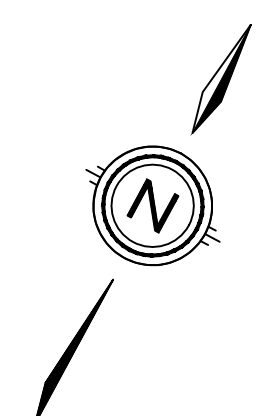
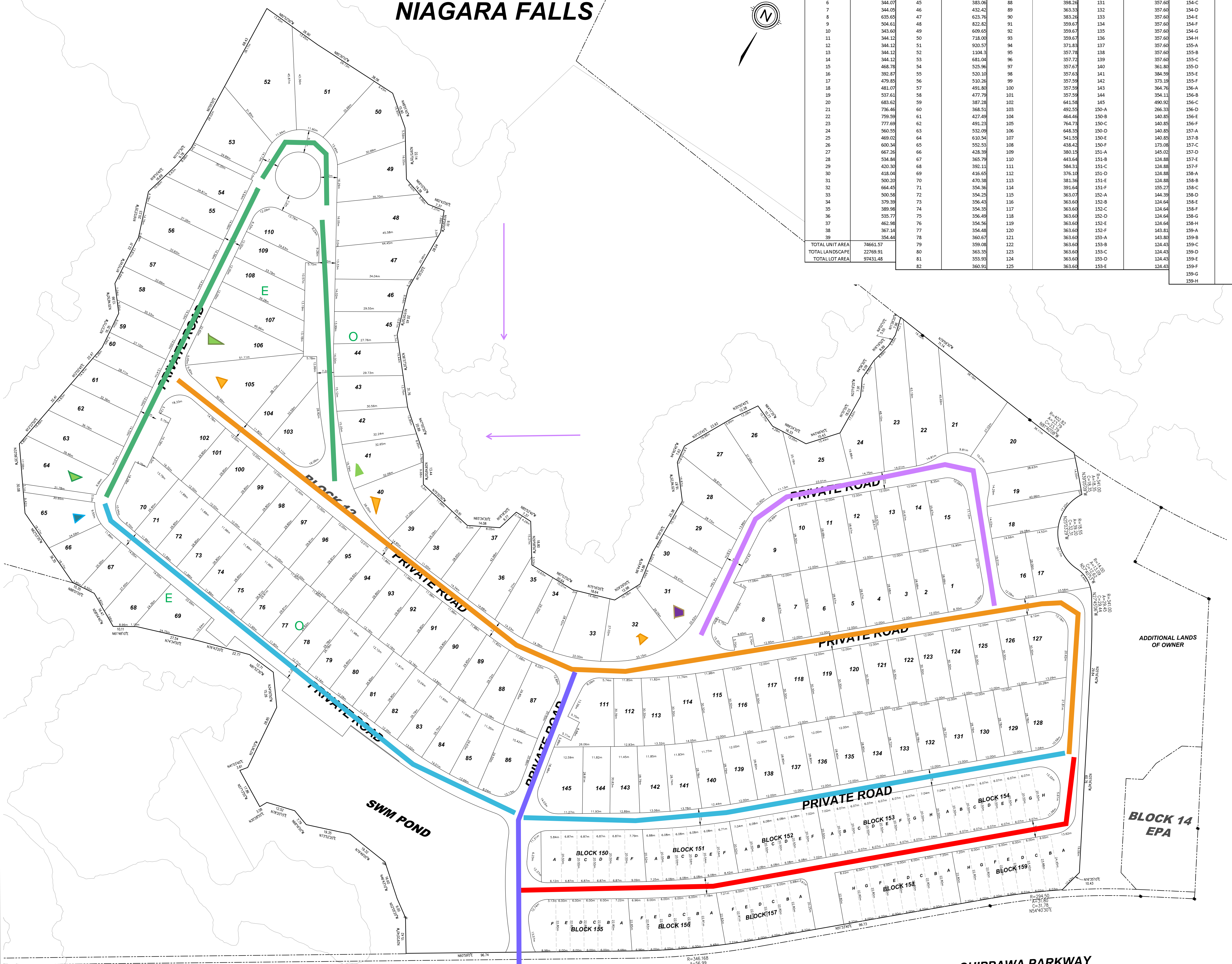
