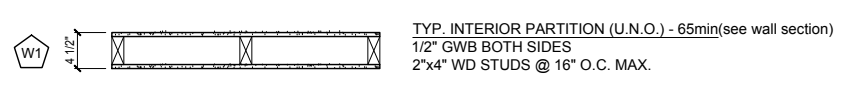
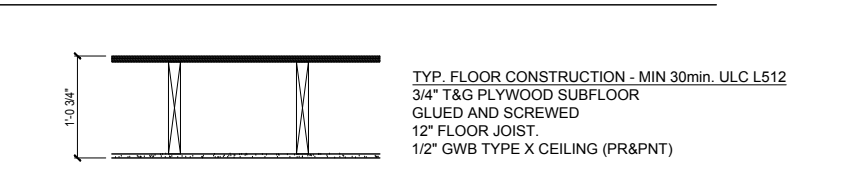


**WALL SCHEDULE**



**FLOOR ASSEMBLIES**



**GENERAL ASSEMBLY NOTES:**  
 All assemblies and their respective fire resistance ratings indicated on this drawing have been visually surveyed on site by the designer of record to the best of their knowledge.

**LIFE SAFETY EQUIPMENT**

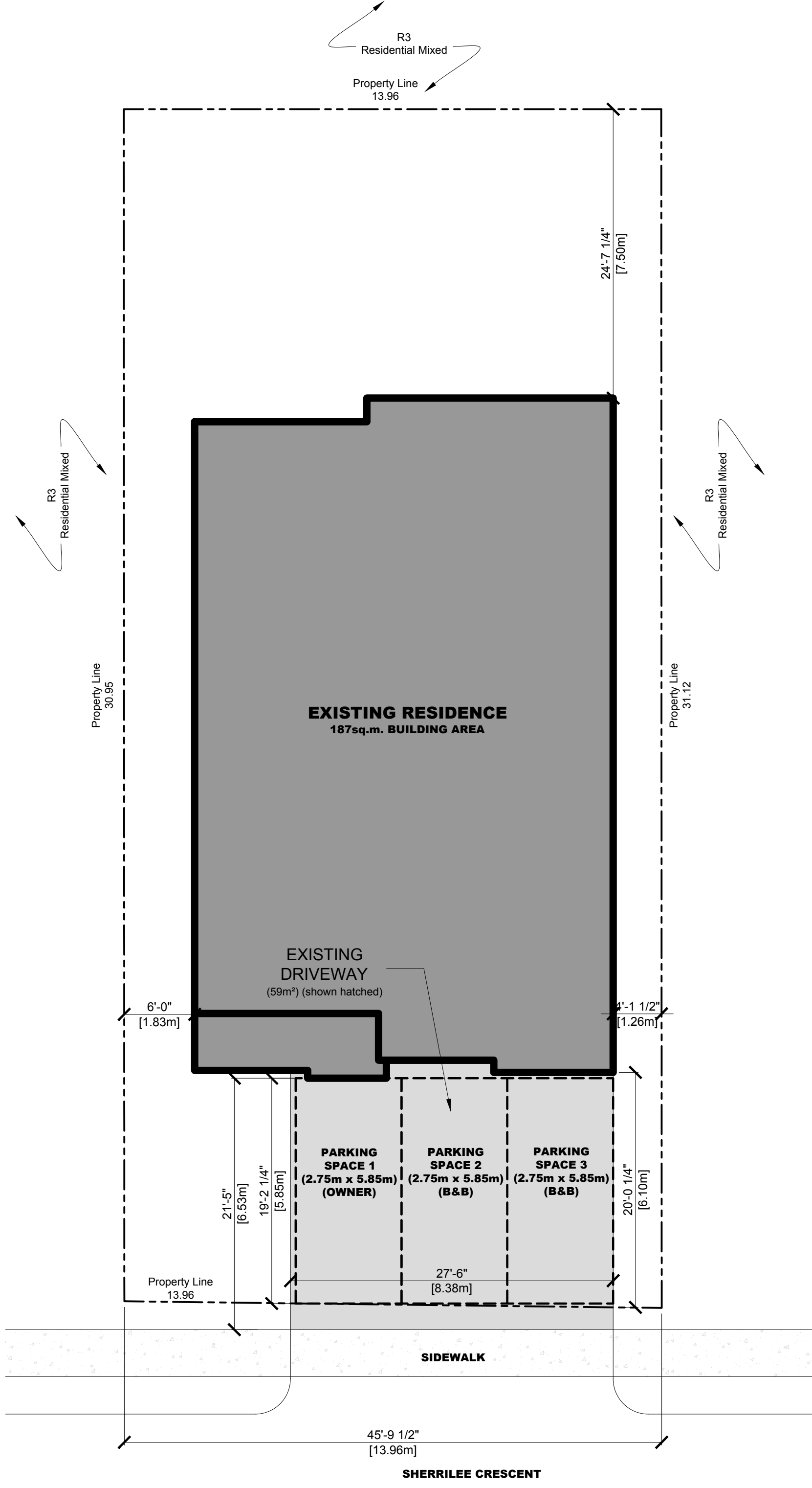
- SD SMOKE + CO2 ALARM - INTERCONNECTED
- ES EXIT SIGN - WITH DIRECTIONAL EMERGENCY LIGHT

