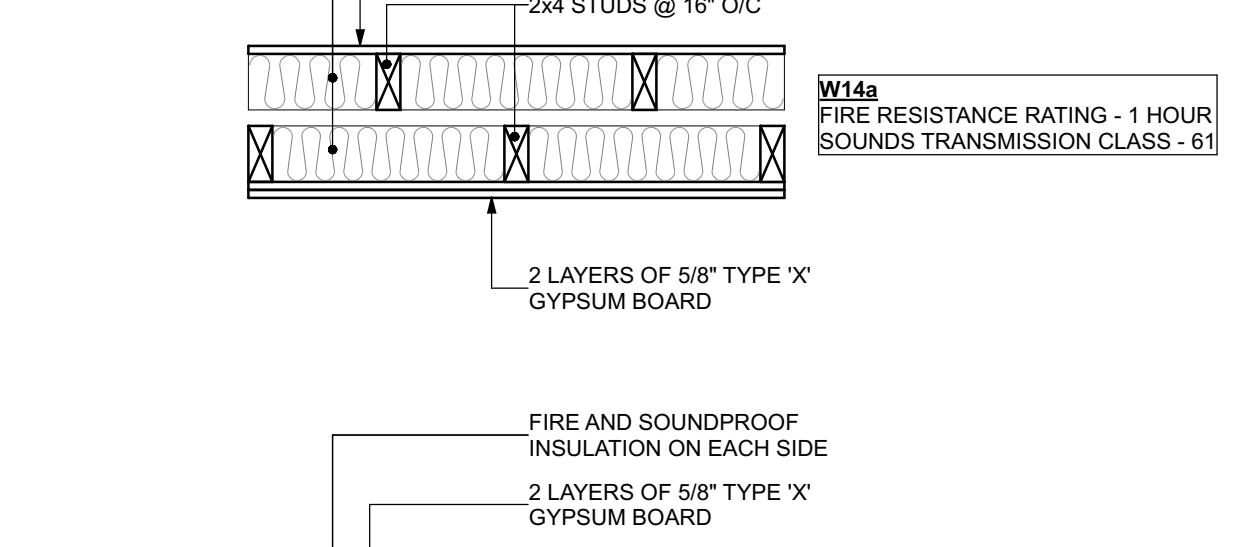
END WALL DETAIL
 SCALE: 3/4" = 1'-0"



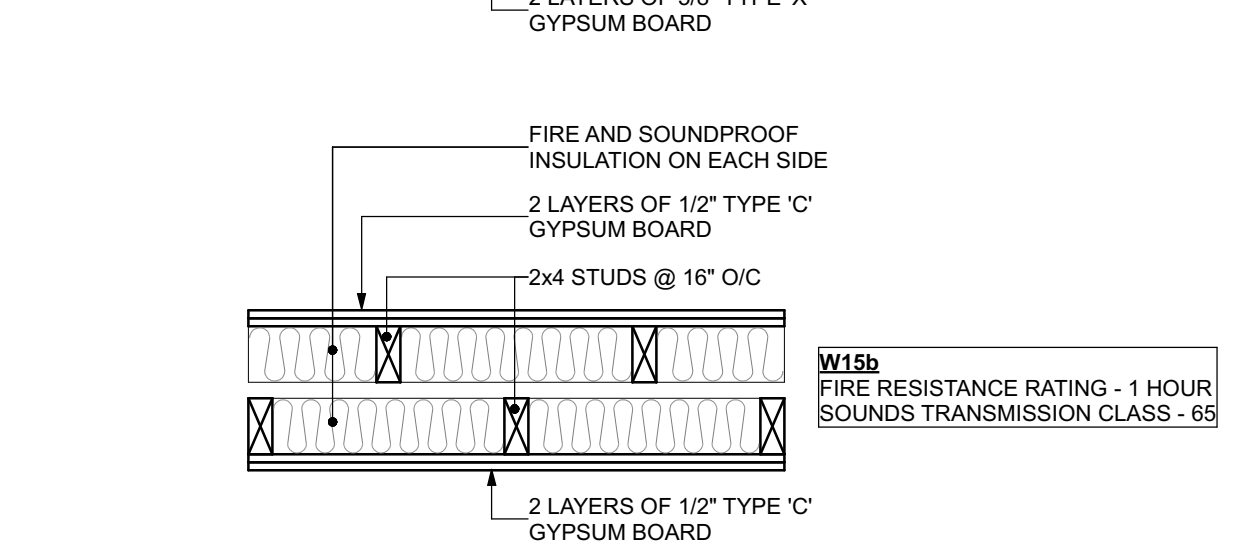
FIRE RATED EAVE DETAIL
 (FASCIA/EAVE ABOVE REQUIRED WALL W12)
 SCALE: 1" = 1'-0"



