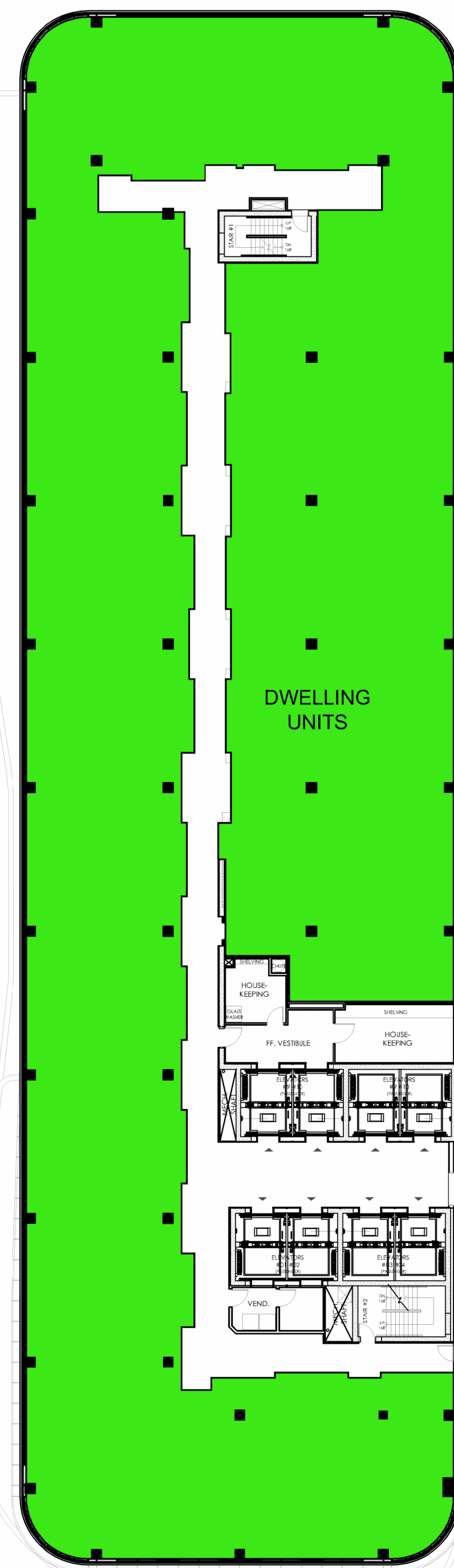


Murray Street Wing (Building A on Schedule 3 of By-Law 2020-45)



Minor Variance Items #3 & #4 This Sheet / Schedule F of Application

Item #3: Requirements under zoning by-law 2020-045 Section 6(c)(ii) Maximum Height of Buildings or Structures:

[A maximum height of] 59 meters [for Building B (Fallsview Boulevard Wing) on schedule 3 of by-law 2020-045] and a maximum of 14 storeys as measured from Geodetic Survey of Canada elevation 193.7m [Ground Floor] which shall include a roof feature as required by clause (d) of this section...

Item #4: Requirements under zoning by-law 2020-045 Section 6(d) Roof feature:

A building having a height greater than 21m shall have a roof feature which varies from a minimum height of 1 meter to a maximum height of 10 meters above the top storey and shall not contain a place of occupancy other than an open terrace for a maximum of 50 persons, exclusive of staff

Proposed Changes to Variance Items #3 & #4

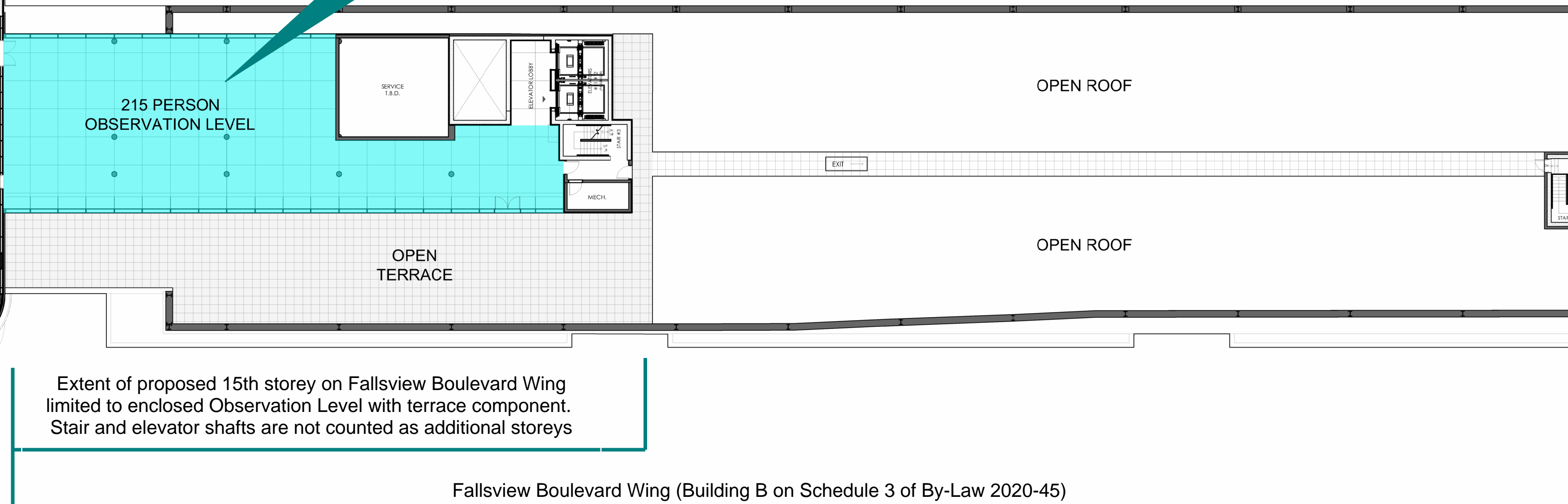
Item #3:

