

DO NOT SCALE DRAWING. DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE.
 The design and documents remain the property of 1000420203 Ontario Inc. and are protected by law. They may not be altered without their expressed written consent. All drawings, specifications, and related documents are the copyright of the designer, and must be returned upon request. Reproduction of drawings, specifications and related documents in whole or part is strictly forbidden without the designer's written permission.
 This drawing shall not be used for construction purposes unless countersigned by 1000420203 Ontario Inc. registered designer



De Simone Designs

Architectural Plans & Consulting

Unit 2-7 4635 Queen St. Niagara Falls, ON
 289-687-8242
 thomas@desimone-designs.com
 www.desimone-designs.com

The undersigned has reviewed & takes responsibility for this design, & has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information
 Required unless design is exempt under 2.17.5.1. of the O.B.C.
 Thomas De Simone 40448
 Name BCIN/BCDN

Registration Information
 Required unless design is exempt under 2.17.4.1 of the O.B.C.
 De Simone Designs Architectural Plans & Consulting / 1000420203 Ontario Inc. 128048
 Design Firm BCIN/BCDN

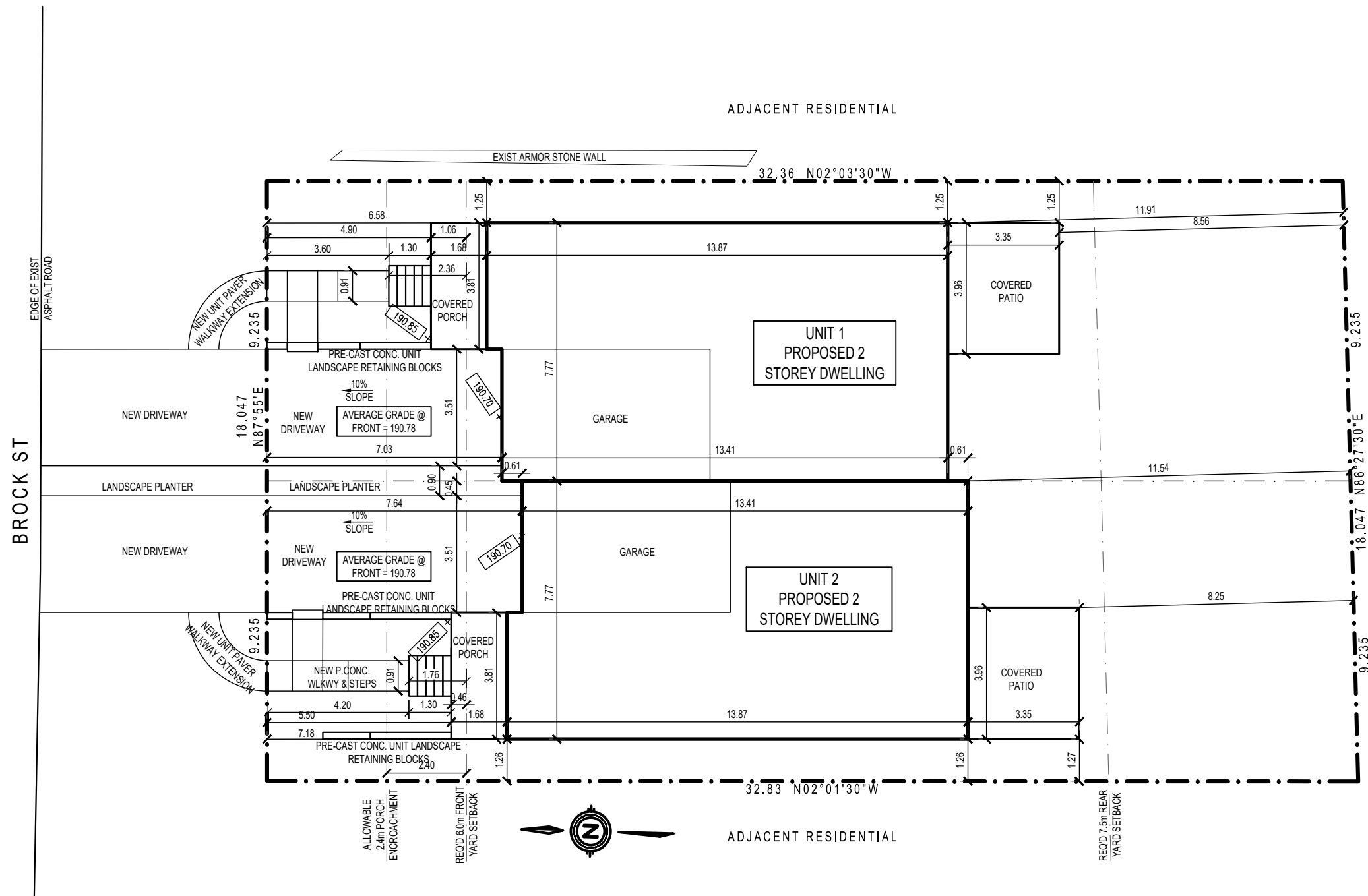
consultant stamp:

no	date	issue/revision description

project: **PROPOSED SEMI-DETACHED DWELLING UNITS**
 6254 BROCK ST
 NIAGARA FALLS, ON

drawing: **SITE PLAN**

drawn by: TD	project no.: 23-14
scale: AS SHOWN	drawing no.: A1
date: 2023-09-26	



SITE STATISTICS:
 LOT AREA = ±588.6 SM
 PROP BLDG AREA = ±254.4 SM
 PROP COVERAGE = 43.2%
 ALLOWABLE COVERAGE = 45%
 DRIVEWAY AREA = ±53.9 SM
 LANDSCAPING AREA = 52.4%