TYPICAL FIREWALL @ ROOF

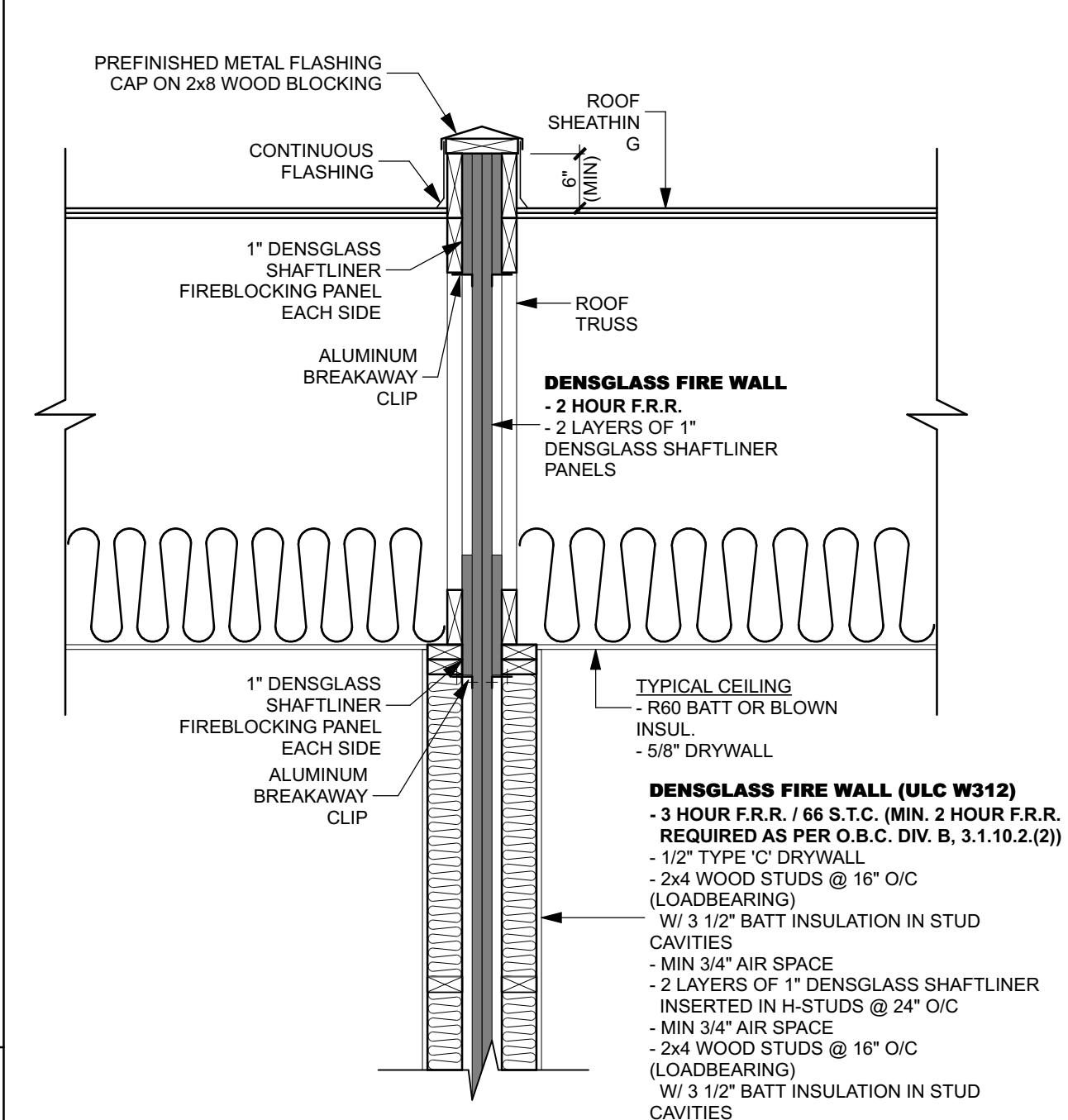


TYPICAL FIREWALL @ FLOOR

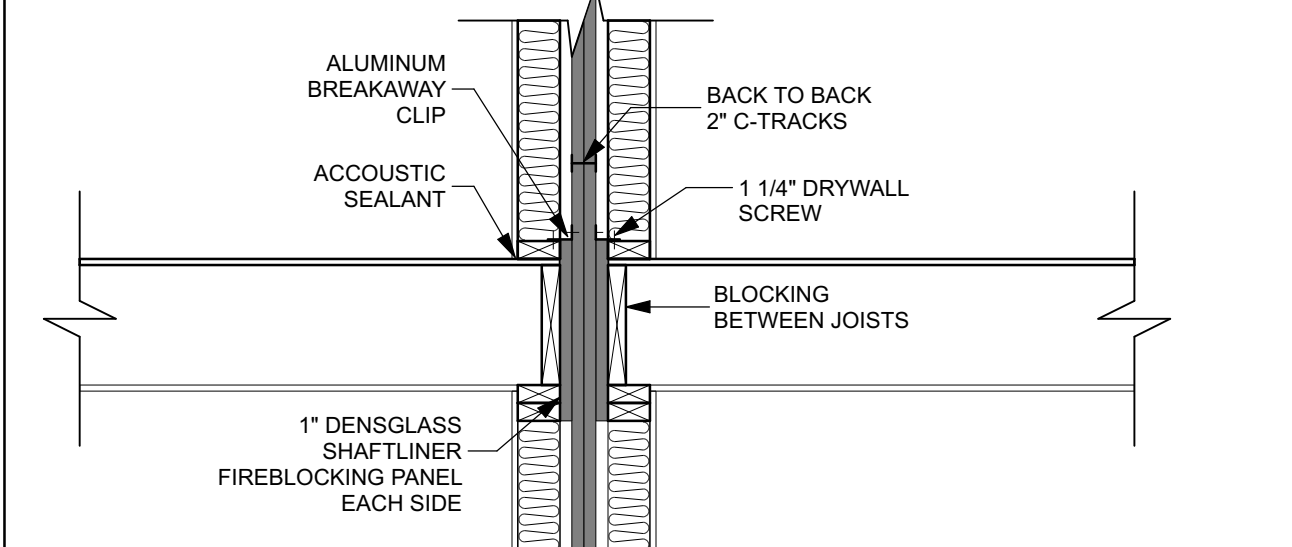


TYPICAL FIREWALL @ FLOOR

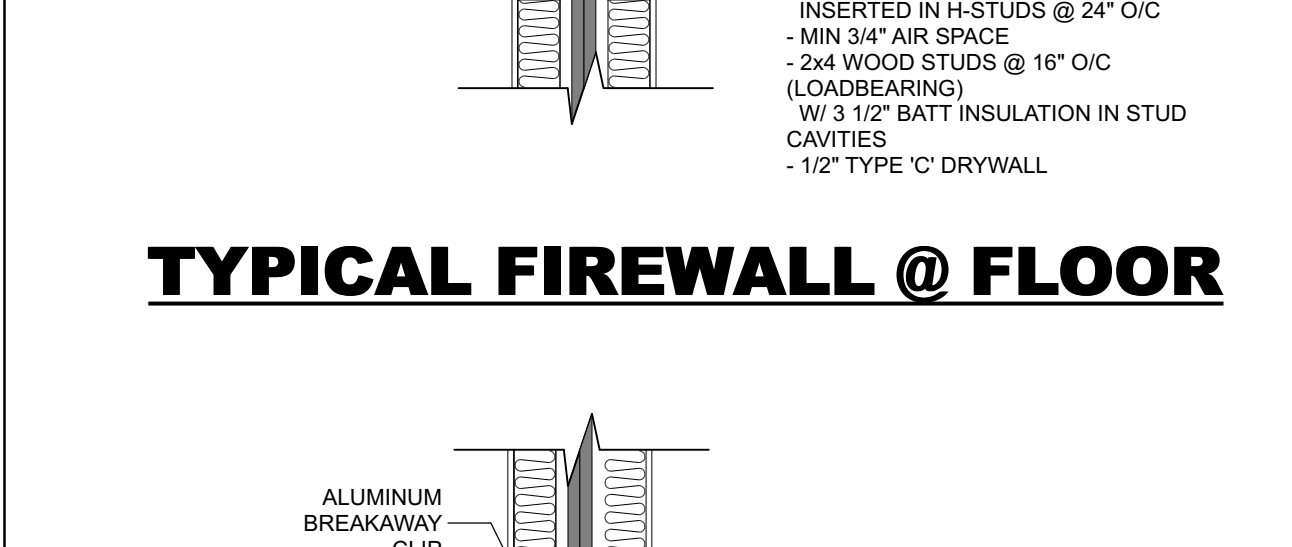
TYPICAL FIREWALL DETAILS
 SCALE: 3/4" = 1'-0"