Permit an increase in the maximum allowable storeys to 15 for a specific section of the Building 'B' on schedule 3 of by-law 2020-045 [Fallsview boulevard Wing] in order to facilitate Item #4: An enclosed Observation Level with terrace component. The Observation Level rooftop height = +/- 54.5m above Geodetic Survey of Canada elevation 193.7m which is well within the parameters of a maximum of 59m for the 14 storey building.

Item #4:

(A) No roof feature should be required for the small portion of building serving as the Observation Level, but may be added to shield mechanical units, if required or desired. The spirit of the roof feature requirements was to be added only to large portions of roof at the highest level, where required, to enhance the design of the hotel. There is already a significant roof feature being applied to the perimeter of the roof above the 14th storey and to the roof on the mechanical penthouse above the 16th storey. The height of the Observation Level is within the maximum height parameters of the 14 storey building.

(B) Permit an increase to the occupancy of the Fallsview Boulevard wing rooftop from 50 people to 215 people (165 occupant difference), staff included, to facilitate an enclosed Observation Level with terrace component. Increasing the rooftop viewing space and accommodating more occupants increases the opportunity for both guests and residents to enjoy panoramic views of the falls, surrounding areas, and spectacular fireworks displays and does not negatively impact surrounding uses. Viewing room would be ancillary to Hotel and require no additional parking.



Extent of proposed 15th storey on Fallsview Boulevard Wing limited to enclosed Observation Level with terrace component. Stair and elevator shafts are not counted as additional storeys

Fallsview Boulevard Wing (Building B on Schedule 3 of By-Law 2020-45)

LEGEND

- Dwelling Units
- Other Amenities as Listed

**FLOOR STATISTICS
FLOOR LEVEL 15**

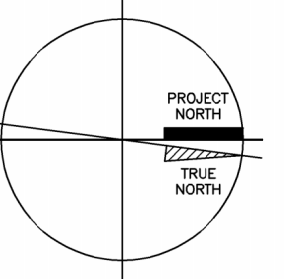
Description	Area (m ²)
Dwelling Unit	
Total Dwelling Unit Area ⁽¹⁾	1745
Amenities ⁽¹⁾	
215 Person Observation Level	425
Open Terrace	360
Total Amenities	785
Total Floor Area ⁽²⁾	
	3249

Footnote (1): All common areas (amenities, BOH, loading dock, etc.) will be split 50 / 50 between dwelling unit areas and hotel areas. Please see Total Area row on Building Statistics Table on drawing A.1.1 for total dwelling unit area and hotel area with this split being applied.

Footnote (2): The total floor area represents the entire floor plate area of this floor.

KEYPLAN

ORIENTATION



SEAL



NOTES:

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ISSUED DATE

ISSUED FOR MINOR VARIANCE FEB 16, 2024

**CHAPMAN
MURRAY
ASSOCIATES
ARCHITECTS
INC.**

NIAGARA FALLS, ONTARIO

PHONE : (905) 354-1674
FAX : (905) 354-2940
EMAIL : cmr@chapmanmurray.com

COMMISSION TITLE:
PROPOSED
MIXED-USE
DEVELOPMENT

6289 FALLSVIEW BOULEVARD
NIAGARA FALLS, ONTARIO

SHEET TITLE:
FLOOR LEVEL 15

SCALE: 1:250

DATE: FEB 16, 2024

DRAWN: KB

CHECKED: RWM

COMMISSION NO. ISSUE

224115

SHEET NO:

A1.8