**Zoning Information** R3 Residential Mixed - Zoning By-law 79-200

	Required	Existing / Proposed
Minimum Lot Area	300m <sup>2</sup>	433m <sup>2</sup>
Minimum Lot Frontage	10m	13.96m
Minimum Front Yard	3m dwelling   6m garage	5.85m (existing)
Minimum Rear Yard	7.5m	7.5m (existing)
Minimum Interior Side Yard	1.2m	1.26m (existing)
Minimum Exterior Side Yard	-	-
Minimum Landscape Open Space	25% (112m <sup>2</sup> )	43% (187 / 433)
		Asphalt Paving 59m <sup>2</sup> (13%)
		Grp Coverage 187m <sup>2</sup>
		Total 246m <sup>2</sup>
		Landscape 187m <sup>2</sup>
Maximum Lot Coverage	55% (246m <sup>2</sup> )	43% (187m <sup>2</sup> )
Maximum Building Height	10 m	1 Storey - existing unaltered
Accessory Buildings / Structures	-	none

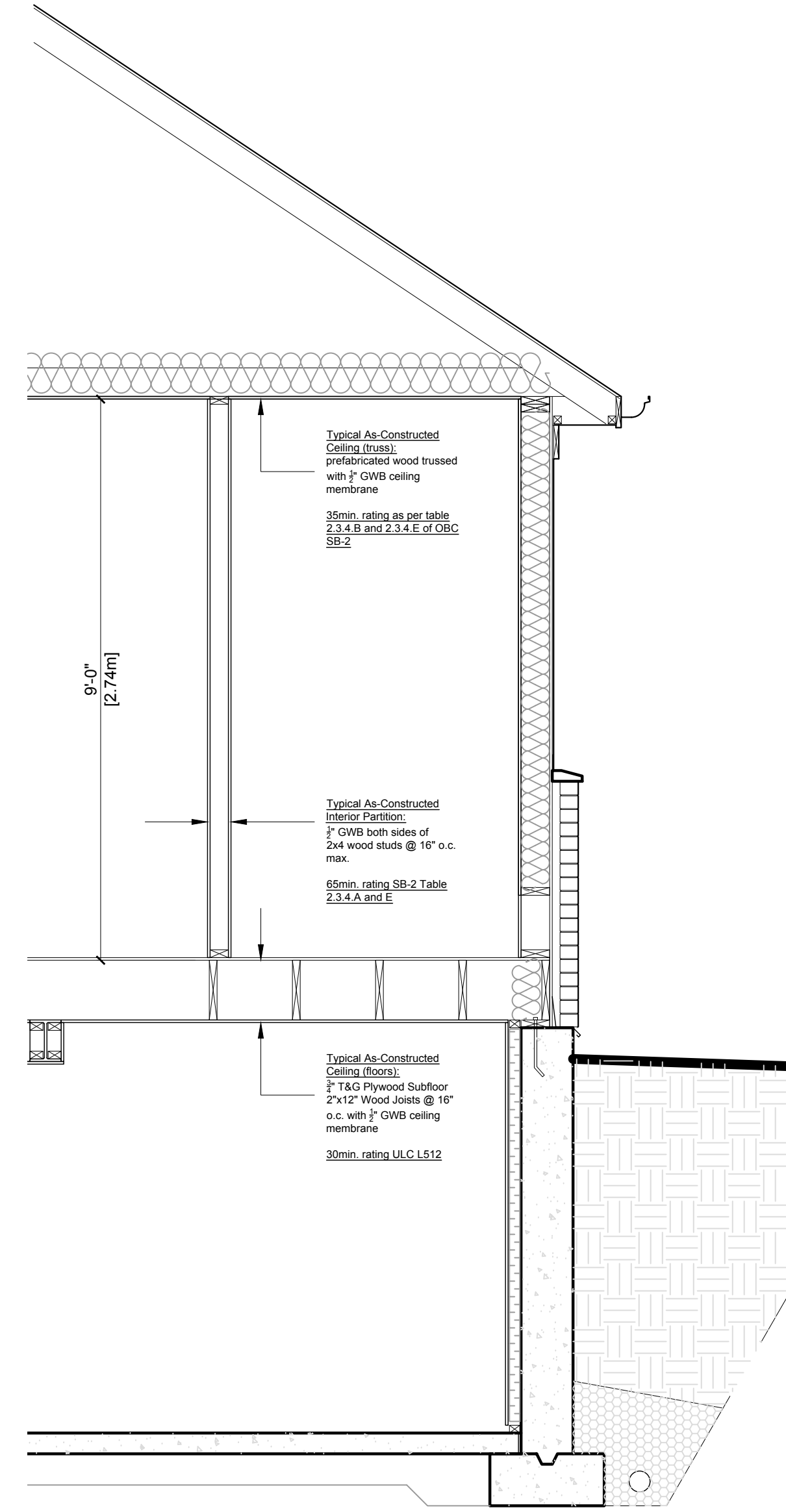