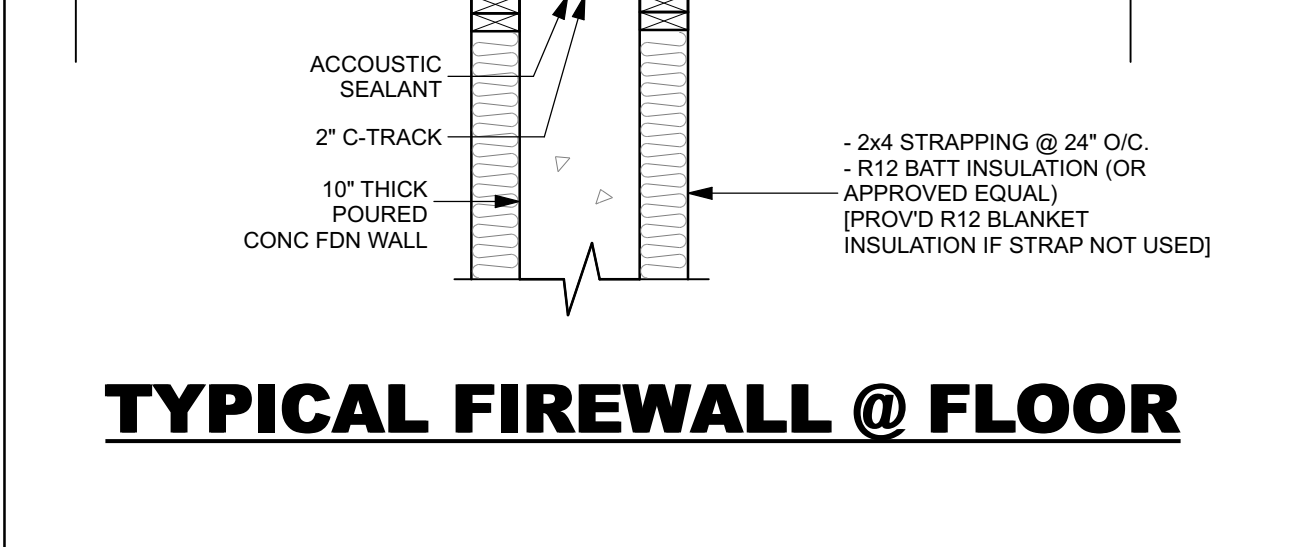
TYPICAL PARTY WALL @ ROOF



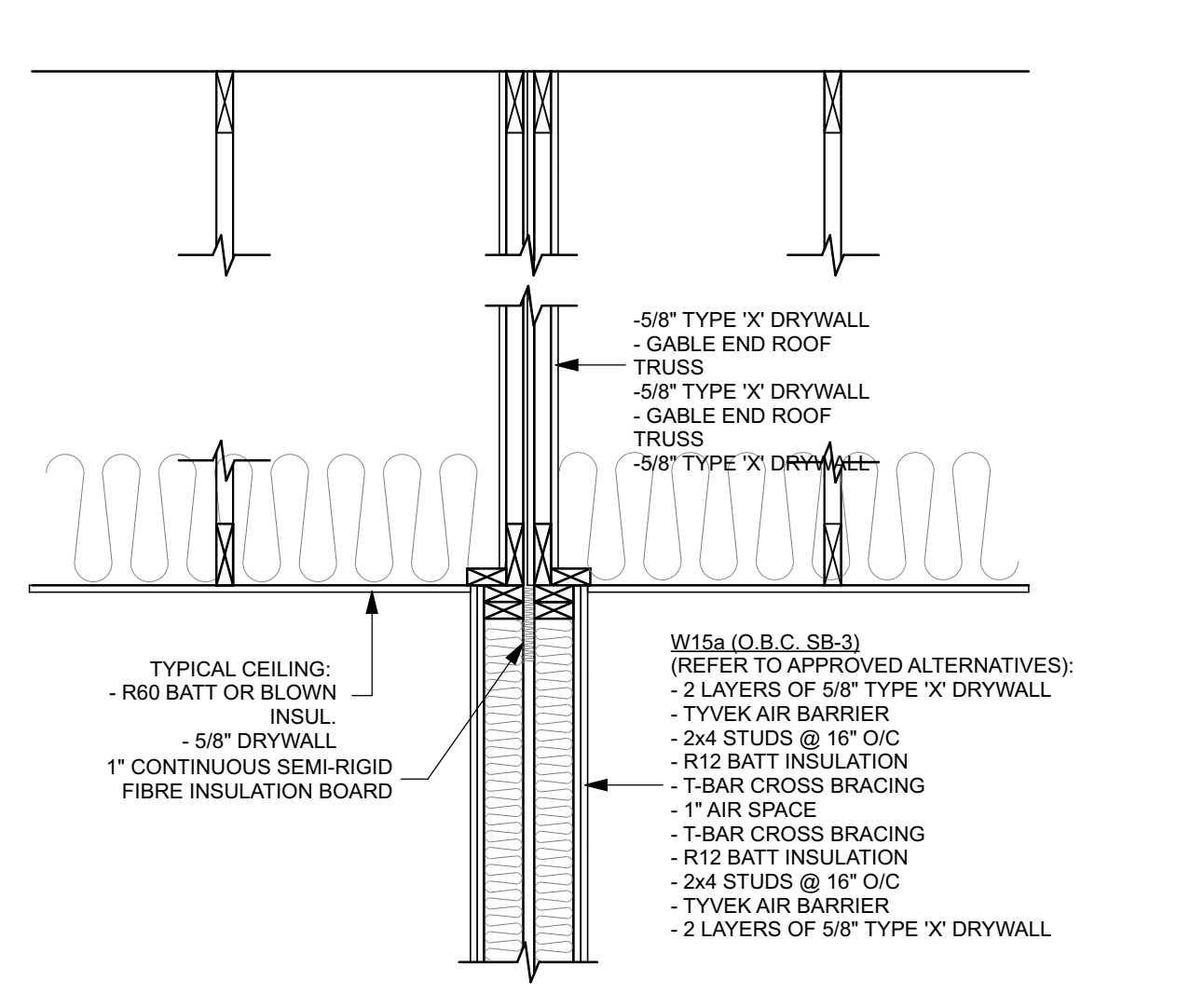
TYPICAL PARTY WALL @ FLOOR



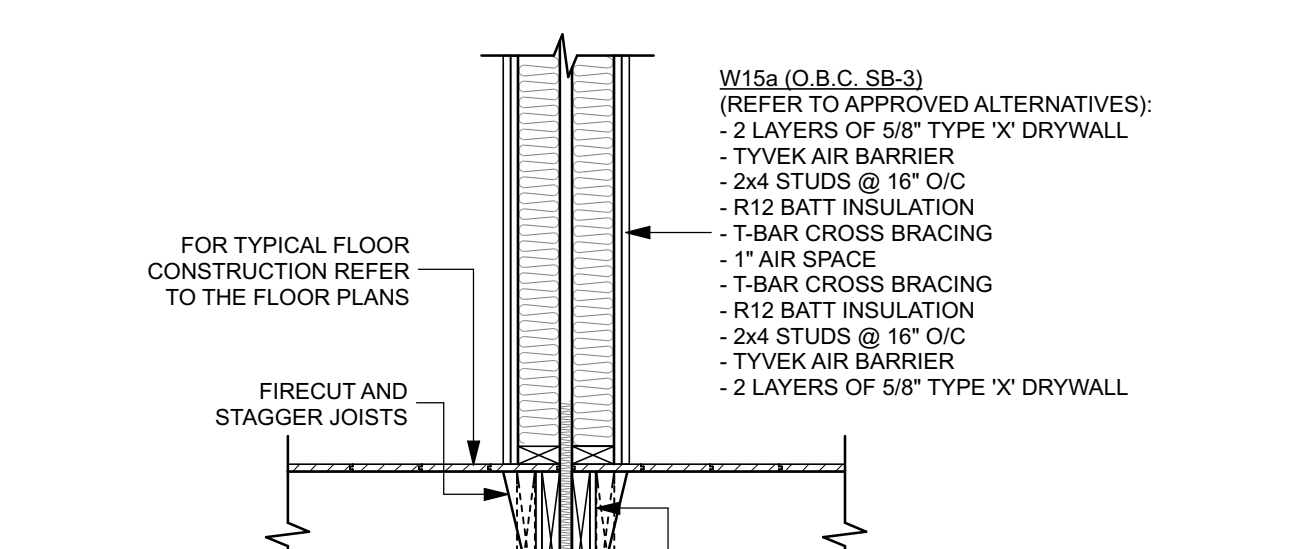