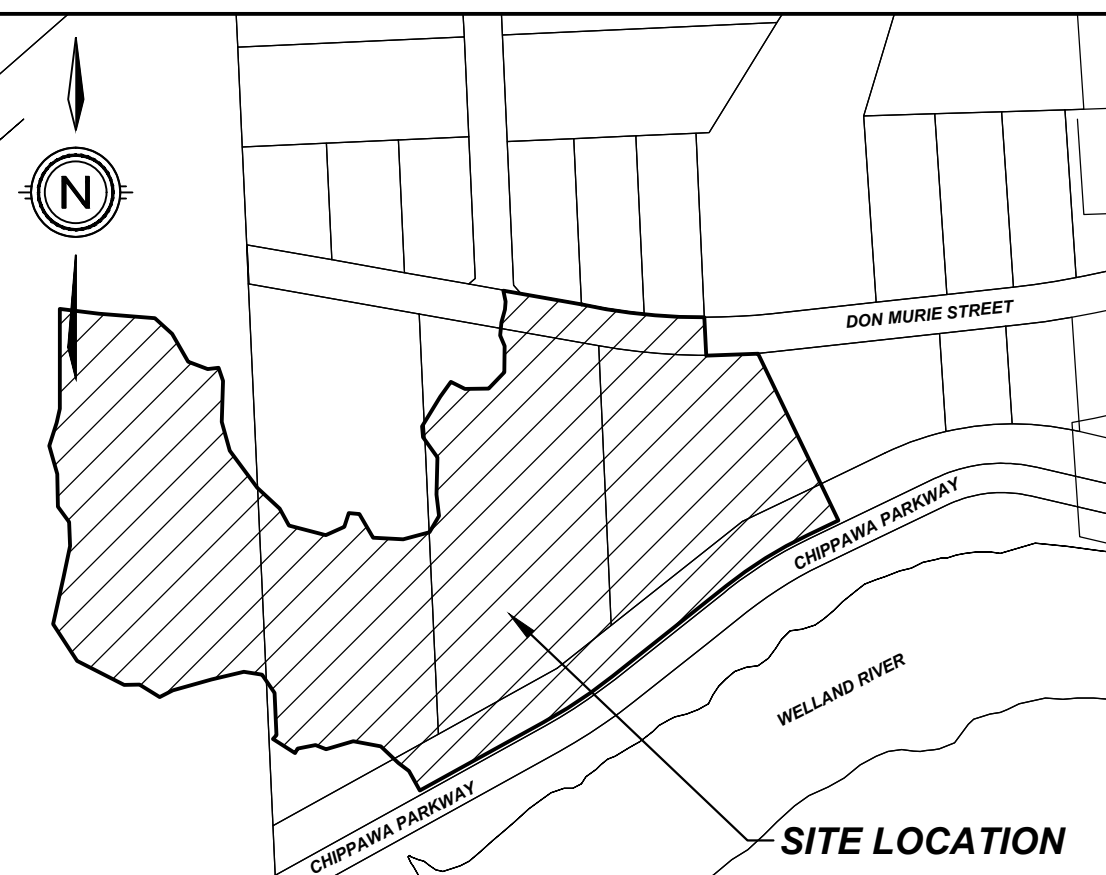


