



**NOTICE OF PUBLIC COMMITTEE OF
ADJUSTMENT HEARING**
Tuesday March 26, 2024, 4:00 p.m.
Niagara Falls City Hall
4310 Queen Street, Niagara Falls

Public input on applications is invited. Pursuant to Section 45 of the Planning Act, the Committee of Adjustment for the City of Niagara Falls invites you to participate in a public hearing to consider an application for minor variances and/or to forward written comments prior to the hearing. Written comments are the preferred method of receiving public input and may be sent by mail or email. You can also provide oral input by joining the hearing either in person or electronically.

All interested persons are invited to attend this meeting to find out more about this application and offer comments. The public meeting is scheduled to take place on Tuesday March 26, 2024, at 4:00 pm, in Committee Room 2 at City Hall for the Committee of Adjustment to consider this application.

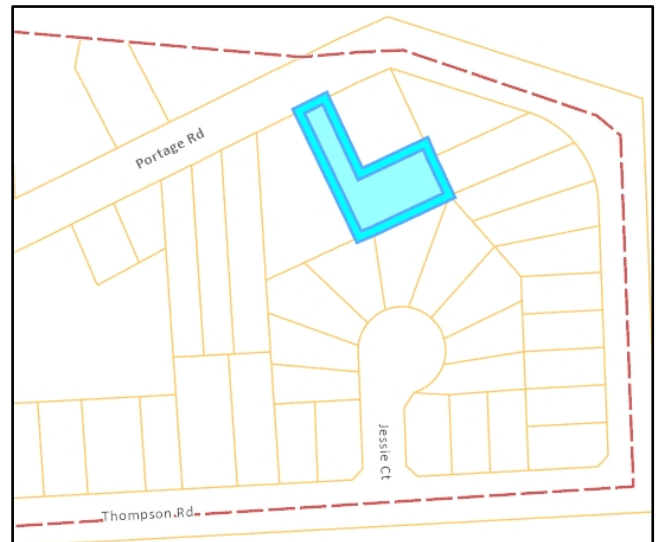
To participate remotely in the public hearing, please pre-register with the Secretary-Treasurer by sending an email to sanderson@niagarafalls.ca or calling (905) 356-7521 (Ext. 4281) before 12 noon on Tuesday March 26, 2024. All registrants will be provided with instructions on how to use their computer, tablet or phone to participate in the remote electronic public hearing.

File: A-2023-040 (PL20240066)
Owner: David Mackinnon

Location: The subject property is the vacant lot located to the east of 2098 Portage Road which is located on the south east side of Portage Road.

The applicant is requesting the Committee of Adjustment to consider minor variances from provisions of Zoning By-law No 79-200, as amended, through a process permitted by Section 45(1) of the Planning Act (R.S.O. 1990, c.P.13).]

Proposal: The applicant is proposing to construct a detached dwelling on the above noted property. The subject property is zoned Residential 1E Density (R1E) Zone, in accordance with Zoning By-law No. 79-200. This parcel was created through a consent application B-2017-010. The following variances have been requested:



By-law Provision and Requirement	Proposed	Extent
Minimum Rear yard depth (7.5 metres)	3.0 metres	3.5 metres
Maximum width of driveway or parking area in the front yard of a lot: 60% of the lot frontage and not more than 9 metres	66% of the lot frontage and 7.9 metres	6%

See the sketch on the back for more information

If the applicant, the minister, a specified person or public body as defined the Planning Act has an interest in the matter they may appeal the decision to the committee within 20 days of the making of the decision by filing a notice of appeal with the Secretary-Treasurer.

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed Minor Variance, you must make a written request to the Secretary-Treasurer, Committee of Adjustment, Planning & Development, City Hall, P.O. Box 1023, and 4310 Queen Street, Niagara Falls, Ontario, L2E 6X5.

Additional information is available from Planning & Development or by telephoning Suzanne Anderson, Secretary-Treasurer Committee of Adjustment at (905) 356-7521 ext. 4281 between 8:30 a.m. and 4:30 p.m. Monday to Friday or email sanderson@niagarafalls.ca.

SCHEDULE 1



3D View 1



FRONT ELEVATION
3/16" = 1'-0"

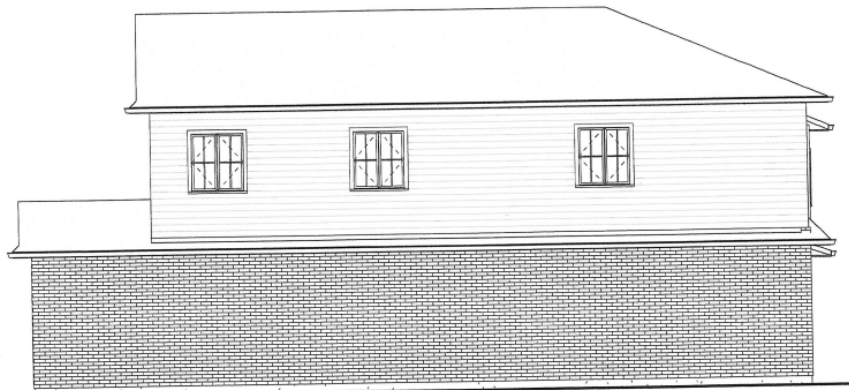
SCHEDULE 2



REAR ELEVATION
3/16" = 1'-0"



LEFT ELEVATION
3/16" = 1'-0"



RIGHT ELEVATION
3/16" = 1'-0"

SCHEDULE 3