TYPICAL PARTY WALL @ FLOOR



TYPICAL PARTY WALL @ FLOOR



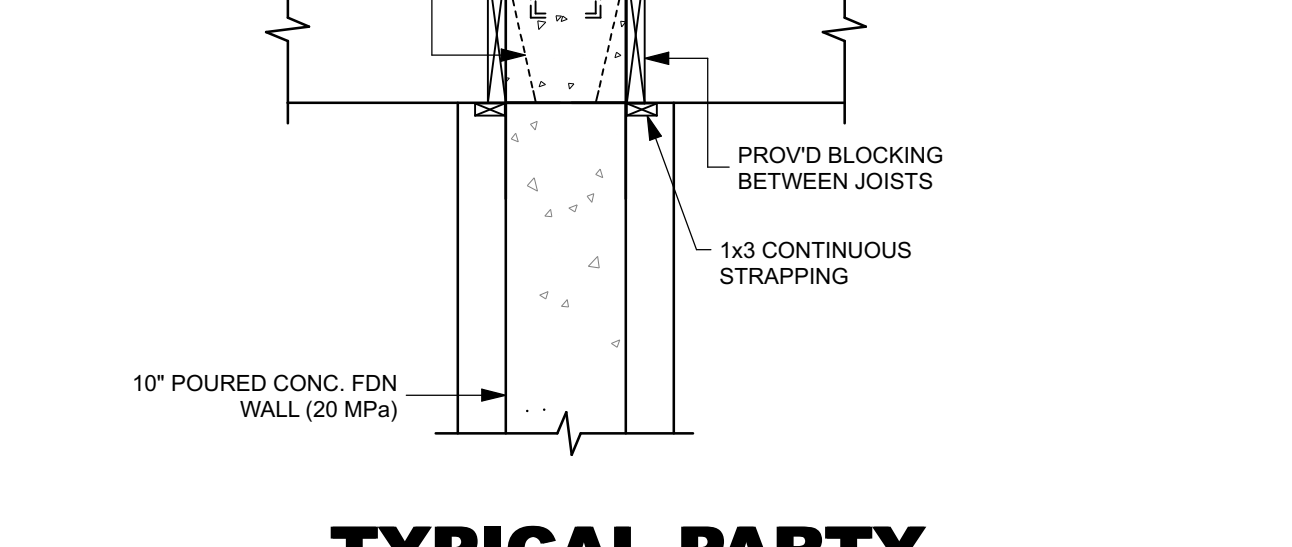
TYPICAL PARTY WALL @ ROOF



TYPICAL PARTY WALL @ FLOOR

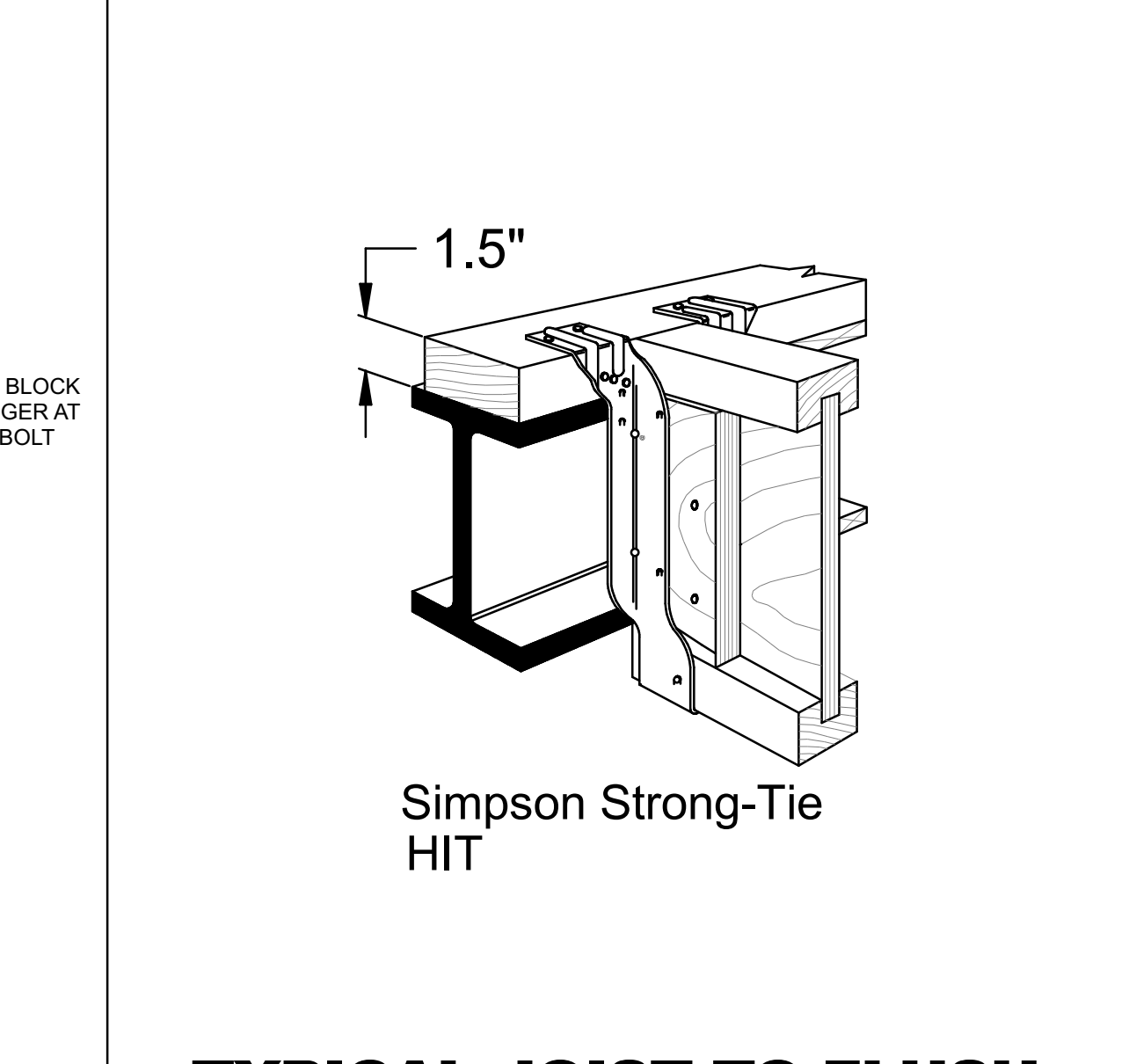