UNIT 1
 LOT AREA = ±293.1 SM
 PROP BLDG AREA = ±127.2 SM
 PROP COVERAGE = 43.4%
 ALLOWABLE COVERAGE = 45%

ADJACENT RESIDENTIAL

UNIT 2
 LOT AREA = ±295.5 SM
 PROP BLDG AREA = ±127.2 SM
 PROP COVERAGE = 43.0%
 ALLOWABLE COVERAGE = 45%

SITE PLAN
 SCALE: 1:150

DO NOT SCALE DRAWING. DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE. The design and documents remain the property of 1000420203 Ontario Inc. and are protected by law. They may not be altered without their expressed written consent. All drawings, specifications, and related documents are the copyright of the designer, and must be returned upon request. Reproduction of drawings, specifications and related documents in whole or part is strictly forbidden without the designer's written permission. This drawing shall not be used for construction purposes unless countersigned by 1000420203 Ontario Inc. registered designer



De Simone Designs
Architectural Plans & Consulting

Unit 2-7 4635 Queen St. Niagara Falls, ON
289-687-8242
thomas@desimone-designs.com
www.desimone-designs.com

The undersigned has reviewed & takes responsibility for this design, & has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information
Required unless design is exempt under 2.17.5.1. of the O.B.C.
Thomas De Simone 40448
Name BCIN/ BCDN

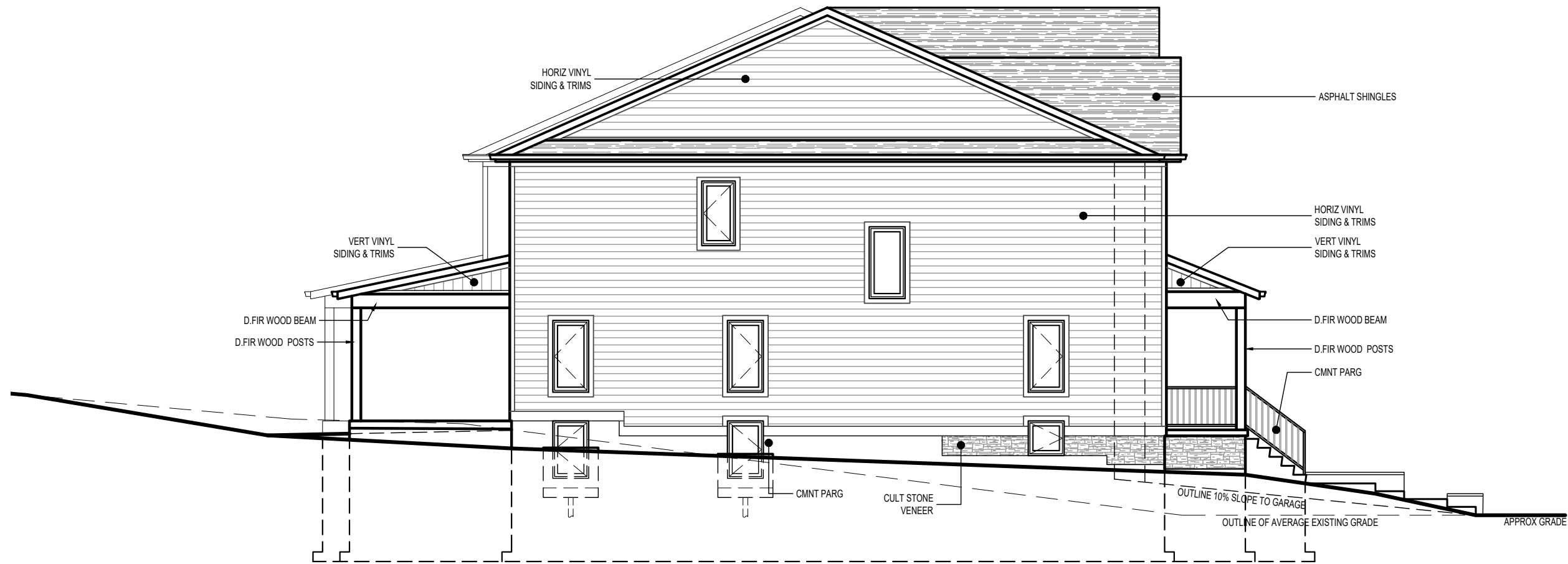
Registration Information
Required unless design is exempt under 2.17.4.1 of the O.B.C.
De Simone Designs Architectural Plans & Consulting / 1000420203 Ontario Inc. 128048
Design Firm BCIN/ BCDN
consultant stamp:

no	date	issue/revision description

project:
PROPOSED SEMI-DETACHED DWELLING UNITS
6254 BROCK ST
NIAGARA FALLS, ON

drawing: **ELEVATIONS**

drawn by: TD	project no.: 23-14
scale: AS SHOWN	drawing no.:
date: 2023-09-26	A2



SIDE / EAST ELEVATION

SCALE: 1:100



FRONT / NORTH ELEVATION (BROCK STREET)