Residential Parking	1 per dwelling unit	1
Tourist Home Parking	1 per sleeping unit	2
Max. width of driveway	60% of frontage (8.402m)	8.38m

\*\* Minor Variance Required for a reduction in parking length to 5.85m



**SITE PLAN**

SCALE: 1/8" = 1'-0"



**TYP. WALL SECTION**

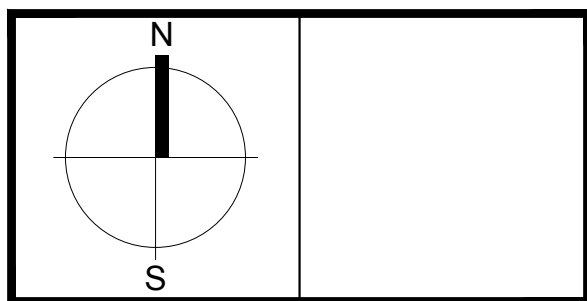
SCALE: 1/2" = 1'-0"

Seal: Seal:

No.	Date	Revision
01	Dec. 27, 2023	Issued for Permit
02	Jan. 4, 2024	Issued for Minor Variance
03	Jan. 17, 2024	Issued for Minor Variance
04	Jan. 31, 2024	Issued for Minor Variance

Project Name:  
**Change of Use**  
**Existing Residence to Bed & Breakfast**  
 7442 Sherrilee Crescent, Niagara Falls

Drawing Name:  
**Site Plan and Zoning Info**



Project No.:  
 -

Scale:  
 As Noted

Date:  
 December 2023

Drawing No.:

**A1-100**