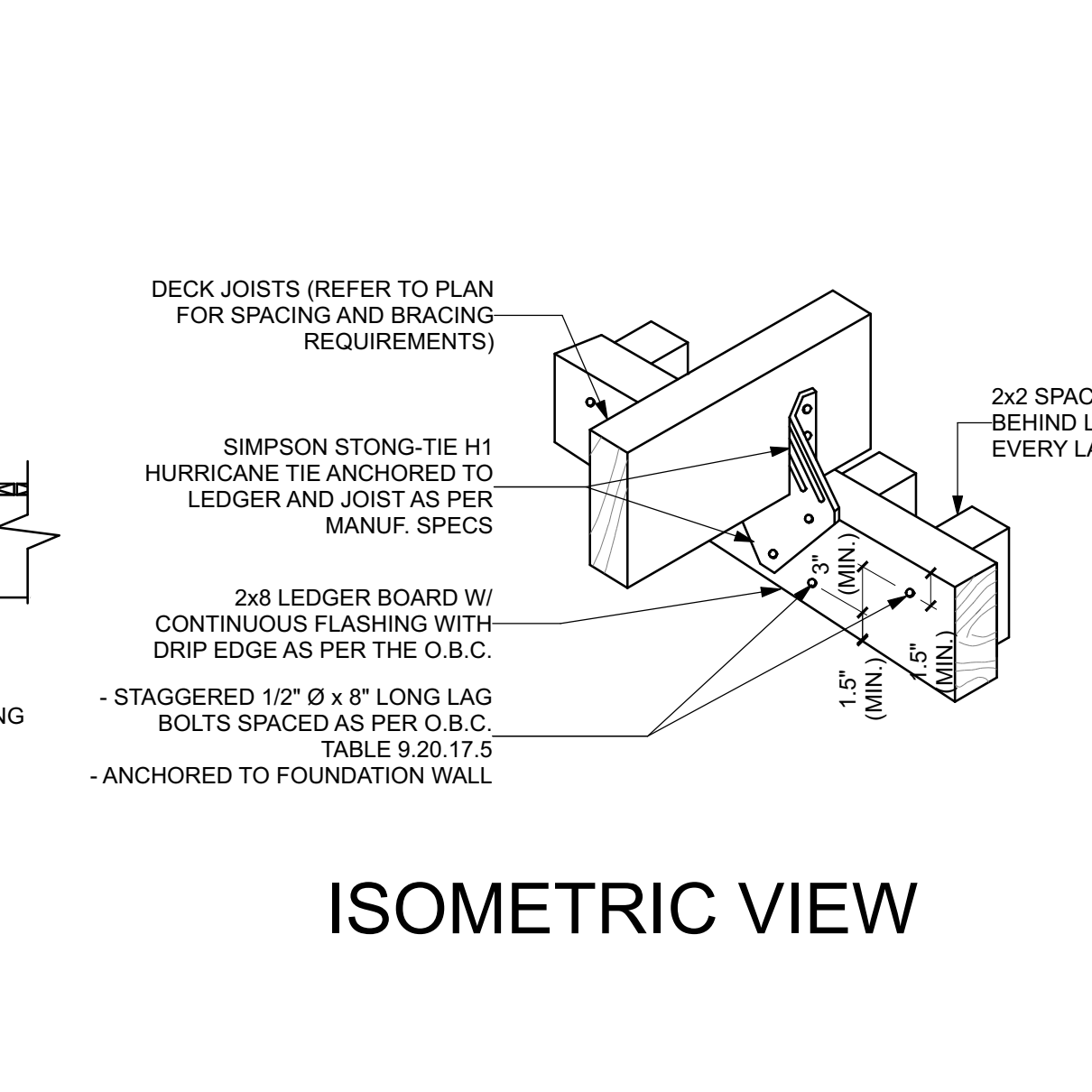
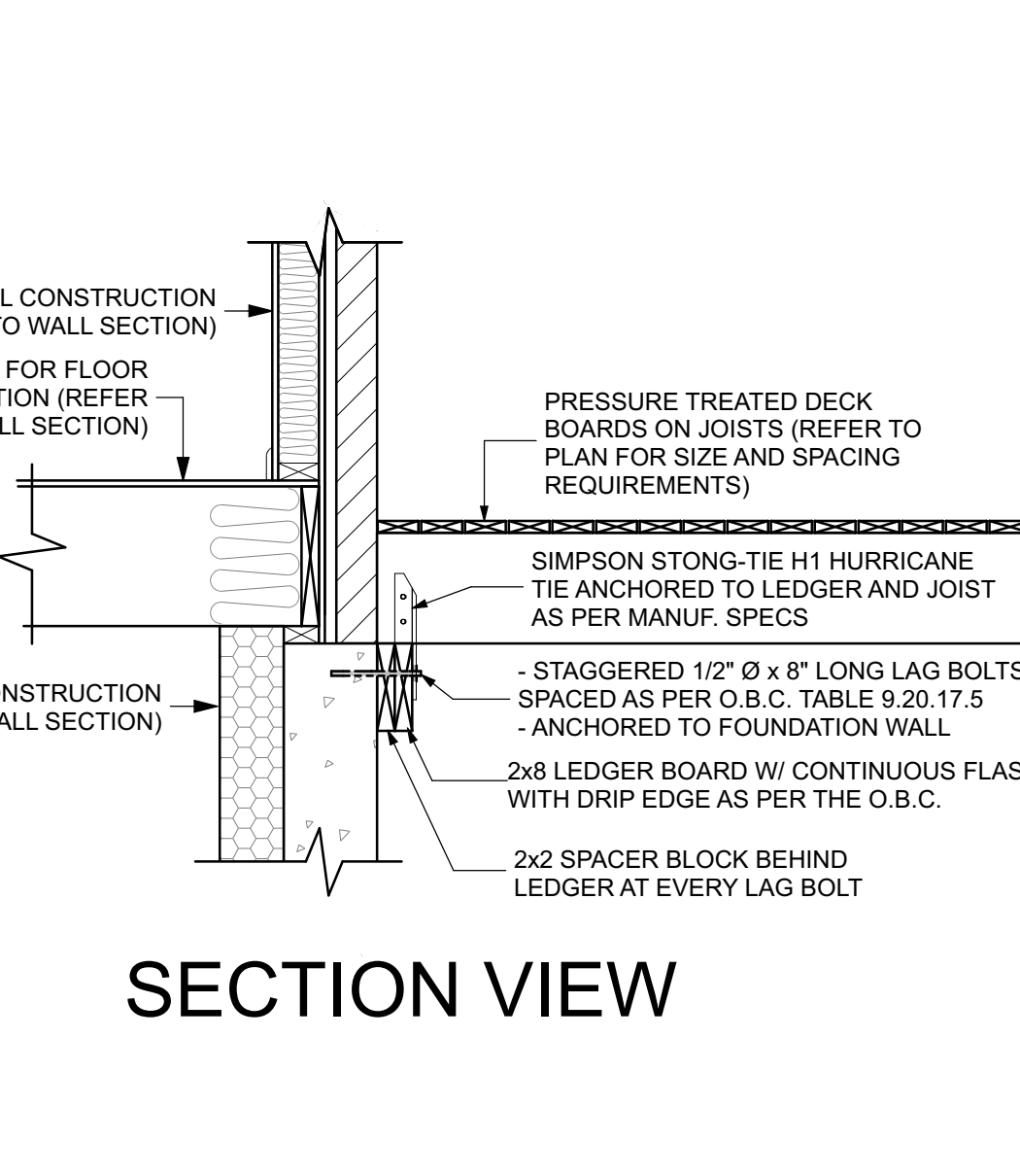
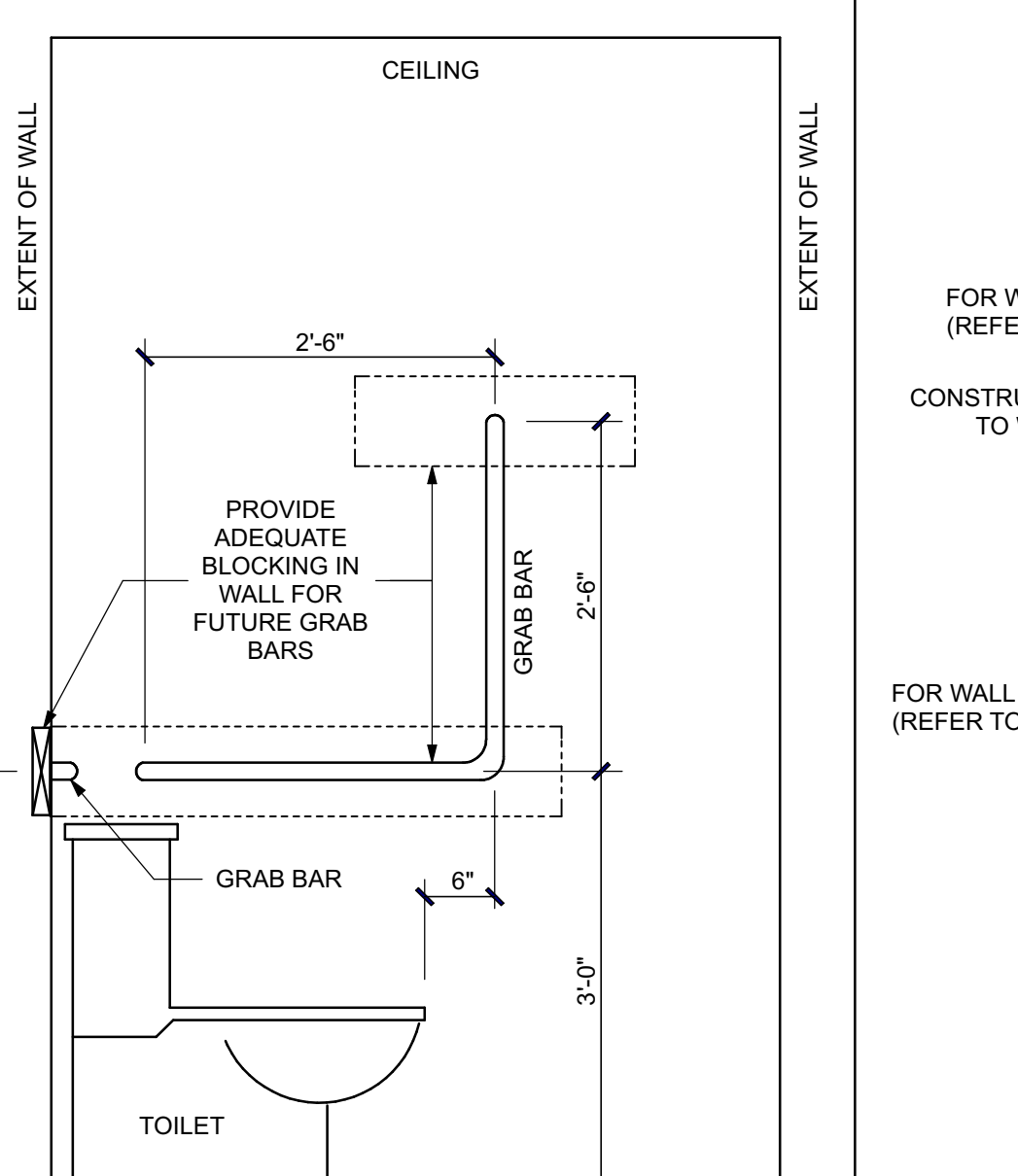
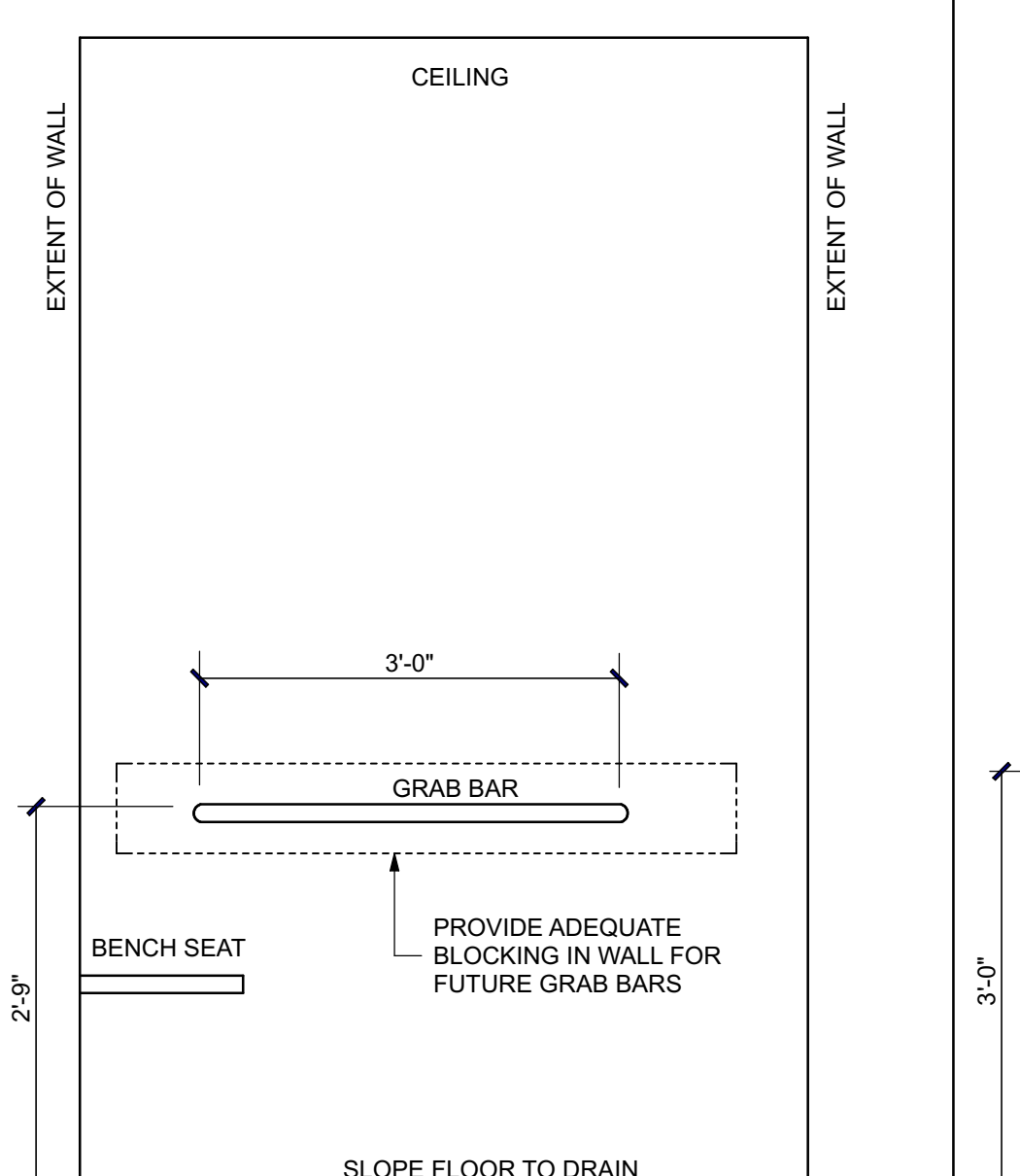
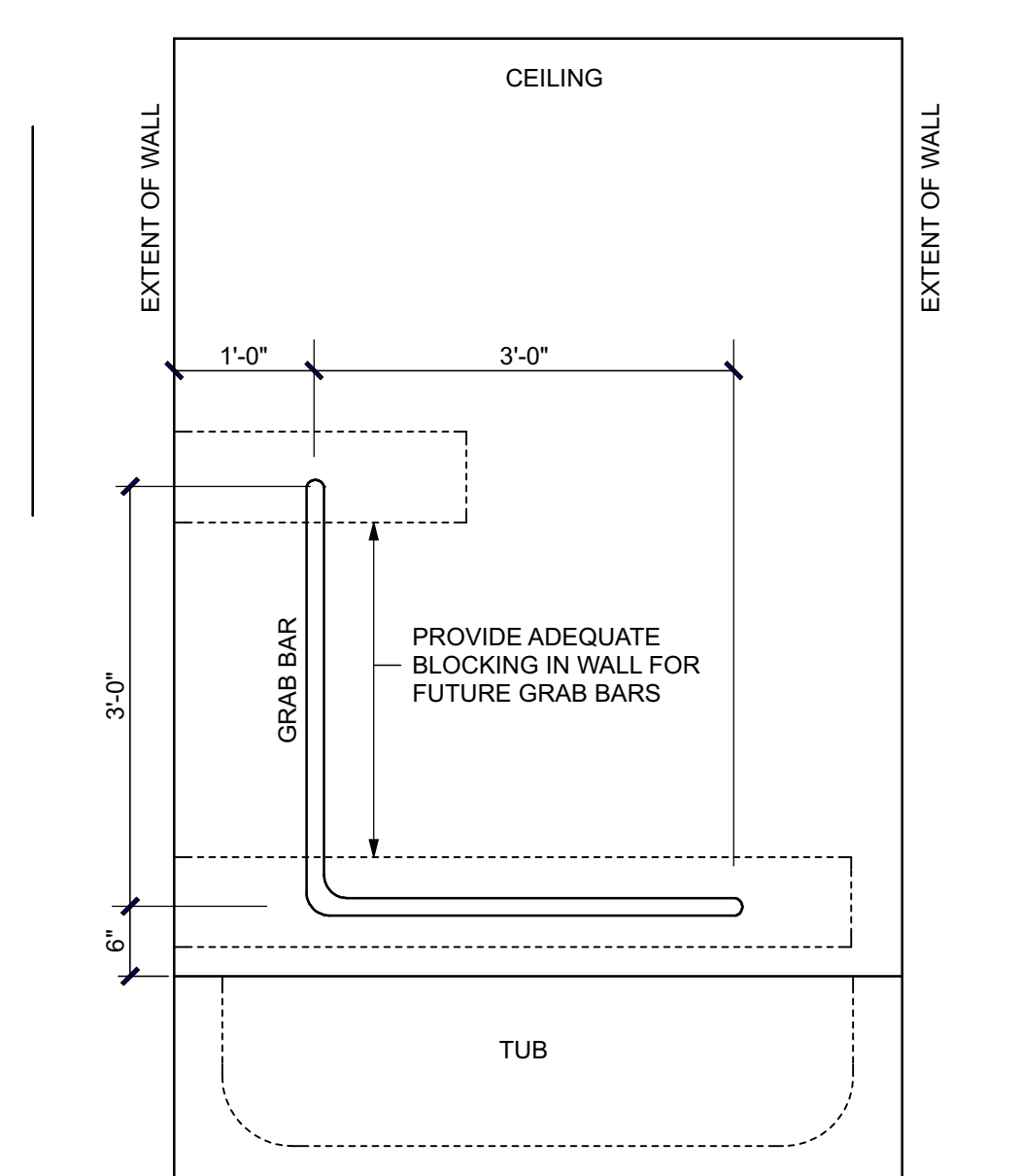