SCALE: 1:100

DO NOT SCALE DRAWING. DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE. The design and documents remain the property of 1000420203 Ontario Inc. and are protected by law. They may not be altered without their expressed written consent. All drawings, specifications, and related documents are the copyright of the designer, and must be returned upon request. Reproduction of drawings, specifications and related documents in whole or part is strictly forbidden without the designer's written permission. This drawing shall not be used for construction purposes unless countersigned by 1000420203 Ontario Inc. registered designer



De Simone Designs
Architectural Plans & Consulting

Unit 2-7 4635 Queen St. Niagara Falls, ON
289-687-8242
thomas@desimone-designs.com
www.desimone-designs.com

The undersigned has reviewed & takes responsibility for this design, & has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information
Required unless design is exempt under 2.17.5.1. of the O.B.C.
Thomas De Simone 40448
Name BCIN/ BCDN

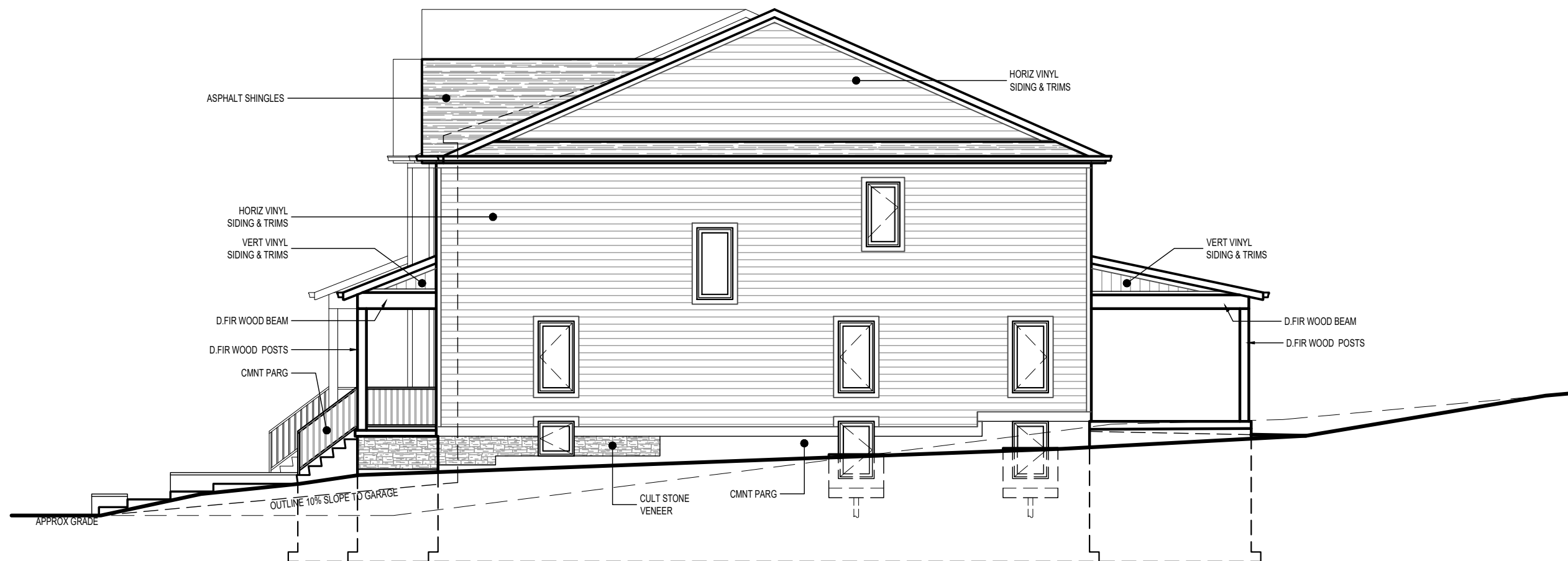
Registration Information
Required unless design is exempt under 2.17.4.1 of the O.B.C.
De Simone Designs Architectural Plans & Consulting / 128048
1000420203 Ontario Inc.
Design Firm BCIN/ BCDN
consultant stamp:

no	date	issue/revision description

project: **PROPOSED SEMI-DETACHED DWELLING UNITS**
6254 BROCK ST
NIAGARA FALLS, ON

drawing: **ELEVATIONS**

drawn by: TD	project no.: 23-14
scale: AS SHOWN	drawing no.:
date: 2023-09-26	A3



SIDE / WEST ELEVATION

SCALE: 1:100



REAR / SOUTH STREET ELEVATION

SCALE: 1:100