

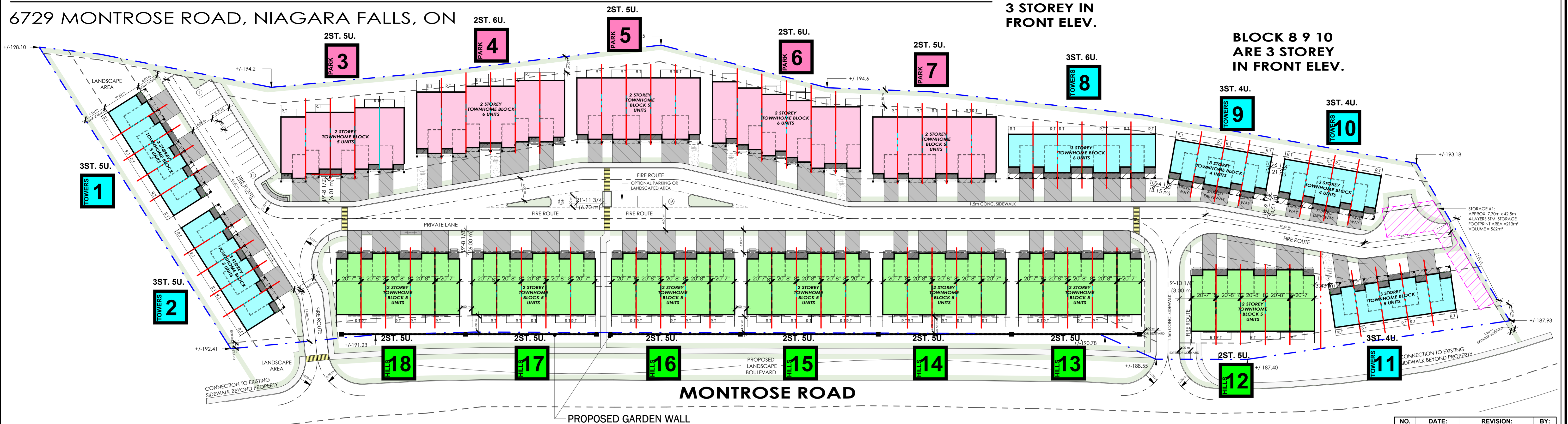
# MONTROSE ROAD PROPOSED DEVELOPMENT

6729 MONTROSE ROAD, NIAGARA FALLS, ON

BLOCK 3 - 7 ARE  
3 STOREY IN  
FRONT ELEV.

SEE GRADING BY IBI

BLOCK 8 9 10  
ARE 3 STOREY  
IN FRONT ELEV.



## MASTER PLAN OPTION 1

1" = 40'-0"

NO.	DATE	REVISION	BY
01	DEC 14 2021	SITE PLAN REVISION	SMA
02	DEC 08 2022	SITE PLAN R1	BL

### SITE INFORMATION

SITE TOTAL AREA.....22721 SM  
 DWELLING TYPE.....2 & 3 STOREY TOWNHOMES  
 TOTAL NUMBER OF UNITS.....91 POTENTIAL ADDITIONAL PARKING.....6  
 TOTAL PARKING SPACES.....107 (91 DRIVEWAY & 16 VISITOR)

LOT SIZE	22721	100%
BUILDING COVERAGE (include rear patio)	10131	44.59%
UNIT DRIVEWAYS	2106.18	9.27%
WALKWAYS	895	3.94%
ROAD	3646	16.05%
LANDSCAPE	5942.82	26.16%

### TOWNHOMES ZONING INFO

MINIMUM LOT FRONTAGE.....45M  
 MINIMUM LOT AREA.....110.455M<sup>2</sup> PER UNIT  
 MAX LOT COVERAGE.....35%  
 FRONT YARD SETBACK.....6.0M  
 EXTERIOR SIDE YARD SETBACK.....3.0M  
 INTERIOR SIDE YARD SETBACK.....3.0M  
 MIN. REAR YARD SETBACK.....4.3M  
 MAX. BUILDING HEIGHT.....13.0M

### LEGEND

--- OVERALL PROPERTY LINE  
 --- SETBACK LINES  
 --- DRIVEWAYS

2ST. 5U. 2ST. 5U. 2ST. 5U. 2ST. 5U. 2ST. 5U. 2ST. 5U. 2ST. 5U.

BLOCK #	Name	Area	Comments
12	HILL	552.02 m <sup>2</sup>	
13	HILL	552.02 m <sup>2</sup>	
14	HILL	552.02 m <sup>2</sup>	
15	HILL	552.02 m <sup>2</sup>	
16	HILL	552.02 m <sup>2</sup>	
17	HILL	552.02 m <sup>2</sup>	
18	HILL	552.02 m <sup>2</sup>	

**SEE BLOCK 15 ELEVATIONS PAGES (2 OPTIONS WITH REAR ELEVATION FACING MONTROSE ROAD)**



REAR VIEW

3ST. 5U. 3ST. 5U. 3ST. 6U. 3ST. 4U. 3ST. 4U. 3ST. 4U.