TYPICAL PARTY WALL @ FLOOR



TYPICAL PARTY WALL @ FLOOR

TYPICAL PARTY WALL DETAILS
 SCALE: 3/4" = 1'-0"



PROJECT INFO:
PROPOSED TWO STOREY TOWNHOUSES
UNITS 3 - 7
8196 McLEOD ROAD
NIAGARA FALLS, ONTARIO

NOTES:
ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE 2012 ONTARIO BUILDING CODE (UP TO AND INCLUDING ALL 2020 AMENDMENTS)

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- ALL "B" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER.
- ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/BUILDER & CONTRACTOR.
- ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

- DRAWING LIST**
- A1** FRONT & LEFT ELEVATIONS EXTERIOR 3D PERSPECTIVES
 - A2** REAR & RIGHT ELEVATIONS EXTERIOR 3D PERSPECTIVES
 - A3** FOUNDATION PLAN - FULL BLOCK FOUNDATION PLAN - SINGLE UNITS
 - A4** MAIN FLOOR PLAN - FULL BLOCK MAIN FLOOR PLAN - SINGLE UNITS
 - A5** UPPER FLOOR PLAN - FULL BLOCK UPPER FLOOR PLAN - SINGLE UNITS
 - A6** CONSTRUCTION SCHEDULES, TYP. DETAILS
 - A7** CROSS SECTION, ROOF PLAN, TYPICAL WALL SECTION, GENERAL NOTES AND SPECS, TYPICAL NOTE SCHEDULE, COLUMN SCHEDULE, LIST OF ABBREVIATIONS, GENERAL CONSTRUCTION NOTES

NO.	DATE:	REVISION:	BY

CERTIFICATION:

DESIGNED BY: MIKE CORRIVEAU

DR. BY: ANDRE LACOURSIERE C.C. JOB #: 2020-42

DATE: 2020-06-01 SCALE: AS SHOWN

TITLE: **CROSS SECTION, ROOF PLAN, TYP. WALL SECTION**

WOOD LINTEL SCHEDULE
(O.B.C. 9.23.12.3)

LINTEL SUPPORTING	LINTEL SIZE	MAXIMUM SPAN, m				
		EXTERIOR WALLS	SPECIFIED SNOW LOAD, kPa			INTERIOR WALLS
		1.0	1.5	2.0	2.5	3.0
LIMITED ATTIC STORAGE AND CEILING	2 - 1 1/2 x 3 1/2	4'-2"	6'-4"	7'-9"	9'-5"	11'-0"
	2 - 1 1/2 x 5 1/2	6'-4"	9'-5"	11'-0"	13'-11"	15'-7"
	2 - 1 1/2 x 11 1/4	11'-0"	15'-7"	19'-3"	22'-11"	25'-7"
ROOF AND CEILING ONLY (TRIBUTARY WITH 0.6m MAXIMUM)	2 - 1 1/2 x 3 1/2	6'-2"	8'-10"	10'-6"	12'-10"	14'-6"
	2 - 1 1/2 x 5 1/2	8'-10"	12'-10"	15'-7"	18'-5"	20'-3"
	2 - 1 1/2 x 11 1/4	17'-4"	20'-11"	24'-2"	27'-11"	31'-3"
ROOF AND CEILING ONLY (TRIBUTARY WITH 0.9m MAXIMUM)	2 - 1 1/2 x 3 1/2	5'-2"	7'-4"	9'-5"	11'-0"	12'-10"
	2 - 1 1/2 x 5 1/2	7'-4"	10'-6"	13'-11"	16'-3"	18'-5"
	2 - 1 1/2 x 11 1/4	14'-6"	18'-5"	22'-11"	27'-11"	31'-3"
ROOF AND CEILING AND 1 STOREY	2 - 1 1/2 x 3 1/2	3'-5"	5'-2"	6'-8"	8'-10"	10'-6"
	2 - 1 1/2 x 5 1/2	5'-2"	7'-4"	9'-5"	11'-0"	12'-10"
	2 - 1 1/2 x 11 1/4	10'-6"	14'-6"	18'-5"	22'-11"	27'-11"
ROOF AND CEILING AND 2 STOREYS	2 - 1 1/2 x 3 1/2	3'-11"	4'-5"	5'-6"	6'-8"	7'-8"
	2 - 1 1/2 x 5 1/2	4'-5"	5'-6"	6'-8"	8'-10"	10'-6"
	2 - 1 1/2 x 11 1/4	7'-7"	9'-5"	11'-0"	13'-11"	15'-7"
ROOF AND CEILING AND 3 STOREYS	2 - 1 1/2 x 3 1/2	2'-11"	2'-9"	3'-2"	3'-5"	3'-8"
	2 - 1 1/2 x 5 1/2	2'-9"	3'-2"	3'-5"	3'-8"	4'-2"
	2 - 1 1/2 x 11 1/4	5'-0"	6'-11"	8'-5"	10'-0"	11'-6"