RIVERFRONT NIAGARA FALLS



Lot No.	SQ. M.	Lot No.	SQ. M.	Lot No.	SQ. M.	Lot No.	SQ. M.
1	468.78	40	576.34	83	384.39	126	363.60
2	344.14	41	529.87	84	377.74	127	473.12
3	344.12	42	417.70	85	365.85	128	506.87
4	344.11	43	435.41	86	454.15	129	351.94
5	344.09	44	409.45	87	445.48	130	363.26
6	344.07	45	383.06	88	398.26	131	357.60
7	344.05	46	432.42	89	363.33	132	357.60
8	635.65	47	623.76	90	357.60	133	357.60
9	504.61	48	822.82	91	359.67	134	357.60
10	343.60	49	609.65	92	359.67	135	357.60
11	344.12	50	718.00	93	359.67	136	357.60
12	344.12	51	920.57	94	371.83	137	357.60
13	344.12	52	1104.3	95	357.78	138	357.60
14	344.12	53	681.04	96	357.72	139	357.60
15	468.78	54	423.76	97	357.60	140	357.60
16	392.87	55	520.10	98	357.63	141	357.60
17	479.85	56	510.26	99	357.59	142	373.19
18	481.07	57	491.80	100	357.59	143	364.76
19	537.61	58	477.79	101	357.59	144	354.11
20	683.62	59	387.28	102	641.58	145	490.92
21	736.46	60	368.51	103	492.55	150-A	266.33
22	427.46	61	759.89	104	464.66	150-B	140.86
23	777.69	62	491.23	105	764.73	150-C	140.85
24	560.55	63	532.09	106	648.35	150-D	140.85
25	469.02	64	610.54	107	541.55	150-E	140.85
26	600.34	65	552.53	108	438.42	150-F	173.08
27	667.26	66	428.39	109	380.15	151-A	145.02
28	534.84	67	365.79	110	443.64	151-B	124.88
29	420.30	68	392.11	111	594.31	151-C	124.88
30	418.04	69	436.65	112	376.16	151-D	124.88
31	500.20	70	470.38	113	381.36	151-E	124.88
32	664.45	71	354.36	114	391.64	151-F	155.27
33	500.58	72	354.25	115	363.07	152-A	144.39
34	379.39	73	356.43	116	363.60	152-B	124.64
35	389.98	74	354.35	117	363.60	152-C	124.64
36	355.77	75	356.49	118	363.60	152-D	124.64
37	462.98	76	354.96	119	363.60	152-E	124.64
38	367.14	77	354.48	120	363.60	152-F	143.81
39	354.44	78	360.67	121	363.60	153-A	143.80
40		79	359.08	122	363.60	153-B	124.43
		80	363.35	123	363.60	153-C	124.43
		81	353.93	124	363.60	153-D	124.43
		82	360.91	125	363.60	153-E	124.43
TOTAL UNIT AREA	74661.57						
TOTAL LANDSCAPE	22769.91						
TOTAL LOT AREA	97431.48						



KEY PLAN
N.T.S.

DRAFT PLAN OF VACANT LAND CONDOMINIUM

LEGAL DESCRIPTION

PART OF LOTS 26, 27 & 28, PARK OF BLOCK "A" & PART OF DON MURIE STREET (CLOSED), REGISTERED PLAN M-67; PART OF TOWNSHIP LOT 214 AND PART OF THE ROAD ALLOWANCE BETWEEN TOWNSHIP LOTS 214 & 215 (CLOSED), GEOGRAPHIC TOWNSHIP OF STAMFORD, IN THE CITY OF NIAGARA FALLS, REGIONAL MUNICIPALITY OF NIAGARA.

OWNER'S CERTIFICATE

BEING THE REGISTERED OWNER, I HEREBY AUTHORIZE UPPER CANADA CONSULTANTS TO PREPARE AND SUBMIT THIS DRAFT PLAN OF VACANT LAND CONDOMINIUM TO THE CITY OF NIAGARA FALLS FOR APPROVAL.

[Signature] SEPT 15, 2023
CENTENNIAL HOMES NIAGARA DATE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED ARE CORRECTLY SHOWN.

[Signature] Sept. 28, 2023
J.D. BARNES LTD. DATE
15-16-917-02

REQUIREMENTS OF SECTION 51(17) OF THE PLANNING ACT

- a) SEE PLAN
- b) SEE PLAN
- c) SEE PLAN
- d) SEE PLAN
- e) SEE PLAN
- f) SEE PLAN
- g) SEE PLAN
- h) MUNICIPAL WATER
- i) SILTY SAND
- j) SEE PLAN
- k) FULL SERVICE
- l) SEE PLAN

LAND USE SCHEDULE

	AREA	ha	% COVERAGE
BUILDING (213 UNITS)		2.926	30.03
ROADWAY/PARKING		1.428	14.66
LANDSCAPE		5.389	55.31
TOTAL		9.743	100.00
DENSITY			21.86 un/ha

ISSUED FOR APPROVAL:	2023-09-28	TA
REVISION	DATE	INIT
#		



**BLOCK 12
DRAFT PLAN OF
VACANT LAND
CONDOMINIUM**

DRAFTING	BV/TA
DATE	SEPTEMBER 28, 2023
PRINTED	SEPTEMBER 29, 2023
SCALE	1:750
DWG No.	2209-DP12
REV	0