BLOCK #	Name	Area	Comments
2	TOWERS	385.13 m <sup>2</sup>	
1	TOWERS	385.13 m <sup>2</sup>	
8	TOWERS	462.39 m <sup>2</sup>	
9	TOWERS	309.06 m <sup>2</sup>	
10	TOWERS	309.06 m <sup>2</sup>	
11	TOWERS	388.43 m <sup>2</sup>	

**SEE BLOCK 9 ELEVATIONS PAGES**



FRONT VIEW

2ST. 5U. 2ST. 6U. 2ST. 5U. 2ST. 6U. 2ST. 5U.

BLOCK #	Name	Area	Comments
3	PARK	563.46 m <sup>2</sup>	
4	PARK	674.22 m <sup>2</sup>	
5	PARK	559.65 m <sup>2</sup>	
6	PARK	671.43 m <sup>2</sup>	
7	PARK	558.90 m <sup>2</sup>	

**SEE BLOCK 7 ELEVATIONS PAGES**



FRONT VIEW

**\*\*FINAL FLOOR PLAN, ELEVATIONS, COVERAGE, BUILDING HEIGHT ETC. SHALL REFER TO FINAL CONSTRUCTION DRAWINGS AND BUILDING PERMITS.**

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 \*SHOWER DOOR T.B.D. \*FLOOR FINISH T.B.D.\*

COMMISSION:  
**MONTROSE ROAD PROPOSED DEVELOPMENT**  
 NIAGARA FALLS, ON

**A · C · K**  
 architects  
 STUDIO INC.

Architectural Office:  
 290 Glenade Ave. St. Catharines, ON, L2T 2L3  
 905 984 5545

SHEET TITLE:  
**COVER PAGE/  
 SITE PLAN OPTION 1**

Issued for Re-Zoning		
Issued for Site Plan Agreement		
Issued for Permit		
Issued for Tender		
Issued for Construction		
DRAWN BY:	SMA	DWG. No.
CHECKED BY:	SMA	
DATE:	JULY 20 2021	
SCALE:	AS SHOWN	
PROJECT No.:	2021-1895	<b>SP1</b>

ISSUED FOR  
SPA

7  
BLOCK



01 FRONT ELEVATION  
1/4" = 1'-0"

No.	DATE	DESCRIPTION:	BY:

COMMISSION: 2021-189  
MONTROSE ROAD 2.0  
3 STOREY BLOCK FOR  
3 4 5 6 [7]  
LOCATION

A · C · K  
architects  
STUDIO INC.

SHEET TITLE:  
BUILDING ELEVATIONS

DRAWN BY:	BL	Drawing No.:	A2.1
CHECKED BY:	XX		
DATE ISSUED:			
PROJECT No.:	2021-189		



02 FRONT VIEW

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\*SHOWER DOOR T.B.D.\* \*FLOOR FINISH T.B.D.\*

ISSUED FOR

SPA

MONTRSE TOWERS



01 FRONT ELEVATION 1/4" = 1'0"



02 FRONT VIEW

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Table with columns: No., DATE, DESCRIPTION, BY:

COMMISSION: 2021-189 MONTROSE ROAD 2.0 3 STOREY BLOCK FOR 1 2 8 [9] 10 11

LOCATION

A.C.K architects STUDIO INC. Architectural Office: 290 Glendale Ave, St.Catharines, ON, L2T 2L3 905 984 5545

SHEET TITLE:

BUILDING ELEVATIONS

Table with columns: DRAWN BY, CHECKED BY, DATE ISSUED, PROJECT No., BL, Drawing No., XX, NOV 28 2022, 2021-189, A2.1

ISSUED FOR  
SPA

MONTROSE HILLS

BLOCK  
**15**



2 FRONT ELEVATION  
1/4" = 1'-0"



3 FRONT VIEW

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COMMISSION: 2021-189  
MONTROSE ROAD 2.0  
2 STOREY BLOCK FOR  
12 13 14 [15] 16 17 18

LOCATION

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architects  
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SHEET TITLE:

**BUILDING ELEVATIONS**

DRAWN BY:	BL	DRAWING No.:	<b>A2.1</b>
CHECKED BY:	XX		
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PROJECT No.:	2021-189		

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ISSUED FOR

SPA

MONTROSE HILLS



1 REAR ELEVATION  
1/4" = 1'-0"



2 REAR VIEW

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COMMISSION: 2021-189  
**MONTROSE ROAD 2.0**  
**2 STOREY BLOCK FOR**  
**12 13 14 [15] 16 17 18**

LOCATION

**A · C · K**  
architects  
STUDIO INC.  
Architectural Office:  
290 Glendale Ave., St. Catharines, ON, L2T 2L3  
905 984 5545

SHEET TITLE:

**BUILDING ELEVATIONS**  
**REAR**

DRAWN BY:	BL:	Drawing No.:
CHECKED BY:	XX	<b>A2.2</b>
DATE ISSUED:		
PROJECT No.:	2021-189	

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MONTROSE HILLS

BLOCK 15

ELEV. OPT. 2



2 FRONT ELEVATION  
1/4" = 1'-0"



3 FRONT VIEW

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COMMISSION: 2021-189  
**MONTROSE ROAD 2.0**  
**2 STOREY BLOCK FOR**  
**12 13 14 [15] 16 17 18**

LOCATION

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SHEET TITLE:  
**BUILDING ELEVATIONS**

DRAWN BY:	BL	DRAWING No.:	<b>A2.1</b>
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