NAILING FOR FRAMING
(O.B.C. 9.23.3.4)

CONSTRUCTION DETAIL	MIN. LENGTH OF NAILS, in	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
FLOOR JOISTS TO PLATE - TOE NAIL	3 1/4"	2
WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	2 1/4"	2
CROSS BRIDGING TO JOISTS	2 1/4"	2 AT EACH END
DOUBLE HEADER OR TRIMMER JOISTS	3"	11 3/4" O/C
FLOOR JOIST TO STUD (BALCONY CONSTRUCTION)	3"	2
LEADER STRIP TO WOOD BEAM	3 1/4"	2 PER JOIST
JOIST TO JOIST SPLICE (SEE ALSO TABLE 9.23.13.8)	3"	2 AT EACH END
HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER	4"	3
TAIL JOIST TO ADJACENT HEADER JOIST (END NAILED AROUND OPENINGS)	3 1/4"	5
EACH HEADER JOIST TO ADJACENT TRIMMER JOIST (END NAILED AROUND OPENINGS)	3 1/4"	5
STUD TO WALL PLATE (EACH END)	2 1/2"	4
TOE NAIL OR END NAIL	3 1/4"	2
DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3"	30" O/C
DOUBLED TOP WALL PLATES	3"	23 5/8" O/C
BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)	3 1/4"	15 3/4" O/C
INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4"	23 5/8" O/C
HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS - EACH END	3 1/4"	2
LINTELS TO STUDS	3 1/4"	2 AT EACH END
CEILING JOIST TO PLATE - TOE NAIL EACH END	3 1/4"	2
RAFTER TO PLATE - TOE NAIL	3 1/4"	3
RAFTER TO JOIST WITH RIDGE SUPPORTED	3"	3
RAFTER TO JOIST WITH RIDGE UNSUPPORTED	3"	SEE O.B.C. TABLE 9.23.13.8
GUSSET PLATE TO EACH RAFTER AT PEAK	2 1/4"	4
RAFTER AT RIDGE BOARD - TOE NAIL - END NAIL	3 1/4"	3
COLLAR TIE TO RAFTER, EACH END	3"	3
COLLAR TIE LATERAL SUPPORT TO EACH COLLAR TIE	2 1/4"	2
BACK RAFTER TO HIP OR VALLEY RAFTER	3 1/4"	2
ROOF STRUT TO RAFTER	3"	3
ROOF STRUT TO LOADBEARING WALL - TOE NAIL	3 1/4"	2
2" x 6" OR LESS PLANK DECKING TO SUPPORT	3 1/4"	2
PLANK DECKING WIDER THAN 2" x 6" TO SUPPORT	3 1/4"	3
2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
2" EDGE LAID PLANK TO EACH OTHER	3"	17 3/4" O/C

FASTENERS FOR SHEATHING AND SUBFLOORING
(O.B.C. 9.23.2.5)

ELEMENT	MINIMUM LENGTH FOR FASTENERS, in	MINIMUM NUMBER OR MAXIMUM SPACING OF FASTENERS
BOARD LUMBER 1 1/4" OR LESS WIDE	2"	2 PER SUPPORT
BOARD LUMBER MORE THAN 1 1/4" WIDE	2"	2 PER SUPPORT
FIBREBOARD SHEATHING UP TO 1/2" THICK	N/A	N/A
CYCLON SHEATHING UP TO 1/2" THICK	N/A	N/A
PLYWOOD, OSB OR WAFERBOARD UP TO 3/8" THICK	2"	1 1/2" ALONG EDGES AND 11 3/4" O/C
PLYWOOD, OSB OR WAFERBOARD FROM 3/8" TO 1 3/16" THICK	2"	1 1/2" ALONG INTERMEDIATE SUPPORTS
PLYWOOD, OSB, OR WAFERBOARD OVER 1 3/16" THICK	2 1/4"	2"

STEEL LINTEL SCHEDULE
FOR STEEL LINTELS SUPPORTING MASONRY VENEER
(O.B.C. 9.20.5.2.8)

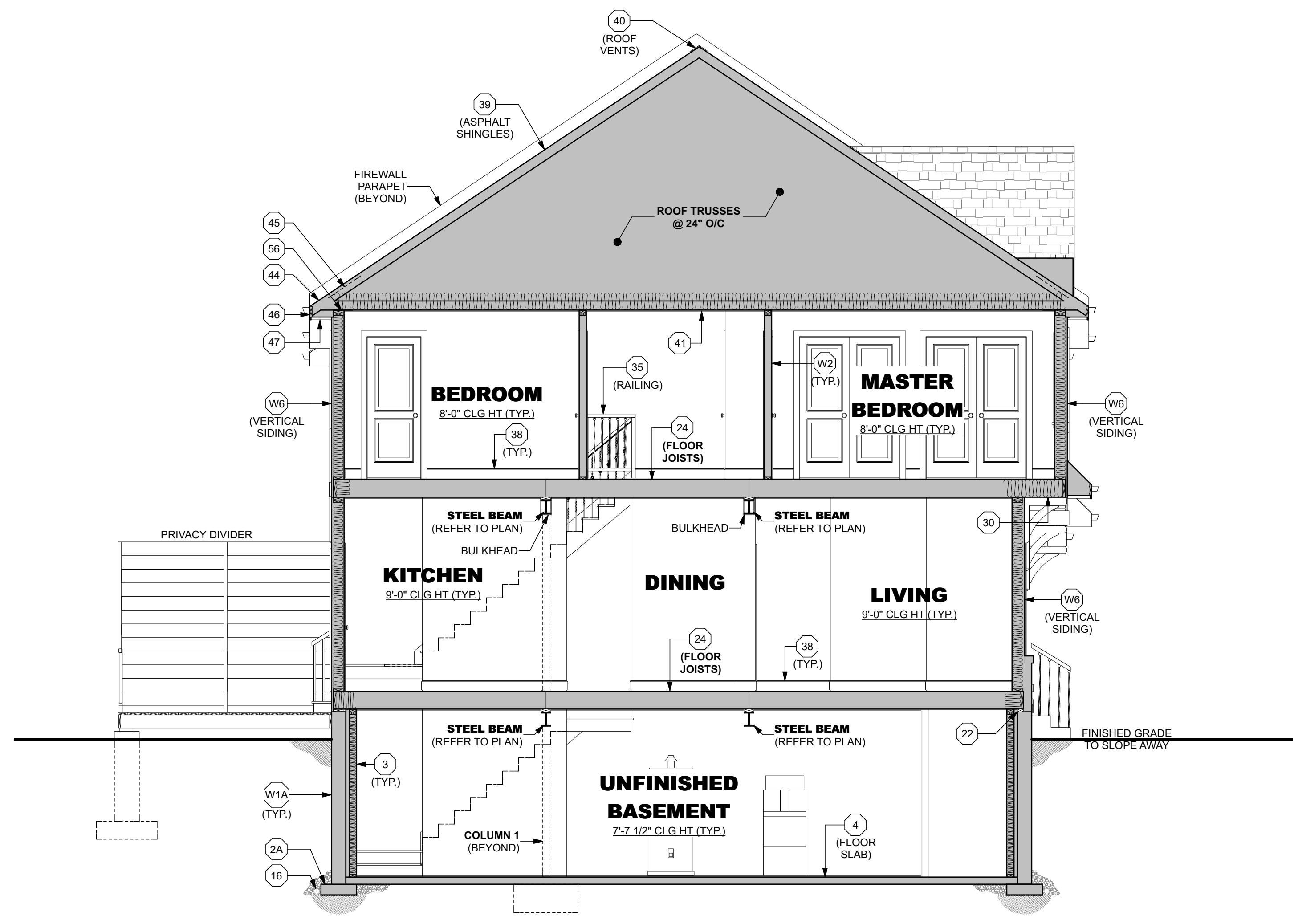
MIN. ANGLE SIZE (LL.V)	MAX. ALLOWABLE SPAN		
	FOR BRICK (2 3/4")	FOR BRICK (3 1/2")	FOR STONE
L-3 1/2" x 3 1/2" x 1/4"	8'-0"	8'-0"	7'-0"
L-4" x 3 1/2" x 1/4"	9'-2"	8'-0"	8'-2"
L-4 7/8" x 3 1/2" x 5/16"	11'-5"	10'-10"	10'-11"
L-4 7/8" x 3 1/2" x 3/8"	11'-11"	11'-5"	10'-8"
L-4 7/8" x 3 1/2" x 1/2"	12'-7"	11'-9"	10'-11"
L-5 7/8" x 3 1/2" x 3/8"	13'-4"	12'-7"	11'-6"
L-5 7/8" x 3 1/2" x 1/2"	14'-2"	13'-5"	12'-6"
L-5 7/8" x 4" x 1/2"	14'-4"	13'-0"	12'-7"
L-7 1/8" x 4" x 3/8"	15'-0"	14'-1"	13'-1"
L-7 1/8" x 4" x 1/2"	16'-0"	15'-1"	14'-0"

STEEL LINTEL SCHEDULE
FOR STEEL BEAMS SUPPORTING MASONRY VENEER
(O.B.C. 9.20.5.2.9)

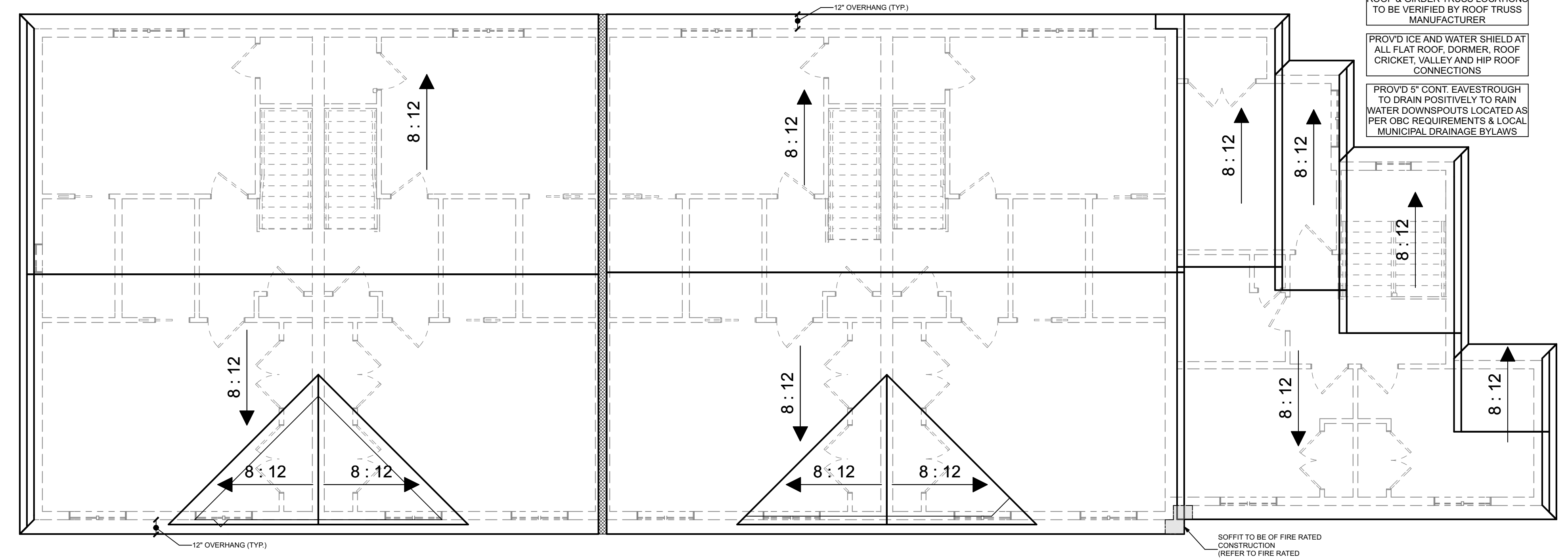
SECTION	2 3/4" BRICK	3 1/2" BRICK	4" STONE
W 6 x 15	13'-11"	13'-6"	12'-11"
W 6 x 20	15'-4"	14'-10"	14'-2"
W 8 x 18	17'-3"	16'-6"	15'-10"
W 8 x 21	18'-3"	17'-7"	16'-9"
W 8 x 24	18'-9"	18'-0"	17'-2"

ANCHOR BOLT SPACING
(O.B.C. TABLE 9.20.17.5)

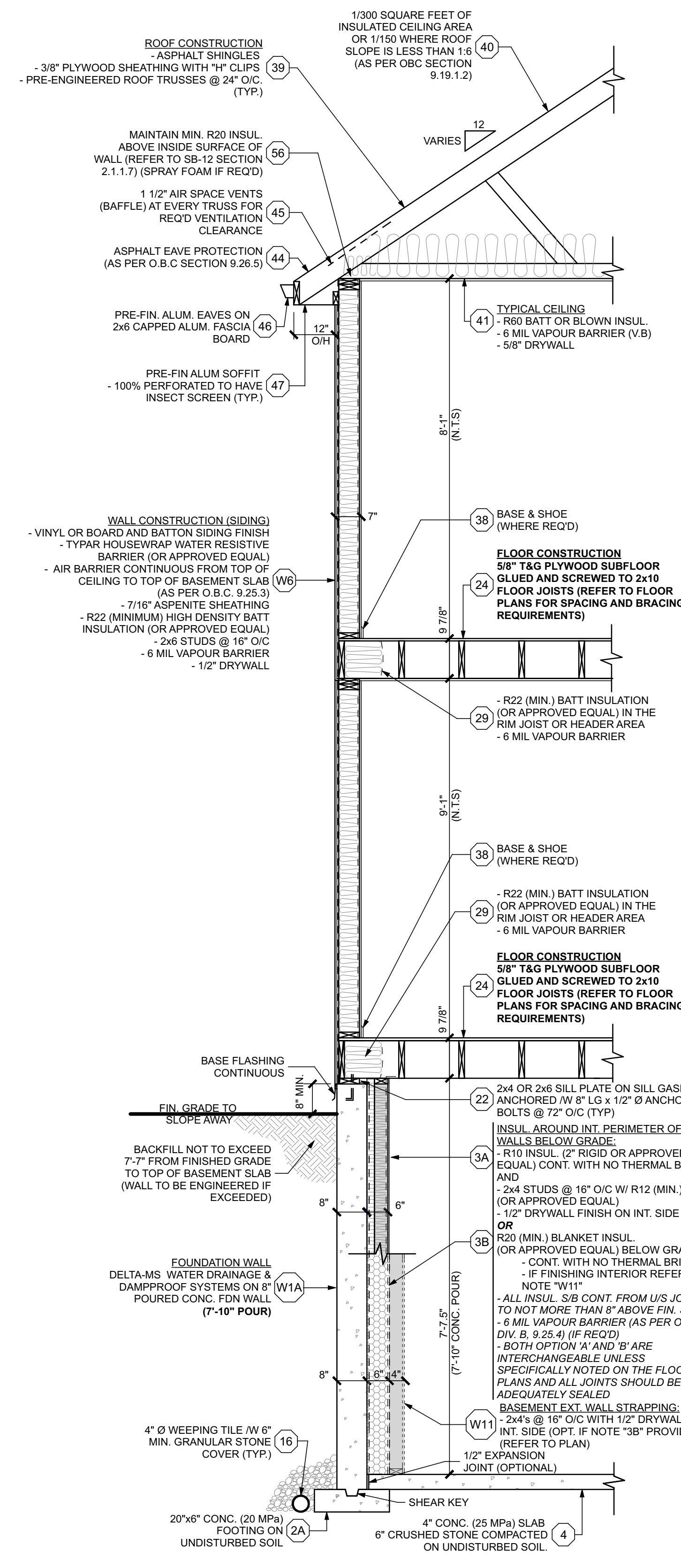
MAX CLEAR	STAGGERED 1/2"	STAGGERED 5/8"
8'-0"	18"	20"
9'-10"	16"	18"
13'-1 1/2"	12"	16"
16'-4"	11"	15"



CROSS SECTION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/16" = 1'-0"



TYPICAL WALL SECTION @ EXTERIOR WALL
SCALE: 1/2" = 1'-0"

